

FREEDOM OF INFORMATION COVERSHEET

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI reference: CMTEDDFOI 2025-209

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Schedule	Published
4. Documents	Published
5. Additional information identified	Not applicable
6. Fees	Not applicable
7. Processing time (in working days)	45 days
8. Decision made by Ombudsman	Not applicable
9. Additional information identified by Ombudsman	Not applicable
10. Decision made by ACAT	Not applicable

11. Additional information identified by ACAT	Not applicable
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From: [CMTEDD FOI](#)
To: [JACS FOI](#)
Cc: [CMTEDD FOI](#)
Subject: RE: Freedom of Information Request – Kingston Shops Records
Date: Wednesday, 4 June 2025 8:29:20 AM

OFFICIAL

Good morning Lauren,

CMTEDD accepts partial transfer of the request today. Have a good day.

Kind Regards,

Chris

Freedom of Information Coordinator | Information Access Team

Phone: 02 6207 7754 | Email: CMTEDDFOI@act.gov.au

Corporate | Chief Minister, Treasury and Economic Development Directorate | ACT Government

Level 1, 220 London Circuit, Canberra ACT 2601 | GPO Box 158 Canberra ACT 2601 |

act.gov.au

From: JACS FOI <JACSFOI@act.gov.au>
Sent: Tuesday, 3 June 2025 6:19 PM
To: EPSDFOI <EPSDFOI@act.gov.au>; CMTEDD FOI <CMTEDDFOI@act.gov.au>
Subject: FW: Freedom of Information Request – Kingston Shops Records

OFFICIAL

Good afternoon

JACS has received the below FOI request seeking:

“...documents and information held by the ACT Government relating Kingston Shops, Blocks 1, 3-10, and 23-24, Section 21 and (part) road verge, Kingston (the Site):

- 1. Fire Safety and Emergency Reports related to the Site created or held ACT Fire & Rescue or other ACT Government authorities including but not limited to:*
 - Fire safety inspections,*
 - emergency reports, or*
 - compliance notices.*
- 2. Any structural assessments such as reports assessing the physical condition of the Site (e.g., engineering reports, heritage assessments, or building audits). “*

I would be grateful if you could confirm whether your directorate holds any information in relation to the second point and, if so, whether you accept partial transfer of this request.

Kind regards

Lauren

Lauren Callow

Senior Director | Governance, Coordination and Reporting

JUSTICE AND COMMUNITY SAFETY DIRECTORATE | ACT GOVERNMENT

Phone: via MS Teams | Email: lauren.callow@act.gov.au

Level Four, 220 London Circuit, Canberra City ACT 2601 | GPO Box 158, Canberra ACT 2601

From: [REDACTED]

Sent: Wednesday, 7 May 2025 4:33 PM

To: JACS FOI <JACSFOI@act.gov.au>

Subject: Freedom of Information Request – Kingston Shops Records

Caution: This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

FREEDOM OF INFORMATION REQUEST

ACT Government – Justice and Community Safety Directorate

Dear FOI Contact Officer,

Under the *Freedom of Information Act 2016* (ACT), I request access to the following documents and information held by the ACT Government relating Kingston Shops, Blocks 1, 3-10, and 23-24, Section 21 and (part) road verge, Kingston (the **Site**):

1. Fire Safety and Emergency Reports related to the Site created or held ACT Fire & Rescue or other ACT Government authorities including but not limited to:
 - Fire safety inspections,
 - emergency reports, or
 - compliance notices.
2. Any structural assessments such as reports assessing the physical condition of the Site (e.g., engineering reports, heritage assessments, or building audits).

Please acknowledge receipt of this request and provide a reference number.

Yours sincerely,

A solid grey rectangular box used to redact the signature of the sender.



ACT
Government

City and Environment

OFFICIAL

Our ref: **CMTEDDFOI 2025-209**



FREEDOM OF INFORMATION REQUEST – NOTICE OF DECISION

I refer to your application under section 30 of the *Freedom of Information Act 2016* (the Act), partially transferred from the Justice and Community Safety Directorate (JACS) to the Chief Minister, Treasury and Economic Development Directorate (CMTEDD) on 4 June 2025. Specifically, you have sought access to the following information:

“Any structural assessments such as reports assessing the physical condition of the Site (e.g., engineering reports, heritage assessments, or building audits) relating to Kingston Shops, Blocks 1, 3-10, and 23-24, Section 21 and (part) road verge, Kingston(the Site).”

On 1 July 2025, Access Canberra became part of the City and Environment Directorate (CED). CED brings together a range of services previously provided by Access Canberra, the Environment, Planning and Sustainable Development Directorate (EPSDD), TCCS and the Better Regulation Taskforce. Section 101 of the Act provides that an access application made to an abolished agency is taken to have been made to the agency that acquired the abolished agency's functions. Therefore, a decision has been made on your application by CED.

Authority

I am an Information Officer appointed by the CED Director-General under section 18 of the Act to deal with access applications made under Part 5 of the Act.

Timeframes

In accordance with section 40 of the Act, CED is required to provide a decision on your access application within 30 days.

As this matter required third party consultation, the decision due date was extended by 15 working days, in accordance with section 40(2) of the Act.

Therefore, a decision is due by **7 August 2025**.

Decision on access

As your application was received and searches undertaken prior to the establishment of CED, records retrieved relate to records held by the Access Canberra administrative unit as it was at that time.

Searches of records have identified **11** documents within the scope of your request.

I have decided to grant **full access** to one document.

I have decided to grant **partial access** to ten documents.

The records identified as relevant to your application are listed in the schedule enclosed at **Attachment A**. This provides a description of each document that falls within the scope of your request and the access decision for each of those documents.

Release of documents

The information being released to you is provided at **Attachment B**.

Statement of Reasons

In accordance with section 54(2) of the Act a statement of reasons outlining my decision is below. In reaching my access decision, I have taken the following into account:

- the Act
- the scope of your requested information
- the information that falls within the scope of your request
- third party consultation
- *Human Rights Act 2004*
- ACT Ombudsman FOI Guidelines

As a decision maker, I am required to determine whether the information within scope is in the public interest to release. To make this decision, I am required to:

- assess whether the information would be contrary to public interest to disclose as per **Schedule 1** of the Act.
- perform the public interest test as set out in section 17 of the Act by balancing the factors favouring disclosure and factors favouring nondisclosure in **Schedule 2** of the Act.

Exemptions claimed

Schedule 1: Information taken to be contrary to the public interest.

My reasons for deciding not to grant access to the identified documents and components of these documents are as follows:

- *No relevant sections identified.*

Public Interest Test

The Act has a presumption in favour of disclosure. As a decision maker I am required to decide where, on balance, public interests lie. As part of this process, I must consider factors favouring disclosure and nondisclosure.

In *Hogan v Hinch* (2011) 243 CLR 506, [31] French CJ stated that when 'used in a statute, the term [public interest] derives its content from "the subject matter and the scope and purpose" of the enactment in which it appears'. Section 17(1) of the Act sets out the test, to be applied to determine whether disclosure of information would be contrary to the public interest. These factors are found in subsection 17(2) and Schedule 2 of the Act.

Schedule 2: Factors to be considered when deciding the public interest.

Taking into consideration the information contained in the documents found to be within the scope of your request, I have identified that the following public interest factors are relevant to determine if release of the information contained within these documents is within the 'public interest'.

Factors favouring disclosure (Section 2.1)

- *Section 2.1(a)(iii) - contribute to positive and informed debate on important issues or matters of public interest.*
- *Section 2.1(a)(xi) - reveal environmental or health risks or measures relating to public health and safety.*

Having considered the factors identified as relevant in this matter, I consider that release of information contained in these documents may contribute to debate on the Kingston Shops heritage site and how it has been managed. I am also mindful that the information provides greater insight into processes undertaken to ensure health and safety.

I am satisfied that these factors favouring disclosure carry weight. However, these factors are to be balanced against the factors favouring nondisclosure.

Factors favouring nondisclosure (Section 2.2)

- *Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the Human Rights Act 2004.*
- *Section 2.2(a)(xii) - prejudice an agency's ability to obtain confidential information.*

Having reviewed the documents, I consider that the protection of an individual's right to privacy as a significant factor. Individuals are entitled to expect that the personal information they have supplied as part of this process will be dealt with in a manner that protects their privacy. Considering the type of information to be withheld from release, I am satisfied that the factors in favour of release can still be met while protecting the personal information of the individuals involved. As a result, I have decided that release of this information (names, telephone numbers and signatures of individuals not employed by the ACT Public Service) could prejudice their right to privacy under the *Human Rights Act 2004*.

Schedule 2 section 2.2(a)(xi) allows for government information to be withheld from release if disclosure of the information could reasonably be expected to prejudice the trade secrets, business affairs or research of an agency or person.

Businesses undertaking development activities in the ACT may reasonably expect that any sensitive business information they provide to the government will be held in confidence. However, businesses that provide information to government do so with the knowledge that government-held information may be subject to an access application made under Freedom of Information legislation.

Having applied the test outlined in section 17 of the Act and deciding that release of some information contained in the documents is not in the public interest to release, I have chosen to redact this specific information in accordance with section 50(2). Noting the pro-disclosure intent of the Act, I am satisfied that redacting only the information that I believe is not in the public interest to release will ensure that the intent of the Act is met and will provide you with access to the majority of the information held by CMTEEDD within the scope of your request.

Charges

Processing charges are applicable for this request because the total number of pages to be released to you exceeds the charging threshold of 50 pages. However, the charges have been waived.

Online publishing – Disclosure Log

Under section 28 of the Act, CMTEDD maintains an online record of access applications called a [disclosure log](#).

Your original access application and my decision will be published on the CMTEDD disclosure log. Your personal contact details will not be published.

Ombudsman Review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is provided to you, or a longer period allowed by the Ombudsman.

We recommend using this form [Applying for an Ombudsman Review](#) to ensure you provide all of the required information. Alternatively, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601

Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) Review

Under section 84 of the Act, if a decision is made under section 82(1) on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from the ACAT at:

ACT Civil and Administrative Tribunal
GPO Box 370
Canberra City ACT 2601
Telephone: (02) 6207 1740
<http://www.acat.act.gov.au/>

Should you have any queries in relation to your request please contact the CED FOI Team by email to CED.FOI@act.gov.au.

Yours sincerely



Nick Lhuede
Information Officer

City and Environment Directorate
7 August 2025



ACT
Government

Chief Minister, Treasury and
Economic Development

FREEDOM OF INFORMATION REQUEST SCHEDULE

WHAT ARE THE PARAMETERS OF THE REQUEST

Reference NO.

“Any structural assessments such as reports assessing the physical condition of the Site (e.g., engineering reports, heritage assessments, or building audits) relating to Kingston Shops, Blocks 1, 3-10, and 23-24, Section 21 and (part) road verge, Kingston(the Site).”

CMTEDDFOI 2025-209

Ref No	Page number	Description	Date	Status	Reason for Exemption	Online Release Status
1	1-13	B20205160-Approved Plan-BA SET-01	28 October 2020	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
2	14-28	B2023250-Building Approval-HERITAGE STATEMENT-01	30 September 2022	Full Release		Yes
3	29-83	B2025897-Other-FIRE REST. SCOPE OF WORKS-01#2	17 November 2023	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
4	84-119	B2025897-Other-INTRUSIVE HAZARDOUS MATER-01#2	29 october 2024	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
5	120-122	Advice - B3 S21 Kingston - Fire Repair Works - TPA	17 December 2024	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
6	123-131	Endorsed Plans - B3 S21 Kingston - Fire Repair Works	17 December 2024	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
7	132-144	B2025897-Other-HERITAGE ENDORSEMENT-01#2	17 December 2024	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
8	145-146	B2025897-Other-STRUCTURAL DESIGN CERT-01#2	3 March 2025	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
9	147-155	B2025897-Other-ACCESS REPORT-01	6 March 2025	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes
10	156-191	B2025897-Other-SECTION J REPORT-01	27 March 2025	Partial Release	Schedule 2.2(a)(ii) and 2.2(a)(xi)	Yes

11	192-199	B2025897-Other-STRUCTURAL PLANS-01#2	27 March 2025	Partial Release	Schedule 2.2(a)(xi)	Yes
Total No of Docs						
11						

L. H. RUDD ARCHITECT
Registered N.S.W. & Victoria
HOTEL CANBERRA F.T.

SHOPS AT LOT 7 SECTION 21 EAST LAKE CANBERRA FEDERAL TERRITORY
FOR F. W. HYLES ESQ.

SCALE 8 1/4" TO 1" INCH

MAY 1926

Sch 2.2(a)(xi)

BCA CLASS 6

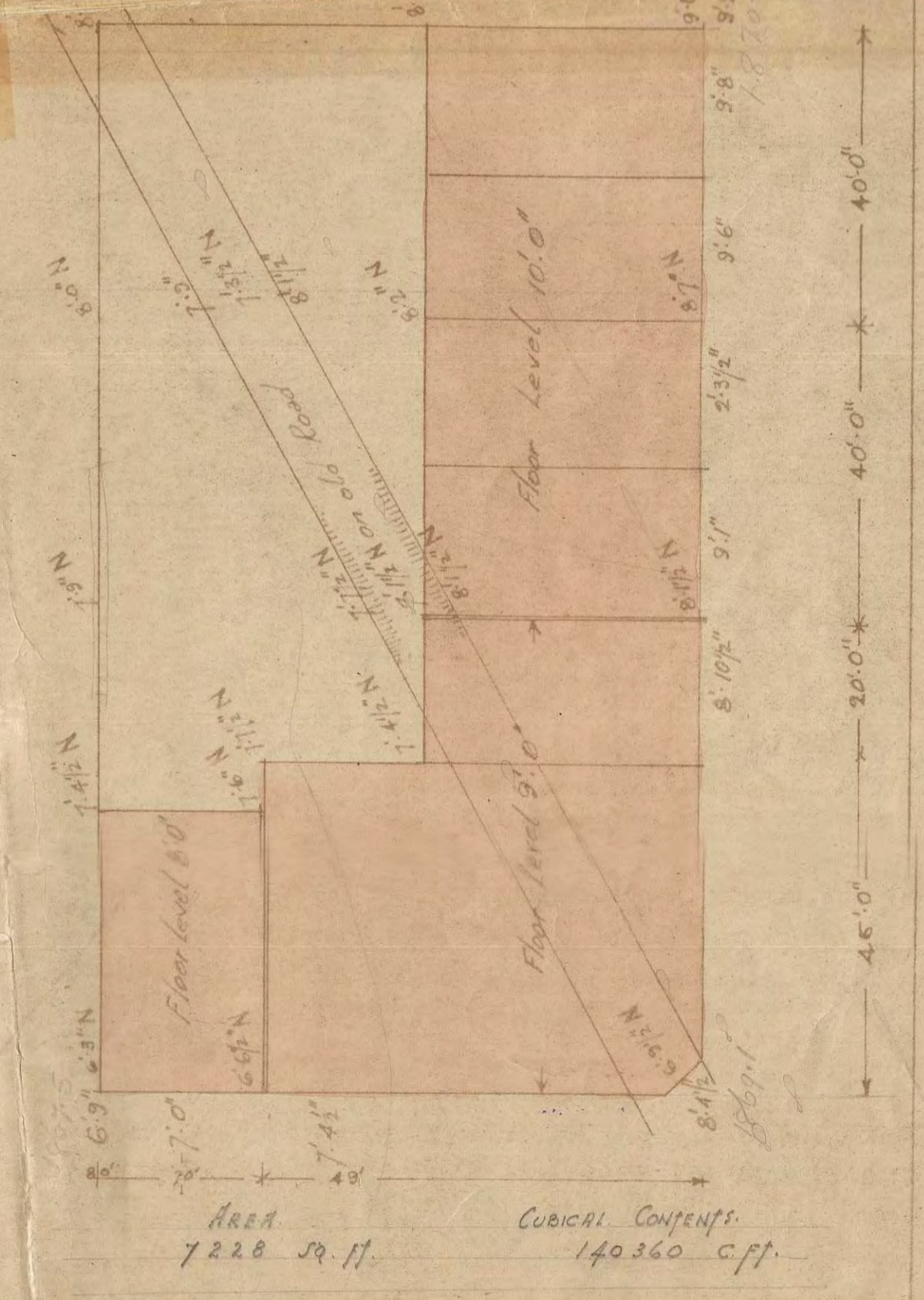
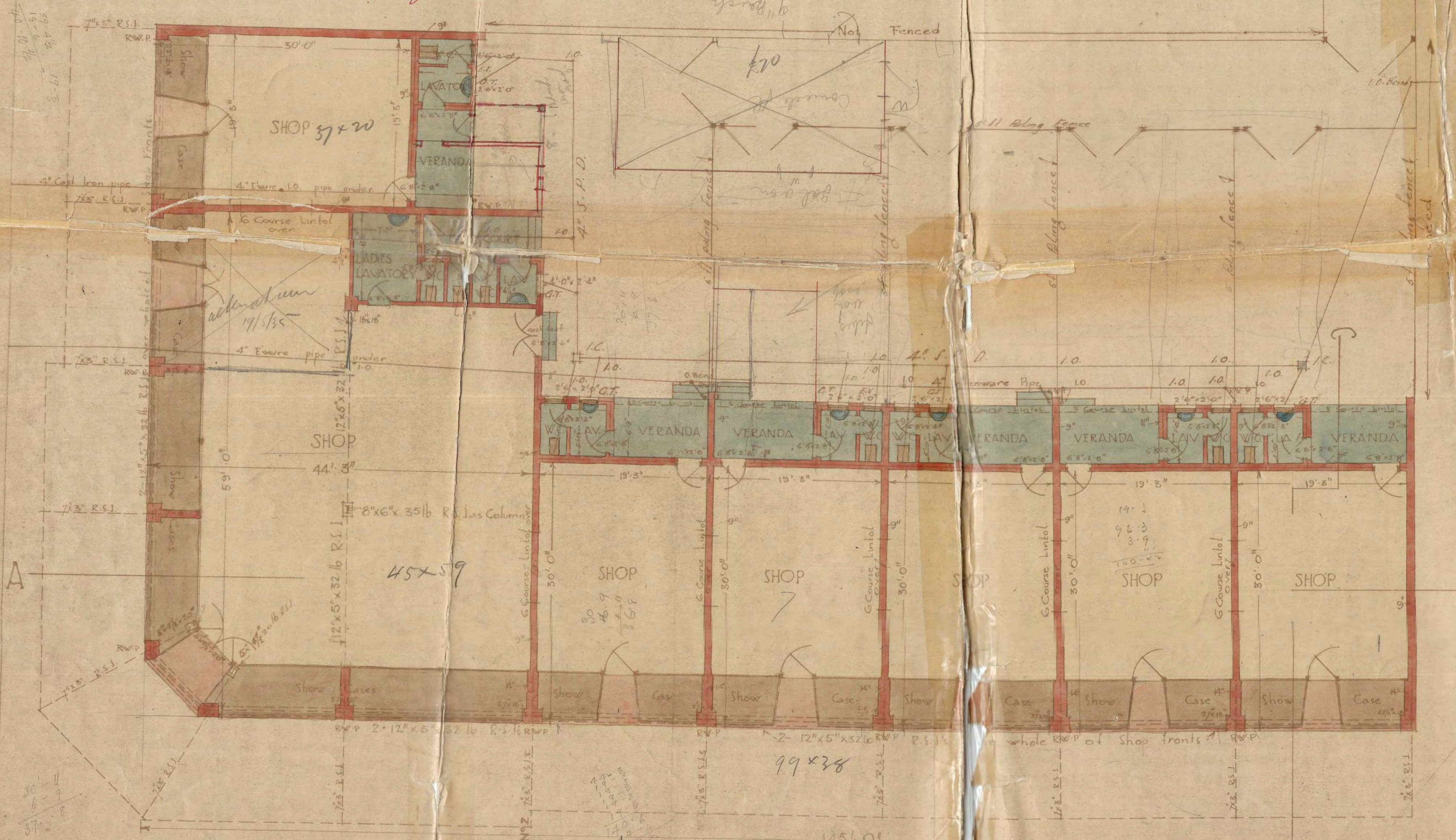
BCA TYPE N/A

ELEVATION TO ROAD L 36 C

CHECKED BY R.A. MUIR
27.5.26.
EXAMINED BY

Commission copy

BLOCK PLAN SCALE 20" TO 1" INCH
NOTE - Figures shown in 8' 10 1/2" N denote
Natural Surface
OTHER FIGURES denote finished Footpath
levels at building line

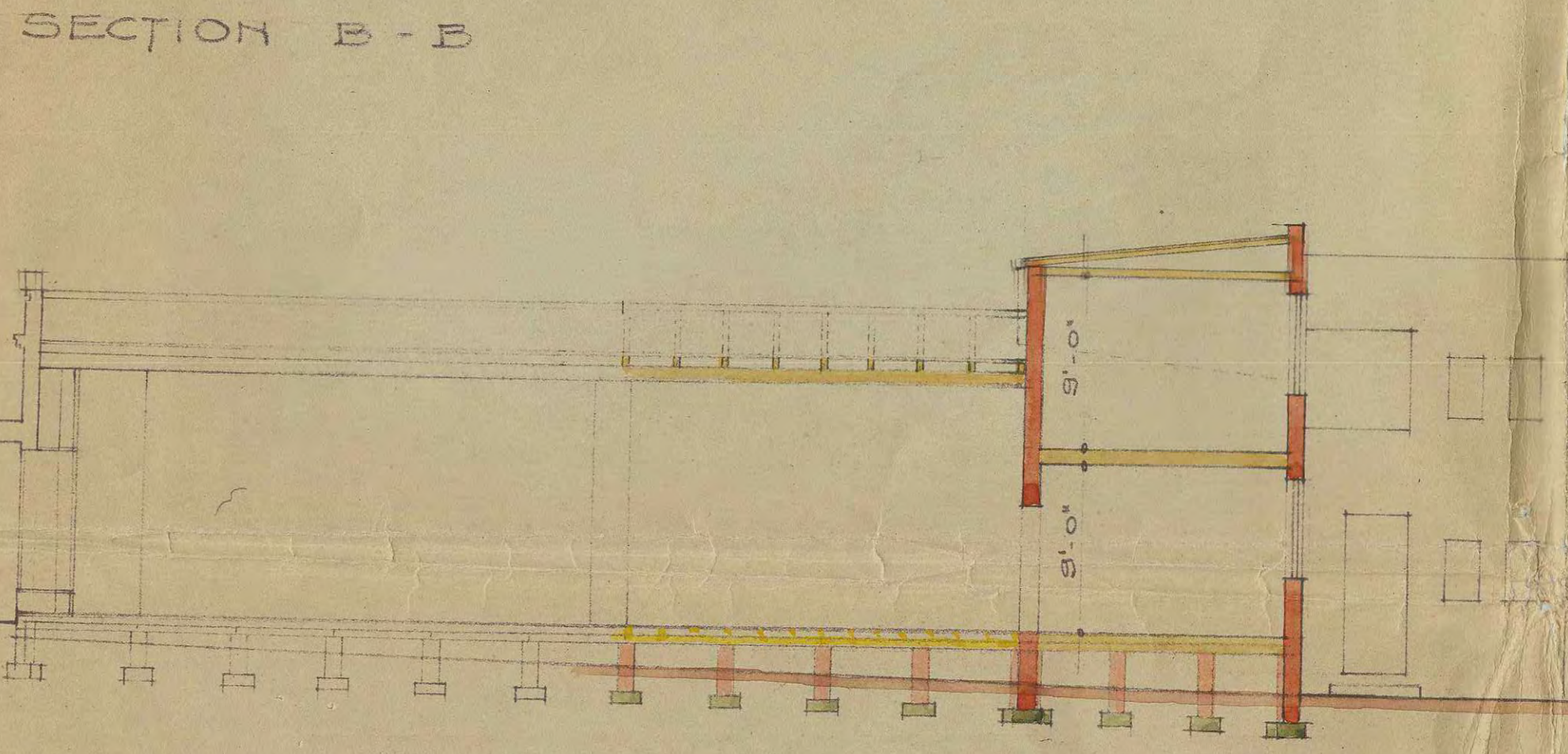
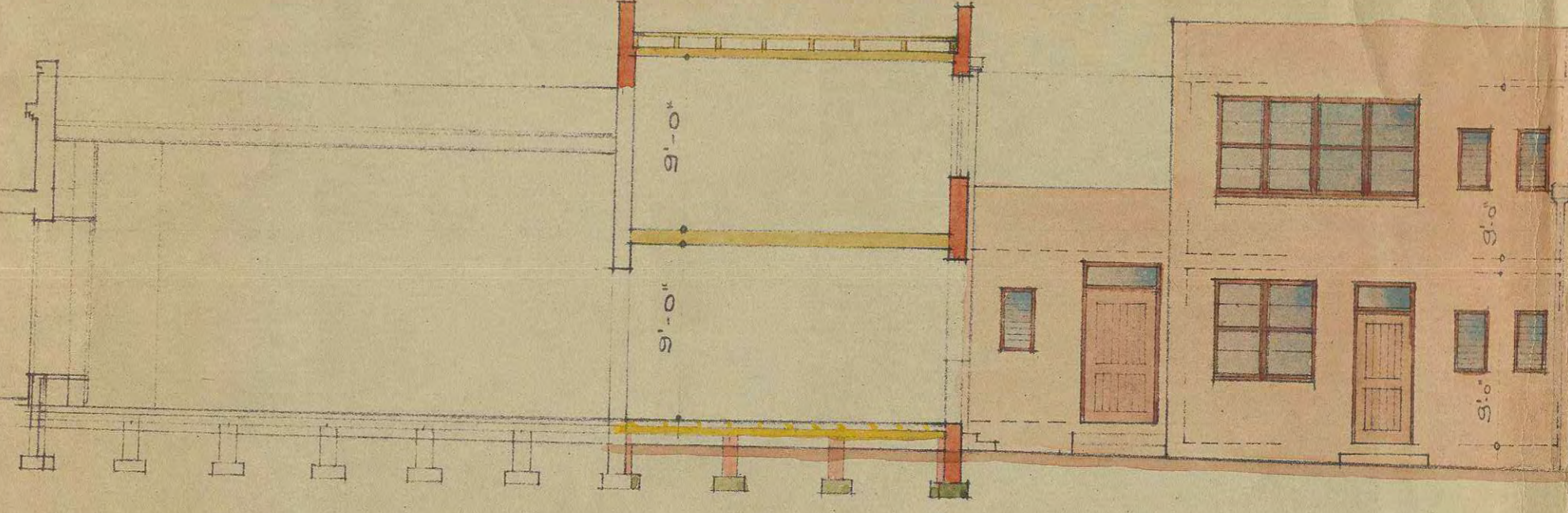
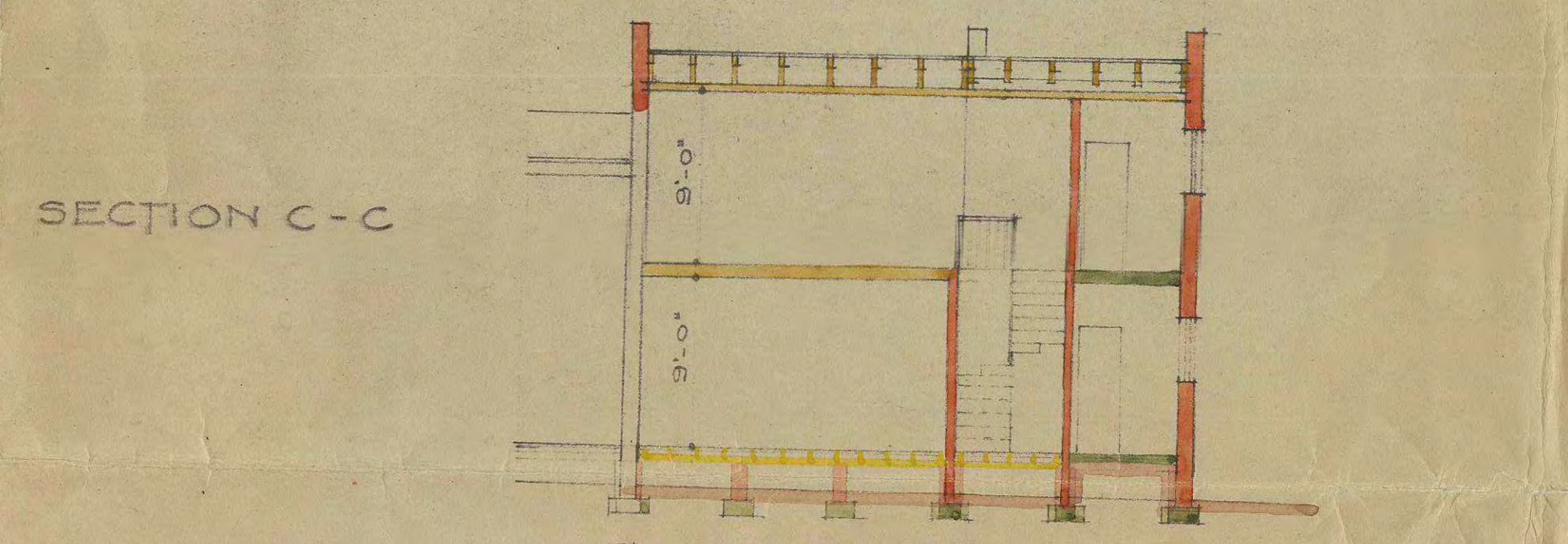
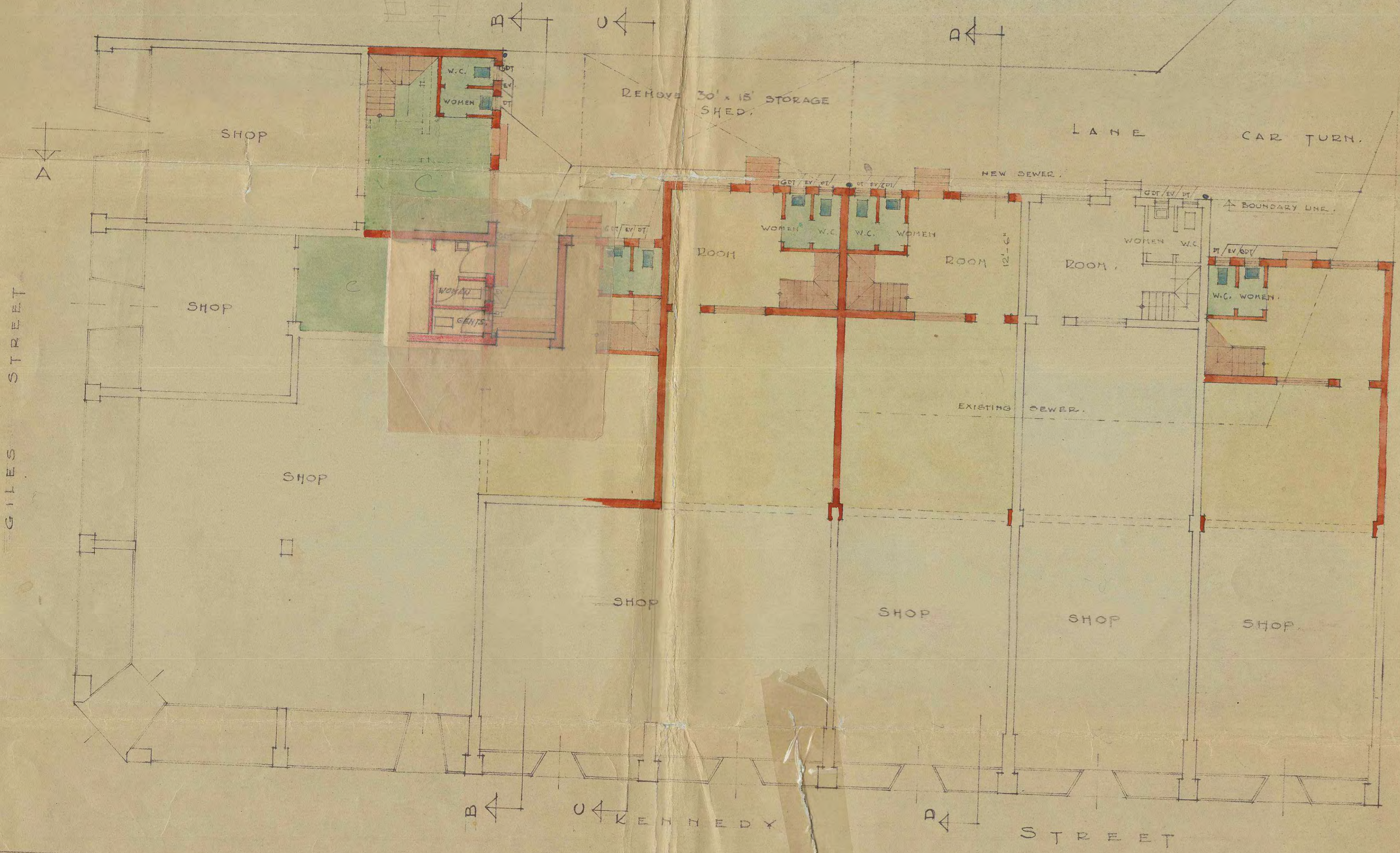
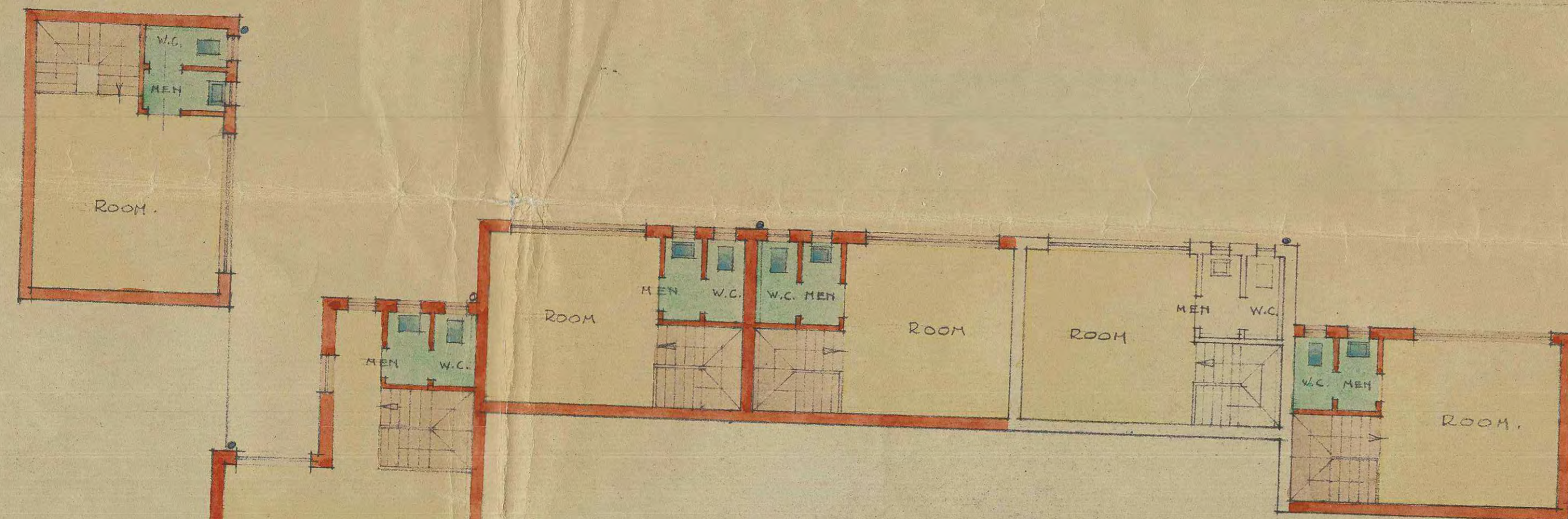


PLAN

145' 0"

AREA 7228 sq. ft.
CUBICAL CONTENTS 140360 c.ft.

Sch 2.2(a)(xi)



BLOCK 7 - SECTION 21 - KINGSTON
 SCALE 1/8" = 1'-0"

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

HERITAGE STATEMENT

64 GILES STREET, KINGSTON



Giles Street, Kingston Shopping Centre (1927)
(Source: National Archives of Australia, A3560, 6607)

Prepared by
PHILIP LEESON ARCHITECTS

For
Sarah Ramos, Dod Studio
30 September 2022

1. Introduction

1.1 Background

This heritage statement provides a physical description and historical overview of the premises at Block 24, Section 21, Kingston (subject site) which is part of the Kingston Shops and is located on the east side of Giles Street. The site is divided into two tenancies, one of which operates as a newsagency whilst the other is vacant. It is proposed that vacant tenancy be fitted-out into premises for a diamond retailer. This would include a new shopfront and signage for the currently vacant premises.

1.2 Heritage Status

The subject site is part of the Kingston Shops which has been nominated for inclusion on the ACT Heritage Register. The extent of the nominated place is shown on the aerial photograph below and includes the footpaths and cantilevered awnings. The subject tenancy is indicated.



Aerial photograph showing the extent of area nominated for inclusion on the ACT Heritage Register (yellow hatch)
The subject tenancy is indicated (red arrow)
(Source: ACTmapi, showing February 2022)

As the Kingston Shops are yet to be formally assessed, neither a statement of significance or a list of significant features has been prepared. There are also no specific requirements (or heritage guidelines) for the place.

Previous advice from the ACT Heritage Council (the Council) has indicated that the Kingston Shops are likely to be of heritage significance, as:

- *It is the earliest and predominant retail area servicing the new community from the beginnings of Canberra as the nation's capital in the 1920s until the Civic Centre expanded in the late 1940s/early 1950s;*
- *It has an important association with the early development of Canberra as the nation's capital. The Centre, together with neighbouring places in the Griffith, Kingston and Barton area, illustrates the immediate and changing needs of the community, as evidenced in their dates of construction and use from the establishment of the city in the 1920s; and*
- *It has retained a continuity of use and functions since this time, with the Precinct adhering to the same form and layout from its initial planning and design.*
- *While there have been changes in the streetscape presentation, and business signage over time, there has been at each stage a form which predominates across the Shops, creating a cohesive effect.*

A partial description of the Kingston Shops is also provided in Kingston Group Centre Master Plan (ACT Government Environment and Sustainable Development, 2011). Whilst this Master Plan is not a statutory document, it provides an overview of important characteristics that should be maintained. For premises fronting Kennedy and Giles Street, the following features were identified to be important during community consultation:

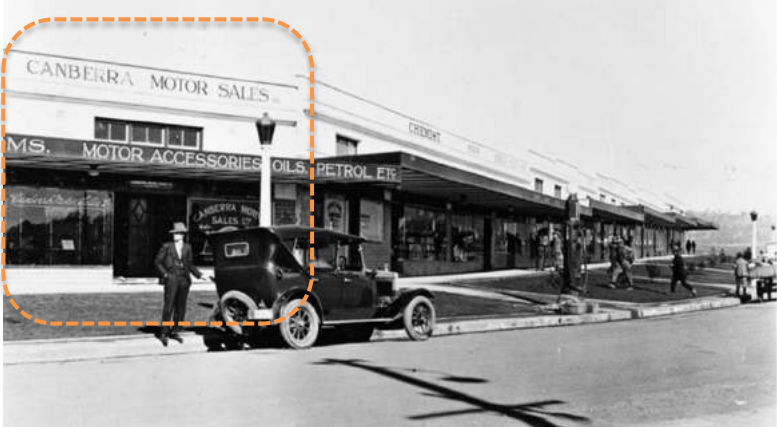
- *Shop entries are frequent, open directly onto the street with few blank walls or gaps between buildings and are transparent.*
- *The façade above the awnings has a consistent building design and buildings are built to the front and side boundaries.*
- *Footpaths and awnings are continuous, allowing pedestrians to move freely under shelter whilst avoiding pedestrian/vehicle conflict.*

1.3 Limitations

Our assessment has been limited to a visual inspection from ground level and accessible internal areas. The roof of the building was not inspected from above.

2. Historical Summary

The table below provides a historical summary of changes at the subject site, focusing on the vacant tenancy which would be adapted for new retail premises. The information in this table is derived from a mix of historic photographs and newspaper articles or advertisements.

Date	Details
12 December 1924	The first business leases at Eastlake (Kingston), Manuka and Civic were auctioned. The Eastlake leases were auctioned first and all 12 were sold. Unlike the shopping centres at Manuka and Civic, there were no strict design controls. ¹
2 July 1925	J B Young Ltd. began informally trading and was the first business to begin trading at the Kingston Shops. This was six months before the building was completed, with the shop formally opening on 10 December. ²
7 October 1926	<p>Prior to this time, the Federal Motor Garage Proprietary Ltd. operated out of the subject site and may have been the first business to operate from the subject tenancy. In October 1926, they disposed of the Eastlake businesses to a new organisation known as Canberra Motor Sales, Ltd.³ who were appointed agent for Fiat trucks and cars. The first directors were WG Woodger, TE Woodger, JH Calthorpe, TH Tyson and BL Tyson.⁴</p>  <p><i>Kingston Shopping Centre with the subject tenancy indicated (June 1928)</i> <i>(Source: National Archives of Australia, A1200, L83810)</i></p>
March 1931	It was advertised that Hayes and Russell Ltd. Canberra Cash and Carry Department was to open on 30 March. ⁵ Historic photographs (see below) show that this store operated from the subject site.

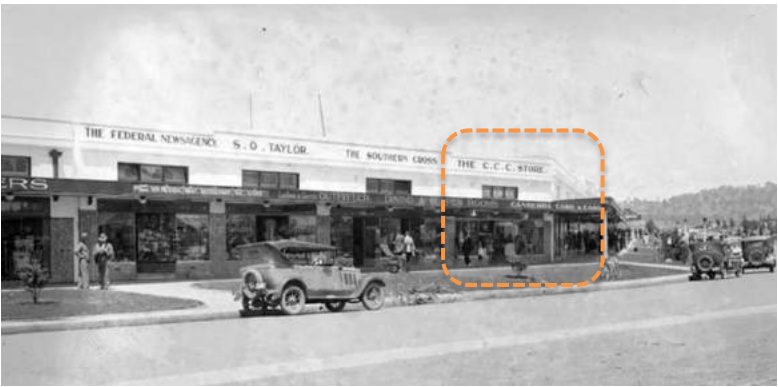

¹ 'Was Kingston Canberra's first shopping centre', *The Canberra Times*, updated 9 June 2019

² *Ibid*

³ *The Canberra Times*, 7 October 1926, p6


⁴ *The Canberra Times*, 4 November 1926, p9

⁵ *The Canberra Times*, 25 March 1931, p4

Date	Details
	 <p data-bbox="485 647 1244 703">Giles Street, Kingston Shopping Centre with the subject tenancy indicated (circa 1931) (Source: National Archives of Australia, A3560, 6607)</p>
<p data-bbox="256 730 400 757">January 1934</p>	<p data-bbox="485 730 1342 824">It was reported that Federal Capital Butchering Co. Ltd. would be opening a new shop in place of its two existing premises and that it would occupy a space that was leased by Canberra Cash and Carry Store in Giles Street (the subject shop).⁶</p>
<p data-bbox="256 842 453 869">14 December 1957</p>	<p data-bbox="485 842 1342 969">Block 24, Section 21 Kingston was advertised for sale. It contained two brick shops and rear premises – Kingston Newsagency and Butcher’s Shop. The buildings were noted to be a practical design with modern shop fronts and had recently been renovated.⁷</p>  <p data-bbox="485 1693 1023 1749">Aerial photograph with subject site indicated (1940) (Source: National Library of Australia, Run 4W, photo 14464)</p>

⁶ The Canberra Times, 12 January 1934, p1

⁷ The Canberra Times, 14 December 1957, p14

Date	Details
By circa 1972	<p>The newsagency in Giles Street had expanded to occupy both tenancies to Block 24 and is thought to have been the biggest newsagency in Australia. At this time, it was noted that it had just had its 'fourth face lift in six years'.⁸</p>  <p><i>Newsagency, Giles Street, Kingston (circa 1972) (Source: ACT Heritage Library, 006786)</i></p>
2016	<p>The newsagency moved out of the subject tenancy, reducing the size of their premises.⁹</p>

⁸ Photo of newsagency, ACT Heritage Library, 006786

⁹ Google StreetView, accessed 5 September 2022

3. Description

This section sets out observations of the building based on a site inspection and includes both the shopfront and the interior given that works would be carried out to both of these areas.

3.1 Exterior

The subject site is an irregular shape and narrows considerably at the rear of the block. The original front portion of the site is about 13 metres deep, whilst the brick addition to the rear is about 30 metres deep. Both sections have a low pitch roof clad in galvanised metal sheeting. Rear access to both the subject tenancy and the adjacent newsagency is via a single pedestrian door.



Kingston Newsagency (left) and subject tenancy (right)

The premises retain the original, stepped masonry parapet with heavy cuboid cornice. A bank of three original clerestory windows remain above the awning of the subject tenancy, though metal bars have been introduced to the front. The original timber-framed windows have hopper openings with textured glass and retain early hardware. One window has broken glass and a damaged frame.

Tie rods have been introduced to support the cantilevered awning to the front of the premises. This has been relined and now has a modern fascia and modern metal sheeting to the soffit.

Shopfronts

As with the majority of shopfronts at the Kingston Shops, the shopfront to the subject tenancy has been altered and now contains modern windows and doors. The original recessed entry has been removed, though the format of a central entry flanked by windows remains. The windows now extend the full height of the shopfront (the highlights have been removed) and one window no longer has a plinth. The plinth to the other window remains though appears to have been altered via the introduction of a textured render. The wall flanking the shopfront has similarly been rendered whilst a sheet material has been fixed over a modern PVC downpipe which has been chased into the wall.



Shopfront to subject tenancy with later aluminium framed windows and door.

The windows have tiled reveals which are now painted. These tiles are not original as historic photos show the original shopfronts had no reveals.



Tiled reveal to north window with texture render to wall



Textured render applied to wall with cover sheet for PVC downpipe

Rear

The rear part is constructed of orange-red coloured brick and incorporates a pair of aluminium framed windows and a solid timber door. No changes are proposed to this part.

3.2 Interior

The interior has been completely gutted and no original finishes or fixtures remain. The tenancy is currently a single open space with concrete slab floor and no ceiling linings. The walls are a mix of face brick (only to the addition), painted brick, render and mid-20th century cream tiles. At the front of the premises on the south wall is a painted mural. Both the mural and the tiles likely relate to the use of the premises as a butcher.



Looking to front of tenancy with timber trusses to original part Looking to rear of tenancy

Steel framing has been introduced inside the premises with brickwork roughly removed/cut out to accommodate the framing. This was possibly introduced when the tenancies were combined to create a single newsagent between 1957 and 1972. The steel framing extends across the mural and is lower than the clerestory windows to the front.



Steel framing to north side of tenancy (in location where wall would have been removed to create the single tenancy) Steel framing in front of cream tiles and mural

3.3 Streetscape

The table below provides a brief description of other shopfronts to Giles Street. Our preliminary review of other premises located with the nominated area of the Kingston Shops indicated that there are only two shops that retain a reasonable part of the original shopfronts. These are both located on Kennedy Street and are occupied by Scoop Wholefoods (no. 11) and Champi Café and Restaurant (no. 17). Further historic research would be required to confirm this.

Image	Details
	<p>68 and 74 Giles Street</p> <ul style="list-style-type: none"> • All modern shopfronts with part frameless, part aluminium framed openings, including sliding automatic doors. • Rendered wall between openings and below shop windows. • Signs suspended from awning and fixed to awning fascia. • Large lettering fixed to upper level (above awning). • Signage also to shopfront windows.





Image	Details
	<p>64 Giles Street (Newsagent)</p> <ul style="list-style-type: none"> • Non-original, aluminium framed windows. • ATM incorporated into shopfront. • Signs suspended from awning. • Painted signage on rendered parapet reflecting historic pattern of signage. • Sign fixed to wall adjacent to shop window.
 	<p>56 Giles Street (4 shops)</p> <ul style="list-style-type: none"> • Non-original shopfronts with wide aluminium framing and a variety of openings (bifold, sliding, swing). • Modern tiles between shopfronts. • Signs suspended from awning. • Substantial signs fixed to awning fascia. • Dry cleaning shop also has a substantial sign above the shopfront (below the awning).
	<p>48 Giles Street (4 shops)</p> <ul style="list-style-type: none"> • Non-original shopfronts, 3 with aluminium framing and a variety of openings (bifold, sliding, swing). • Fourth shop has modern, timber framed shopfront. • Modern tiles between shopfronts. • Signs suspended from awning. • Signs fixed to awning fascia.




Image	Details
	<p>42 Giles Street (1 shop and Andrew Arcade)</p> <ul style="list-style-type: none"> • Modern shopfronts with aluminium framed windows in a mix of configurations. • Modern tiles to shopfront. • A remnant of an early wall finish remains between the two shopfronts (rendered wall with picture rail and decorative roundel). • Signage suspended below awning for all shopfronts. • Signage fixed to the fascia in front of both the arcade and the individual shop. • One shop has a sign fixed to the wall above the shopfront (below the awning).
	<p>36 Giles Street (4 shops)</p> <ul style="list-style-type: none"> • All shopfronts non-original, including 1 aluminium-framed shopfront, 1 chrome shopfront with highlight (possibly dating to mid-20th century) and 2 shopfronts clad in timber. • Modern tiles and timber cladding between shopfronts. • All shops have large signs suspended from the awning. • Three shops have signs fixed to the fascia. • One shop also has a sign fixed to the wall adjacent to the entry.

Image	Details
	<p>24 Giles Street (3 shops)</p> <ul style="list-style-type: none"> • Modern shopfronts to two premises with timber-framed windows. • The third shop may include remnants of the original shopfront, having a central recessed entry, flanked by two windows (now with timber frames). • Rendered sections of wall between shopfronts. • Two shops have signs suspended from the awning. • The other shop has a large sign installed above the shopfront (below the awning). • The corner shop also has a sign fixed to the awning fascia.

4. Proposal

The proposed works would include a new internal fit-out, replacement of the roof sheeting and changes to the shopfront to accommodate the proposed retail premises. Works to the front of the shop would consist of:

- Construction of an airlock to the front entrance for security purposes;
- Installation of a new shopfront including arched windows and doors flanked by rendered walls within the existing openings;
- Reinstatement of a wall below the southern shop window;
- Installation of new signage;
- Repairs to the original clerestory window.

5. Discussion

Considerable change has occurred at the Kingston Shops over the past 100 years. The interior of the subject shop has been completely altered and now is an open plan area. Given this, the discussion below focuses on changes to the external fabric and potential impacts on the heritage significance of the Kingston Shops.

5.1 Shopfronts

Masonry wall

The existing masonry walls flanking the shopfront windows and below the north window would be retained and a new render finish applied. These sections of wall are possibly original, though now have a mid to late 20th century textured render finish. Given that the extant finish is not original, the application of a smooth render that is more sympathetic to the original buildings would be a reasonable heritage outcome.

A new section of framed wall would be introduced below the south window as well as above and between the existing openings to create arched openings. The reinstatement of a low wall below the southern window to reflect the original arrangement would be a positive heritage outcome.

The creation of arched openings is a key concept of the proposed retail outlet, with arched motifs proposed throughout the new fit-out. Whilst arched openings did not form part of the early Kingston Shops, it is noted that virtually all of the original shopfronts have been considerably/completely altered, including the subject shopfront. It is also noted that an existing shopfront at 36 Giles Street incorporates an arched opening. The new arched openings would not involve the removal of any masonry sections of wall and would be steel framed construction with a render finish which would allow the new material to be readily removed at a later date.

Windows

The existing aluminium framed windows and doors would be replaced with new steel framed openings. Given that the existing windows and door are not original, their replacement would be reasonable from a heritage perspective. The proposed use of slender steel frames for new doors and windows would be sympathetic to the Kingston Shops which originally had slender metal frames (likely copper) to openings. The format of a central narrow door, flanked by wider windows would reference the original shopfront format which had a symmetrical layout with central door located on axis with the window above the awning. Unlike the existing asymmetrical shopfront, the proposed shopfront would similarly align with the original above awning windows.

The proposed incorporation of multi-paned highlight and sidelight to the central door would reference the multi-paned highlights to the original shopfront, though these would be a contemporary interpretation as clear glazing would be used instead of the original textured glass and leadlight.

Signage

The proposed signage consists of a sign fixed to the fascia of the awning, a sign suspended from the awning and a small sign fixed to the wall of the shopfront.

Given that signage to the awning fascia was originally used at the Kingston Shops, and that this signage type remains one of the most common forms, the proposed signage to the awning fascia would be consistent with both the historic and the prevailing pattern. The proposed sign suspended from the awning would also be consistent with other signage at the Kingston Shops, with this signage type currently being the most common type and one that has been regularly used over the past several decades.

Whilst signs fixed to the wall above or beside the shop windows are less commonly used at the Kingston Shops, there are five other premises in Giles Street that use this form of signage, including the adjacent newsagency. Given this, and that the proposed sign would be a relatively small size, it would not detract from the historic character of the Kingston Shops. Both the sign to the awning fascia and the shopfront wall would use slender, elegant lettering in capitals as per the original signage and would be sympathetic to the nominated heritage place.

5.2 Repair works

Clerestory window

The original window above the awning (clerestory window) would be retained and repaired. This would involve replacing broken timber and glass to one of the sashes with new to match the size and profile of the existing. Repair of the damaged window would be a positive heritage outcome.

Roof sheeting

It is noted that the existing roof sheeting to the front portion of the shop is in poor condition with considerable rust and holes evident. The sheeting would be replaced with new galvanised corrugated metal sheeting (as per the existing) which would be compatible with adjacent galvanised sheeting.

5.3 Interior

Removal of steel beams

It is proposed to remove two non-original steel beams to the interior. These steel beams were likely introduced during the circa 1960s when the wall dividing the subject shop from the current Newsagent were removed to create larger premises. Given that they are not original, their removal is considered appropriate as it would allow for the reinstatement of higher ceilings. This would be a positive heritage outcome as it would better reflect the original arrangement where the ceiling was located above the height of the clerestory window. This would allow more light to enter the interior and would allow the original window to be viewed from inside the shop.

A structural engineer should confirm that the steel can be removed without impacting on the stability of the building.

Mural

The existing painted mural depicting a farmyard scene would be concealed by a new partition wall. Given that this was likely introduced when the shop was used as a butcher (between 1934 and circa 1972), and that it has already been damaged by previous fixings, the concealment (and retention) of this element would be appropriate from a heritage perspective.

6. Conclusion

Consistent with the Kingston Group Centre Master Plan, the proposed new retail tenancy would provide an active frontage within the Kingston Shops, rejuvenating a shop that is currently vacant and one that has already been considerably altered.

All original/early elements that remain would be retained and, where required, original elements would be repaired (clerestory windows) or replaced to match the existing (metal roof sheeting). Important elements that define the character of the Kingston shops, including the awning, rendered parapet and narrow frontage, would not be impacted by the proposed works. Where possible, new elements would be a contemporary interpretation of historic features. This applies to the symmetrical format of the shopfront with solid plinths below the windows, the central entry, the use of slender metal framing to the shopfronts and the proposed signage with elegant lettering.

Proposed changes to the interior are considered appropriate given that no original features remain. Reinstatement of a higher ceiling which is above the height of the clerestory windows would be a positive heritage outcome.

Sch 2.2(a)(xi)^(xi)

Scope of Works

Insured: Sch 2.2(a)(xi)
Address: 56 Giles St, Kingston ACT 2604
Insurer: Sch 2.2(a)(ii), Sch 2.2(a)(xi)
Insurer Ref No:
Client:
Client Ref No:
Site Inspection: 27 November 2023 – 11.00am

Instructions

Thank you for your instruction dated 27 October 2023 to inspect and provide a scope of works in response to the resultant fire damage to the subject property.

Context of the Scope of Works

This scope of works has been prepared for the reinstatement of the damage sustained from the claimed event at the above address.

All damage directly or indirectly attributable to the resultant damage will hereafter be referred to as arising from ***The Event***.

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This scope of works has been broken up into sections for clarity:

- **General Notes**
- **Preliminaries/Protection/Access**
- **Demolition Works**
- **Reinstatement Works**

This Scope includes a Dissection of Damage that is Event Related and identifies what was, in the writer's opinion, not Event related, as far as one is reasonably able to do so. It also identifies any upgraded works to meet current Building Code or Other Requirements where it is applicable.

This scope also includes images taken during our inspection.

The Scope of Works – Particulars for the Site in Question

General

The property in question is a single brick veneer constructed property supporting a metal roof. **Image 1**

The property consists of 4 retail tenancies divided by shared double brick walls, including from north to south: Café, Dry Cleaners, Pediatrist and Bakery.

The property appears to have been originally constructed in the 1920's, with numerous extensions and alterations undertaken over the years.

For referencing purposes, an aerial site plan of the subject property in the orientation of True North has been provided in **Figure 1**.



Figure 1 – Aerial Site Plan of Subject Property

From the provided advice, a Fire occurred at the Dry Cleaners about the centre of the property on 25 October 2023, causing widespread damage to the property.

Urgent Requirements, Cautions or Make Safe Issues

Make Safe Works

- **Make Safe** is completed by Others and no further work is required at this stage.

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Sch 2.2(a)(xi)

Qualifications

Planning and Building Approvals

Given the necessity to reconstruct the structure, council approval will likely be necessary through the provisions of either Exempt Work or Development Approval (DA) in view of receiving a Building Approval (BA). Approval and necessary planning instruments to be confirmed by seeking advice from Local Council or Building Surveyor (BS).

Extent of Works

Resultant Damage – Reinstatement Works

Fire related damage to structures and services throughout the entire property

Remedial Repairs and Upgrade/Betterment

Fire compartments between the separate tenancies to ensure compliance with fire provisions of NCC 2022.

Sch 2.2(a)(xi)

Extent and Limitation of the Scope of Works

This Scope of Works is designed to accurately assist contractors with pricing of a reasonable reinstatement without comprehensively undertaking building code and applicable / necessary upgrades into account. It includes measurements and volumes as far as it has been reasonable to do so at the time of this report being compiled.

A further site visit by the contractor is recommended to assist it with its understanding of the detail and logistical issues at the site and to ensure that the project and its pricing is accurately understood so that variations are kept to a minimum and a smooth and efficient remediation process are in place.

This document does not constitute nor is it intended to be a fully detailed schedule of works or detailed specification covering each and every item in the minutiae of the remediation works required at the above property. This document is designed to be a Scope of Works outlining the major and critical aspects of the remediation required. It is not a delineated specification schedule of precise fixtures, fittings and finishes.

The contractor/s will, prior to commencement of pricing and the work familiarise themselves with the existing structure and in keeping with this Scope or the remediation budget that is set ensure that reinstatement, as far as it is practical to do so, on a 'like-for-like' basis adhering to the principals of indemnity in keeping with the terms and conditions of the policy that may be governing or funding the remediation processes.

If there are any significant variations, difficulties, upgrades because of Codes or Building Standards, or additional damage not uncovered or reported / included in the Scope of Works presented, then the instructing principal should be notified immediately for clarification and further instructions should be sought possibly involving the Sch 2.2(a)(xi) if that is appropriate or if we can assist.

The prime contractor is to be responsible for the lodgement of all appropriate permits as required and must do so as quickly as possible. They shall also meet all relevant fees of permits as required. The statutory or legislative requirements and regulations of local state or territory authorities must be adhered to at all times.

In the event of unspecified damage being determined or requirements of change of method of reconstruction, the prime contractors will advise and seek the approval of the Insurers and Loss Adjuster in writing prior to work commencing or continuing.

Sch 2.2(a)(xi)

The prime contractor shall be responsible for the security of the site and the protection of the Insured's effects during the demolition and reconstruction schedules. The prime contractor will directly supervise the works ensuring appropriate protection of the surrounding environment. Items of the Insured's personal possessions or assets found during the course of demolition or reconstruction are to be retained and protected from damage and recorded appropriately.

At all times the contractor is to directly control that due protection is given to the covered areas and externals to the buildings, paths, paving and driveway, ensuring maximum protection of the environmental surrounds and gardens.

With the exception of the Contractor's lightweight only vehicles of trade, required for the delivery and removal of tools of trade and trucks directly engaged in delivery and pick up of rubbish, no wheel or track machinery is to be used within the site land boundary without the consent of the Insured. For the purpose of isolation and prevention of damage to any location, all demolition material is to be accessed wherever possible from the driveway and front elevation of the structure.

All contractors are urged to digitally photograph and record any issues that are of concern, any damage that may have been caused in the undertaking of these works or any aspects that may give rise to variations or disputes.

Further damage to the structure and its internals is paramount at all times and provision is to be made for covering by tarpaulins or like material throughout reconstruction. At no time during the course of the reconstruction schedule is the building permitted to be allowed open to the elements.

During the course of any remediation works, the contractor shall be vicariously liable for any loss or damage caused by any person acting under their control or direction. All contractors shall carry the appropriate industry insurances covering all parties as required under legislation and as standard industry practices dictate.

Prior to commencement of the works and in accordance with current statutory requirements, a contract shall be entered into between the repairing contractor and the Insured / Owner of the building. Where building materials / products are to be replaced, they are to be equivalent in every respect to the original, unless otherwise specified.

The contractor shall promptly surrender to the Insured, Insurers or the Loss Adjuster, any documents obtained as may be issued by or evidence the approval of any statutory authority in connection with the works or any certificate and/or warranty as may be issued in respect of any items that may be supplied during the course of work.

Sch 2.2(a)(xi)

All waste is to be disposed of (off site) in safe manner and as prescribed under legislation and or local council requirements. The contractor will be held liable for any breach in not fully meeting any legislative, council or EPA requirements for safe disposal of waste or debris and or any other requirement undertaken in the remediation processes.

The content of all reports and Scopes or Work issued by Sch 2.2(a)(xi) are issued entirely without prejudice and without admission of liability whatsoever. Sch 2.2(a)(xi) specifically makes no comment on any indemnity issues or policy response issues and we are not privy to the terms and conditions of the policy of insurance or, if indeed, a policy is in place to cover the event described in these reports.

The Scope of Works is based upon the evidence available at the time of our inspection and any new evidence or variation should be referred, if appropriate, for our consideration.

Authority to proceed and variations of works will be issued in writing by the Assessor, Loss Adjuster or Insurer only – and may include consultation with Sch 2.2(a)(xi) if that is appropriate or if we can assist.

Sch 2.2(a)(xi)

Work Health & Safety Considerations

The Contractor (including all Sub-Contractors) to allow for and ensure all works outlined within this Scope of Works document are carried out in accordance with the Work Health & Safety Act 2011, Legislation, Applicable Codes of Practices and Applicable Standards as listed below but not limited to:

Legislation, Codes of Practice, Standards applicable.

Legislation	Australian and other Standards – maintained at Workplace Office
<ul style="list-style-type: none"> ▪ Work Health & Safety Act 2011 ▪ Work Health & Safety Regulations 2011 ▪ Workers Compensation Act 1987 ▪ Workplace Injury Management and Workers Compensation Act 1998 No 86 ▪ Rail Safety Act 2008 	<ul style="list-style-type: none"> ▪ 2601 - The Demolition of Structures ▪ AS 2865 - Safe Work in a Confined Space ▪ AS 2397 - Safe Use of Lasers in the Building and Construction Industry ▪ AS 1577 - Scaffold Planks
Codes of Practice <ul style="list-style-type: none"> ▪ Construction Work ▪ Amenities for Construction Work ▪ Concrete Pumping ▪ Control of Workplace Hazardous Substances ▪ Cutting and Drilling Concrete and Other Masonry Products ▪ Electrical Practices for Construction Work ▪ Excavation ▪ Façade Retention ▪ Formwork ▪ Mono Strand Post Tensioned of Concrete Buildings ▪ Moving Plant on Construction Sites ▪ Safe Work on Roofs - Part 1 - Commercial and Industrial Buildings ▪ Use of Explosive Power Tools ▪ Tunnels Under Construction ▪ Work Near Overhead Powerlines ▪ NOHSC- Safe Removal of Asbestos 2011 ▪ NOHSC - Manual Handling ▪ NOHSC – Noise 	<ul style="list-style-type: none"> ▪ AS 4576 - Guidelines for Scaffolding ▪ AS/NZS 3012:2003 - Electrical Installations - Construction and Demolition Sites. Publication: 2003. ▪ AS 2550.1-2002 - Cranes - Safe Use - Part 1: General Requirements. Publication: 2002 ▪ AS 2550.4-2004 - Cranes - Safe Use - Part 4: Tower Cranes. Publication: 2004 ▪ AS 2550.5-2002 - Cranes - Safe Use - Part 5: Mobile and Vehicle Loading Cranes. Publication: 2002 ▪ AS 2550.10-2006 - Cranes - Safe Use - Part 10: Elevating Work Platforms. Publication: 2006 ▪ AS 2550.15 - Cranes - Safe Use - Part 15: Concrete Placing Equipment. Publication Date: 20 June 1994 ▪ AS/NZS 1891.1:2007 - Industrial Fall-Arrest Systems and Devices - Part 1: Harnesses and Ancillary Equipment. Publication: 2007 ▪ AS/NZS 1891.2 - Industrial Fall-Arrest Systems and Devices - Part 2: Horizontal Lifeline and Rail Systems. Publication Date: 20 March 2001
Safety Guides <ul style="list-style-type: none"> ▪ SafeWork Guide- Work Near Underground Assets ▪ Rigging Guide ▪ Dogging Guide ▪ <u>Advice on the Use of Crane Workboxes</u> ▪ Measures Used to Control the Risks Associated with Working at Heights ▪ Abrasive Blasting ▪ Working off Stepladders ▪ Protective Structures for Earthmoving Equipment ▪ Use of Explosive Power Tools 	<ul style="list-style-type: none"> ▪ AS/NZS 4431 - Guidelines for Safe Working on New Lift Installations in New Constructions. Publication Date: 5 December 1996 ▪ AS 3850-2003 - Tilt-Up Concrete Construction. Publication: 2003. ▪ AS/NZS 1716 (2003) Respiratory Protective Devices ▪ AS/NZS 1270:2002 Acoustic - Hearing Protector ▪ AS/NZS 1892.5:2000 Portable Ladders – Selection, Safe Use and Care. ▪ AS/NZS 4839-2001 Safe Use of Portable/Mobile Oxy Gas Systems.

Sch 2.2(a)(xi)

Legislation, Codes of Practice, Standards applicable.

Other (Please list):

Other (Please list):

Working Near Overhead Power Lines

The Contractor (including all Sub-Contractors) to allow for and ensure all works to be carried out in accordance to *Work Near Overhead Powerlines Code of Practice* prescribing allowable and safe working distances for working near overhead power lines:

TABLE 1

Approach distances for work performed by Ordinary Persons

Nominal phase to phase a.c. voltage (volts)	Approach distance (m)
Up to and including 132,000	3.0
Above 132,000 up to and including 330,000	6.0
Above 330,000	8.0
Nominal pole to earth d.c. voltage (volts)	Approach distance (m)
Up to and including +/- 1500 Volts	3.0

Note: Special approach distances apply for scaffolding work (Chapter 6) and work near low voltage overhead service lines (Chapter 8).

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TABLE 2

Approach Distances for work performed by Accredited Persons, with a Safety Observer

Nominal phase to phase a.c. voltage (volts)	Approach distance (m)
Insulated low voltage cables up to 1000, including LV ABC	0.5
Un-insulated low voltage conductors up to 1000	1.0
Above 1000 up to and including 33,000	1.2
Above 33,000 up to and including 66,000	1.4
Above 66,000 up to and including 132,000	1.8
Above 132,000 up to and including 220,000	2.4
330,000	3.7
500,000	4.6
Nominal pole to earth d.c. voltage (volts)	Approach distance (m)
Up to +/- 1,500	1.0

Note: Special approach distances apply for scaffolding work (Chapter 6) and work near low voltage overhead service lines (Chapter 8).

TABLE 3

Approach Distances for Vehicles

Nominal phase to phase a.c. voltage (volts)	Approach distance (m)
Low voltage conductors up to 1000	0.6
Above LV, up to and including 33,000	0.9
Above 33,000 up to and including 132,000	2.1
Above 132,000 up to and including 220,000	2.9
330,000	3.4
500,000	4.4
Nominal pole to earth d.c. voltage (volts)	Approach distance (m)
Up to and including +/- 1500 Volts	0.9

Sch 2.2(a)(xi)

Detailed Requirements for Reconstruction

Note:

- Prices to be completed on Attached Tendering Pricing Schedule.
- All provided dimensions and measurements to be confirmed by builder prior to reinstatement.
- All works are to be undertaken in accordance with NCC BCA 2022 and thereby the referenced Australian Standards as stipulated in the NCC BCA. A list of Standards referenced within the NCC BCA has been provided as Appendix within this scope of works. It is the responsibility of the Principal Contractor to ensure works are being completed in accordance with relevant Standards are achieved.
- This scope of works shall be read in conjunction with the provided Architectural and Structural Drawings separate to this document as **Appendix A**.

General Notes	Price
<ul style="list-style-type: none"> • Allow to furnish copies of certificates of currency of your Construction Risk. • Workers Compensation, Home Warranty, Contracts Works and Public Liability insurance policies. • Building /Safe Work Registration, furnish copies of these certificates with tender. • Allow to comply with all BCA, Health and Safe Work requirements. • Local Council may also require additional detailing and plans for building license. • Allow for all costs to mobilise to site including temporary site office, secure storage facilities, bin storage and hoardings/fencing to make site safe during reinstatement and clearing of area. • Allow for all safety signage, First Aid and fire extinguishers as required under your safety policy. • Supply day rates. • Allow for temporary power. (Supplied by owner) 	

Sch 2.2(a)(xi)

Preliminaries/Protection/Access	Price
<ul style="list-style-type: none"> • Conduct service search using Dial Before You Dig (DBYD) data/drawings including site service layout, locator and mark out prior to commencement of any works. • Include for the necessary service providers authority to excavate in close proximity to relevant services and infrastructure. • Allow for all necessary elevated working platform (EWP) and scaffold required to access working at heights. • Allow to secure all areas during work with the provision of necessary security measures such as plywood hoarding, signage and necessary temporary fencing to facilitate work area and restrict access to general public. • Isolate any services as required for safe working space prior to demolition and remedial works. • Any necessary terminations and isolations to be completed by qualified contactor with written confirmation issued prior to the commencement of any works. • Include for all necessary dust suppression measures including provision of plastic sheeting protection and walkway covers. • Allow for the protection of building fabrics within working area including all walls, floors, joineries during works. • Remove and store all furniture in a designated area on site prior to works commencing. • Ensure all excavated material faces are no greater than 1.5m in height and either battered or bench backed in accordance with SafeWork Code of Practice for Excavation. • Allow to ensure weatherproofing of all exposed areas during works including tarpaulin over roof. 	

Sch 2.2(a)(xi)

Demolition Works	Price
<p>All demolition works to be completed in accordance with AS 2601 and SafeWork requirements.</p> <p>General Notes</p> <p>Sch 2.2(a)(xi)</p> <p><i>The appointed contractor to undertake these works is to have the appropriate classed demolition and Asbestos licences by SafeWork.</i></p> <p>Fire Damaged Elements</p> <ul style="list-style-type: none"> Allow for the removal and disposal of the following fire and smoke damaged elements in facilitating the reinstatement process: <p>Sch 2.2(a)(xi)</p>	

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Reinstatement Works	
<p>Unit 1 – Café</p> <p><u>Roof Cladding</u></p> <ul style="list-style-type: none"> • Include for the supply and of new Colorbond roof sheet to match existing inclusive of cappings, sarking and any associated flashing and fixings within the upper roof in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – Approximately 90 m2 GFA. <p><u>Roof Drainage</u></p> <ul style="list-style-type: none"> • Allow for the supply and installation of box gutters to the upper roof including connections to existing storm water system in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – Approximately 14Lm 	
<h1>Sch 2.2(a)(xi)</h1>	

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Aluminium Shopfront Windows

- Allow for the supply and installation of the aluminium shopfront fixed glazing, bifold windows, and door inclusive of architraves, reveals, flashings and hardware to match existing in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. **Approximately 6.8m Wide x 2.7m High**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Unit 2 – Dry CleanersRoof Cladding

- Include for the supply and of new Colorbond roof sheet to match existing inclusive of cappings, sarking and any associated flashing and fixings within the entire unit in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 160 m2 GFA.**

Roof Drainage

- Allow for the supply and installation of box gutters to the upper roof and south eastern end of the lower roof, as well as eaves gutters to the remainder of the lower roof including connections to storm water system in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications.
Upper roof box gutters **Approximately 7.2Lm**
Lower roof box gutters **Approximately 5Lm**
Lower roof eaves gutter **Approximately 13Lm**
- Allow for the supply and installation of the downpipes inclusive of connections to stormwater line in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. **Approximately 3 Downpipes 90mm diameter each x 3m high**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

External Doors

- Allow for the supply and installation of timber solid core doors inclusive of architraves, door jamb and hardware toilets, store rooms, rear door in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications to match pre-loss condition - **5 off - Approximately 820mm x 2010mm**

Aluminium Shopfront Windows

- Allow for the supply and installation of the aluminium shopfront fixed glazing, and doors inclusive of architraves, reveals, flashings and hardware to match existing in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. **Approximately 6.8m Wide x 2.7m High**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Unit 3 – Paediatric**Roof Cladding**

- Include for the supply and of new Colorbond roof sheet to match existing inclusive of cappings, sarking and any associated flashing and fixings within the upper roof in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 74 m2 GFA.**

Roof Drainage

- Allow for the supply and installation of box gutters to the upper roof including connections to existing storm water system in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 8Lm**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Aluminium Shopfront Windows

- Allow for the supply and installation of aluminium shopfront fixed glazing and doors inclusive of architraves, reveals, flashings and hardware to match existing in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. **Approximately 7.8m Wide x 2.7m High**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Unit 4 – Bakery

Roof Cladding

- Include for the supply and of new Colorbond roof sheet to match existing inclusive of cappings, sarking and any associated flashing and fixings within the upper roof in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 68m2 GFA.**
- Allow for the reinstatement of solar panels to the upper roof including connection to existing solar system. **30 Panels**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Common Building – Front Awning

Roof Cladding

- Include for the supply and of new Colorbond roof sheet to match existing inclusive of cappings, sarking and any associated flashing and fixings in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 2.7Lm x 29.5Lm (78 m2 GFA).**

Roof Drainage

- Allow for the supply and installation of box gutter including connections to existing storm water system in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. – **Approximately 29Lm**
- Allow for the removal and replacement of downpipes inclusive of connections to stormwater line in accordance with NCC BCA 2022, referenced Australian Standards and manufactures specifications. **Approximately 3 Downpipes 100mm x 75mm each x 3m high**

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)



Exclusions

- Any works outside of the scope is considered unrelated to the event.
- Tenant's fit out of Units.
- Contents

Sch 2.2(a)(xi)

Closure

We trust this meets your requirements and should you require further information or clarification on the matter, please do not hesitate to contact the undersigned.

Yours Faithfully,

Sch 2.2(a)(xi), Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

Tender Pricing Schedules

Insured:

Insurer:

Insurance Ref No:

Client:

Client Ref No:

Sch 2.2(a)(xi)

Notes:

*Pricing of works – **lump sum per section**, any provisional sums and enclosed contingency sums are to be included as **separate items**. Where options are indicated please list as separate items. Total price is to be exclusive of GST.*

Tender Schedule (Exclusive of GST)

No	Item	Price
1.	General Notes	\$
2.	Preliminaries/Protection/Access	\$
3.	Demolition Works	\$
4.	Reinstatement Works	\$

Sub Total \$

GST \$

Total \$

Contractor Details

Contact Name:

Signature:

Date:

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NCC Referenced Standards

The following list comprises Standards Australia documents referenced in the current NCC BCA 2022 and all works are to be completed in accordance with the applicable standards including but not limited to:

- AS/NZS ISO 717.1:2004 Acoustics - Rating of sound insulation in buildings and of building elements - Impact sound insulation
- AS ISO 717.2:2004 Acoustics - Rating of sound insulation in buildings and of building elements - Impact sound insulation
- AS 1056.1-1991 Storage water heaters - General requirements
- AS/NZS 1170 Structural design actions
 - AS/NZS 1170.0:2002 General principles
 - AS/NZS 1170.1:2002 Permanent, imposed and other actions
 - AS/NZS 1170.1:2002 AMDT 2 Structural design actions
 - AS/NZS 1170.2:2021 Wind actions
 - AS/NZS 1170.3:2003 Snow and ice actions
 - AS 1170.4-2007 Earthquake actions in Australia
- AS 1187-1996 Farm milk cooling and storage systems
- AS 1191-2002 Acoustics - Method for laboratory measurement of airborne sound transmission insulation of building elements
- AS/NZS 1260:2017 PVC-U pipes and fittings for drain, waste and vent applications
- AS 1273-1991 Unplasticized PVC (UPVC) downpipe and fittings for rainwater
- AS 1276-1979 Methods for determination of sound transmission class and noise isolation class of building partitions
- AS 1289.6.3.3-1997 Methods of testing soils for engineering purposes - Soil strength and consolidation tests - Determination of the penetration resistance of a soil - Perth sand penetrometer test
- AS 1288:2021 Glass in buildings - Selection and installation
- AS 1345-1995 Identification of the contents of pipes, conduits and ducts
- AS 1375-2013 Industrial fuel-fired appliances
- AS 1397:2021 Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium
- AS 1428 Design for access and mobility
- AS 1530 Methods for fire tests on building materials, components and structures
 - AS 1530.1-1994 Combustibility test for materials
 - AS 1530.2-1993 Test for flammability of materials
 - AS/NZS 1530.3:1999 Simultaneous determination of ignitability, flame propagation, heat release and smoke release
 - AS 1530.4:2014 Fire-resistance tests for elements of construction
 - AS 1530.8.1-2007 Tests on elements of construction for buildings exposed to simulated bushfire attack - Radiant heat and small flaming sources

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- AS 1530.8.2-2007 Tests on elements of construction for buildings exposed to simulated bushfire attack - Large flaming sources
- AS/NZS 1546 On-site domestic wastewater treatment units
- AS/NZS 1546.1:1998/2008 Septic tanks
- AS 1530.8.1:2018 Methods for fire tests on building materials, components and structures
- AS 1546.3:2017 Amd 1:2018 On-site domestic wastewater treatment units
- AS/NZS 1546.2:2001/2008 Waterless composting toilets
- AS/NZS 1546.3:2001/2008 Aerated wastewater treatment systems
- AS 1546.4:2016 On-site domestic wastewater treatment units - Domestic greywater treatment systems
- AS/NZS 1547:2000/2012 On-site domestic wastewater management
- AS 1562 Design and installation of sheet roof and wall cladding
 - AS 1562.1-1992/2018 Design and installation of metal roof and wall cladding
 - AS/NZS 1562.2:1999 Corrugated fibre-reinforced cement
 - AS/NZS 1562.3:1996 Plastic
 - AS 1562.3-2006 Plastic - Design and installation of sheet roof and wall cladding
- AS/NZS 1596:2014 The storage and handling of LP Gas
- AS 1603.3-1996 Automatic fire detection and alarm systems - Heat alarms
- AS 1603 Thermal detectors for fire alarm installations
- AS 1657-2013/2018 Fixed platforms, walkways, stairways and ladders - Design, construction and installation
- AS/NZS 1664 Aluminium structures
- AS/NZS 1668 The use of ventilation and airconditioning in buildings
 - AS/NZS 1668.1:1998 Fire and smoke control in multi-compartment buildings
 - AS/NZS 1668.1:2015 Fire and smoke control in multi-compartment buildings
 - AS 1668.2-2012 Mechanical ventilation for acceptable indoor-air quality
 - AS 1668.1:2015 The use of ventilation and air conditioning in buildings
 - AS 1684 Residential timber-framed construction - AS 1684.2 (Non-cyclone areas) & AS 1684.3 (Cyclone areas) Supplements
 - AS 1668.4-2012 Natural ventilation of buildings
- AS 1670 Fire detection, warning, control and intercom systems - System design, installation and commissioning
 - AS 1670.1:2015/2018 Fire
 - AS 1670.3-2004/2018 Fire alarm monitoring
 - AS 1670.4:2015/2018 Emergency warning and intercom systems
- AS/NZS 1680 Interior lighting
 - AS/NZS 1680.0-2009 Safe movement
 - AS/NZS 1680.1:2006 General principles and recommendations
 - AS/NZS 1680.2.1:2008 Specific applications - Circulation spaces and other general areas
 - AS/NZS 1680.2.2:2008 Specific applications - Office and screen-based tasks
 - AS/NZS 1680.2.3:2008 Specific applications - Educational and training facilities
 - AS/NZS 1680.2.4:1997 Industrial tasks and processes

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- AS/NZS 1680.2.5:1997 Hospital and medical tasks
- AS 1684 Residential timber-framed construction
 - AS 1684.2-2010 Non-cyclonic areas
 - AS 1684.2-2021 Non-cyclonic areas
 - AS 1684.3-2010 Cyclonic areas
 - AS 1684.3-2021 Cyclonic areas
 - AS 1684.4-2010 Simplified - Non-cyclonic areas
- AS 1692-2006 Steel tanks for flammable and combustible liquids
- AS 1720 Timber structures
 - AS 1720.1-2010 Design methods
 - AS 1720.4-2006 Fire resistance for structural adequacy of timber members
 - AS/NZS 1720.4:2019 Fire resistance of timber elements - Timber structures
 - AS 1720.5:2015 Nailplated timber roof trusses
- AS 1735 Lifts, escalators and moving walks
 - AS 1735.1-2003 General requirements
 - AS 1735.2-2001 Passenger and goods lifts - Electric
 - AS 1735.7-1998 Stairway lifts
 - AS 1735.11-1986 Fire-rated landing doors
 - AS 1735.12-1999 Facilities for persons with disabilities
 - AS 1735.15-2002 Low rise passenger lifts - Non-automatically controlled
- AS/NZS 1859.4:2004/2018 Reconstituted wood-based panels - Specifications - Wet-processed fibreboard
- AS 1860.2-2006 Particleboard flooring - Installation
- AS/NZS 1891.4:2000 Industrial fall-arrest systems and devices - Selection, use and maintenance
- AS 1905 Components for the protection of openings in fire-resistant walls
 - AS 1905.1:2015 Fire-resistant doorsets
 - AS 1905.2-2005 Fire-resistant roller shutters
- AS 1926 Swimming pool safety
 - AS 1926.1-1993/2012 Fencing for swimming pools
 - AS 1926.2-1995/2007 Location of fencing for private swimming pools
 - AS 1926.3-2010 Water recirculation systems
- AS 2001.5.4-2005 Methods of test for textiles - Dimensional change - Determination of dimensional change in laundering of textile fabrics and garments - Automatic machine method
- AS 2047-2014 Windows in buildings - Selection and installation
- AS 2049-2002 Roof tiles
- AS 2050-2002/2018 Installation of roof tiles
- AS 2070-1999 Plastics materials for food contact use
- AS 2118 Automatic fire sprinkler systems
 - AS 2118.1-1999 General requirements
 - AS 2118.2-1995 Wall wetting sprinklers (Drenchers)
 - AS 2118.4-2012 Residential
 - AS 2118.5-1995 Domestic

- AS 2118.5-2008 Automatic fire sprinkler systems
- AS 2118.6-2012 Combined sprinkler and hydrant
- AS 2118.9-1995 Piping support and installation
- AS 2118.1-2017 General systems
- AS 2159-2009 Piling - Design and installation
- AS/NZS 2179.1:2014 Specifications for rainwater goods, accessories and fasteners - Metal shape or sheet rainwater goods, and metal accessories and fasteners
- AS 2220 Emergency warning and intercommunication systems in buildings
 - AS 2220.1-1989 Equipment design and manufacture
 - AS 2220.2-1989 System design, installation and commissioning
- AS/NZS 2269.0:2012 Plywood - Structural - Specifications
- AS 2293 Emergency escape lighting and exit signs for buildings
 - AS 2293.1-2005/2018 System design, installation and operation
- AS/NZS 2327:2017 Composite structures - Composite steel-concrete construction in buildings
- AS 2419.1-2005 Fire hydrant installations - System design, installation and commissioning
- AS 2441-2005 Installation of fire hose reels
- AS 2444-2001 Portable fire extinguishers and fire blankets - Selection and location
- AS 2658-2008 LP Gas - Portable and mobile appliances
- AS 2665-2001 Smoke/heat venting systems - Design, installation and commissioning
- AS/NZS 2699.1:2000 Built-in components for masonry construction - Wall ties
- AS/NZS 2699.3:2000 Built-in components for masonry construction - Lintels and shelf angles (durability requirements)
- AS 2746-2008 Working areas for gas-fuelled vehicles
- AS 2870-2011 Residential slabs and footings
- AS/NZS 2890.6:2009 Parking facilities - Off-street parking for people with disabilities
- AS/NZS 2904:1995 Damp-proof courses and flashings
- AS/NZS 2908 Cellulose-cement products
 - AS/NZS 2908.1:2000 Corrugated sheets
 - AS/NZS 2908.2:2000 Flat sheet
- AS/NZS 2918:2001/2018 Domestic solid fuel burning appliances - Installation
- AS/NZS 3000:2018 Electrical installations (known as the Australian/New Zealand Wiring Rules)
- AS/NZS 3002:2008 Electrical installations - Shows and carnivals
- AS/NZS 3013:2005 Electrical installations - Classification of the fire and mechanical performance of wiring system elements
- AS/NZS 3500 Plumbing and drainage
 - AS/NZS 3500.0:2021 Plumbing and drainage - Glossary of terms
 - AS/NZS 3500.1:2021 Plumbing and drainage - Water services
 - AS/NZS 3500.2:2021 Plumbing and drainage - Sanitary plumbing and drainage
 - AS/NZS 3500.3:2021 Plumbing and drainage - Stormwater drainage
 - AS/NZS 3500.4:2021 Plumbing and drainage - Heated water services
- AS 3600-2018 Concrete structures
- AS 3660 Termite management - New building work

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- AS 3660.1-2014
- AS 3660.3:2014 Assessment criteria for termite management systems
- AS/NZS 3666 Air-handling and water systems of buildings - Microbial control
 - AS/NZS 3666.1:2011 Design, installation and commissioning
 - AS/NZS 3666.2:2011 Operation and maintenance
- AS 3700-2018 Masonry structures
- AS 3735-2001 Concrete structures retaining liquids
- AS 3740-2010 Waterproofing of domestic wet areas
- AS/NZS 3760:2010 In-service safety inspection and testing of electrical equipment
- AS 3786-1993/2014 Smoke alarms
- AS/NZS 3823.1.2:2012 Performance of electrical appliances - Airconditioners and heat pumps - Ducted airconditioners and air-to-air heat pumps - Testing and rating for performance (ISO 13253:2011, MOD)
- AS 3959-2018 Construction of buildings in bushfire-prone areas
- AS/NZS 4013:1999 Domestic solid fuel burning appliances - Method for determination of flue gas emission
- AS/NZS 4020:2018 Testing of products for use in contact with drinking water
- AS 4055-2012 Wind loads for housing
- AS 4072.1-2005 Components for the protection of openings in fire-resistant separating elements - Service penetrations and control joints
- AS 4100-1998 Steel structures
- AS 4118.2.1-1995 Fire sprinkler systems - Piping - General
- AS/NZS 4130:2009 Polyethylene (PE) pipes for pressure applications
- AS/NZS 4200 Pliable building membranes and underlays
 - AS/NZS 4200.1:2017 Materials
 - AS/NZS 4200.1:1994 Materials
 - AS/NZS 4200.2:1994 Installation requirements
- AS/NZS 4234:2008 Heated water systems - Calculation of energy consumption
- AS 4254 Ductwork for air-handling systems in buildings
 - AS 4254.1-2012 Flexible duct
 - AS 4254.2-2012 Rigid duct
 - AS 4254.1-2021 Ductwork for air-handling systems in buildings
- AS/NZS 4256 Plastic roof and wall cladding materials
 - AS/NZS 4256.1:1994 General requirements
 - AS/NZS 4256.2:1994 Unplasticized polyvinyl chloride (uPVC) building sheets
 - AS/NZS 4256.3:1994 Glass fibre reinforced polyester (GRP)
 - AS/NZS 4256.5:1996 Polycarbonate
- AS/NZS 4284:2008 Testing of building facades
- AS 4464-2007 Hygienic production of wild game meat for human consumption
- AS 4465-2006 Construction of premises and hygienic production of poultry meat for human consumption
- AS 4466-1998 Hygienic production of rabbit meat for human consumption

- AS/NZS 4505:2012 Garage doors and other large access doors
- AS 4552-2005 Gas fired water heaters for hot water supply and/or central heating
- AS 4586-2013 Slip resistance classification of new pedestrian surface materials
- AS/NZS 4586:2004 Slip resistance classification of new pedestrian surface materials
- AS 4597-1999(R2015) Installation of roof slates and shingles (Non-interlocking type)
- AS/NZS 4600:2005/2018 Cold-formed steel structures
- AS 4654 Waterproofing membranes for external above-ground use
 - AS 4654.1-2012 Materials
 - AS 4654.2-2012 Design and installation
- AS 4674-2004 Construction and fit out of food premises
- AS 4678-2002 Earth-retaining structures
- AS 4696-2007 Hygienic production and transportation of meat and meat products for human consumption
- AS/NZS 4766:2006 Polyethylene storage tanks for water and chemicals
- AS 4773 Masonry in small buildings
 - AS 4773.1:2015 Design
 - AS 4773.2:2015 Construction
- AS/NZS 4859.1:2002/2018 Materials for the thermal insulation of buildings - General criteria and technical provisions
- AS/NZS 4859.2:2018 Thermal insulation materials for buildings - Design
- AS 5008-2007 Hygienic rendering of animal products
- AS 5010-2001 Hygienic production of ratite (emu/ostrich) meat for human consumption
- AS 5011-2001 Hygienic production of natural casings for human consumption
- AS 5113:2016 Fire propagation testing and classification of external walls of buildings
- AS 5146.1:2015 Reinforced Autoclaved Aerated Concrete - Structures
- ATS 5200.026-2004 Technical Specification for plumbing and drainage products - Cold water storage tanks
- AS 5216:2018 Design of post-installed and cast-in fastenings in concrete
- AS 5637.1:2015 Determination of fire hazard properties - Wall and ceiling linings
- AS ISO 9239.1-2003 Reaction to fire tests for floor coverings - Determination of the burning behaviour using a radiant heat source
- AS/NZS ISO 9972:2015 Thermal performance of buildings - Determination of air permeability of buildings - Fan pressurization method
- HB 230-2008 Rainwater Tank Design and Installation Handbook
- AS/NZS 2293.1:2018 Emergency lighting and exit signs for buildings
- AS 2312.1 Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings
- AS/NZS 2312.2 Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings
- AS 2419.1-2021 Fire hydrant installations - System design, installation and commissioning
- AS 2699.1:2020 Wall ties - Built-in components for masonry construction
- AS 2699.3:2020 Lintels and shelf angles (durability requirements)

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- AS 3740-2021 Waterproofing of domestic wet areas
- AS 4055-2021 Wind loads for housing
- AS 4100-2020 Steel structures
- AS 4200.1:2017 Materials - Pliable building membranes and underlays
- AS 4200.2:2017 Pliable building membranes and underlays
- AS/NZS 4234:2021 Heated water systems - Calculation of energy consumption
- AS/NZS 4858:2004 Wet area membranes (Reconfirmed 2020)
- AS 5146.3:2018 Construction - Reinforced Autoclaved Aerated Concrete
- AS 5216:2021 Design of post-installed and cast-in fastenings in concrete
- AS/NZS 1276.1:1999 Acoustics - Rating of sound insulation in buildings and of building elements
- ISO/R 717:1968 Annulation de l'ISO/R 717-1968
- ASTM E 903 : 2012 Standard Test Method for Solar Absorptance, Reflectance, and Transmittance of Materials Using Integrating Spheres
- ASTM E 96/E96M : 2016 : REDLINE Standard Test Methods for Water Vapor Transmission of Materials
- ISO 140-10 Acoustics Measurement of sound insulation in buildings and of building elements Part 10: Laboratory measurement of airborne sound insulation of small building elements
- ISO 540:2008 Hard coal and coke " Determination of ash fusibility
- AS/NZS 5601.1:2013 Gas installations
- ISO 8336:2017 Fibre-cement flat sheets " Product specification and test methods
- ISO 25745-2:2015 Energy performance of lifts, escalators and moving walks Part 2: Energy calculation and classification for lifts (elevators)
- SA TS 5344:2019 Permanent labelling for Aluminium Composite Panel (ACP) products
- ISO 717-1:1996 Acoustics Rating of sound insulation in buildings and of building elements Part 1: Airborne sound insulation
- AS 5601-2004 Gas installations
- AS/NZS 3837:1998 Method of test for heat and smoke release rates for materials and products using an oxygen consumption calorimeter (Reconfirmed 2016)
- ASTM E 2073 : 2019 Standard Test Method for Photopic Luminance of Photoluminescent (Phosphorescent) Markings
- ASTM E 72 : 2015 Standard Test Methods of Conducting Strength Tests of Panels for Building Construction
- ASTM E 695 : 2003 : R2015 : EDT 1 Standard Test Method of Measuring Relative Resistance of Wall, Floor, and Roof Construction to Impact Loading
- AS 3498-2009 Authorization requirements for plumbing products - Water heaters and hot-water storage tanks

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Appendix A – Supportive Documents

The following supportive documents have been provided as a separate documents and are to be read in conjunction with the scope of works:

- Architectural Drawings incorporated the BCA upgrade requirements
- Structural Drawings
- Cadastral survey [informative only]
- BCA Compliance Report [informative only]

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Appendix B – Zinsser B-I-N Shellac-Base

TECHNICAL DATA		BIN-06										
 ZINSSER <small>QUALITY SINCE 1904</small>		B-I-N® SHELLAC-BASED PRIMER-SEALER STAIN BLOCKER										
DESCRIPTION AND USES <p>Zinsser® B-I-N® Shellac-Based Primer-Sealer is a high performance, white pigmented shellac-based primer-sealer/stain blocker/bond coat that combines fast dry time with excellent adhesion and excellent stain blocking power. It is suitable for use on new or previously coated wood, plaster, drywall, filled areas, porous wallcovering and paneling. It is formulated to adhere to almost any surface, allowing topcoats to stick to a variety of surfaces to include clear finishes, glass, ceramic tile, metal, Formica® and MDF.</p> <p>The solvent has a mild and quickly dissipating odour, making it suitable for use in non-occupied spaces in hospitals and schools. It is ideal for use in retail shops, walk-in refrigerators, food processing plants, restaurants, homes and apartments. It can be used over or under any oil-based or water-based architectural paint and is ideal for new construction, fire and water damage, remodeling and restoration.</p>		PRODUCT APPLICATION (cont.) SEALING <p>B-I-N seals unpainted or porous surfaces so topcoat paints have better coverage. It is ideal for wood, masonry, cured plaster, concrete and concrete block, stucco, drywall, joint compound, uncoated wallcovering and other porous surfaces. Because of its excellent enamel holdout, it is an ideal basecoat for any type of flou or decorative paint finish. Note: Very porous surfaces may require two coats.</p> ODOUR SEALING <p>B-I-N effectively seals all types of odours including musty mould, odours from fireplace and furniture puff-backs, moth repellents, pet urine and residual odours from flood and fire damage.</p> STAIN BLOCKING <p>One coat effectively blocks water stains, mould stains, crayon, ink, graffiti, greasy spots, lipstick, interior cedar and redwood tannin bleed, rust and other types of stains; to prevent bleed into the topcoat. Some stains require a second coat.</p> FIRE DAMAGE <p>Replace severely charred substrates and remove loose soot and other contaminants with a dry chemical sponge or duster. Prime damaged surfaces to block smoke stains, water stains, and seal odours. It will permanently seal in the residual odour from fire damage.</p> KNOTS & SAP STREAKS <p>Seal knots and sap streaks with one or two coats. New or unseasoned wood knots and sap streaks may require two coats.</p> SURFACE PREPARATION <p>Surfaces should be clean, dry, sound and free of dust, dirt, excessive chalky material, grime, grease, oil, wax, mould, wallpaper adhesive, or any contamination that may interfere with adhesion. If unsure of cleanliness, always wash surface with a household cleaner, appropriate cleaning solution or solvent. Remove any unsound coatings. Sand any remaining paint, firm edges smooth with the surface. For exterior spot-priming, lightly sand exposed wood with 80 to 100 grit sandpaper to remove loose or weathered wood fibres. When priming over stained areas, first attempt to remove as much of the stain as possible by washing, sanding, scraping, etc.</p> <p>Remove interior mould with an interior mould cleaner. Allow surface to dry completely before priming. Wire Brush rusty areas. Special precautions should be taken during surface preparation of pre-1960 paint surfaces as they may contain harmful lead. Avoid the inhalation of dust. Wear a suitable face mask if dry sanding.</p>										
PERFORMANCE CHARACTERISTICS <ul style="list-style-type: none"> • Interior & spot exterior use • High hiding and seals all stains • Use with all paint • Recoat in 45 minutes • Clean up with methylated spirits 												
PRODUCTS <table border="1"> <thead> <tr> <th>SKU</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>78208</td> <td>470 ml</td> </tr> <tr> <td>78204</td> <td>1 Litre</td> </tr> <tr> <td>78201</td> <td>5.78 Litre</td> </tr> <tr> <td>78205</td> <td>10 Litre</td> </tr> </tbody> </table>		SKU	Description	78208	470 ml	78204	1 Litre	78201	5.78 Litre	78205	10 Litre	
SKU	Description											
78208	470 ml											
78204	1 Litre											
78201	5.78 Litre											
78205	10 Litre											
PRODUCT APPLICATION PRIMING INTERIORS <p>Use as a full surface primer on drywall, cured plaster, filled areas, ceiling tiles, wood or metal doors, windows, cabinets, plywood, paneling, trim, clear finishes and other paintable interior surfaces.</p> SPOT-PRIMING <p>Suitable for exterior spot-priming over knots, sap streaks, rust stains, copper screening stains, weathered siding and trim touch-up. It is ideal for interior spot applications like water stains and filled spots. Note: that spot-primed areas on porous surfaces may "flash" or show through points with poor hiding power including many ceiling paints and glossy enamels. Use only high hiding finish paints.</p>												

Form: GDH-816
Rev.: 851515

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TECHNICAL DATA	
B-I-N® SHELLAC-BASED PRIMER-SEALER STAIN BLOCKER	
<p>PRODUCT APPLICATION (cont.)</p> <p>APPLICATION</p> <p>Apply only when air, material, and surface temperatures are between -18 and 32°C, the relative humidity is less than 85% and the surface temperature is 3°C above the dew point. DO NOT THIN. Eliminate all sources of ignition. Thoroughly mix to ensure any settled pigment is re-dispersed before using. Apply with a natural or synthetic bristle brush, roller or sprayer. Follow manufacturer's instructions when using spray equipment. If B-I-N thickens in the container due to solvent evaporation, add a small amount of methylated spirits. When spraying, dilute with up to 2% with methylated spirits.</p> <p>TINTING</p> <p>B-I-N Shellac-Based Primer-Sealer may be tinted with up to 16 mL of universal colourant per litre. Tinting the primer toward the colour of the topcoat helps hide in one coat. Note: The addition of universal colourant may prolong the dry time of this product.</p> <p>COVERAGE</p> <p>B-I-N Shellac-Based Primer-Sealer will cover approximately 12.5 m² per litre. Coverage may vary with application method and surface porosity.</p>	<p>PRODUCT APPLICATION (cont.)</p> <p>DRY TIME</p> <p>At normal temperatures, B-I-N will dry to the touch in 15 minutes and can be recoated in 45 minutes. Paint spot-primed exterior surfaces after they dry. Lower temperatures, higher humidity, and the addition of tint will prolong dry and cure time. Allow more time at cooler temperatures.</p> <p>CLEAN-UP</p> <p>Clean application tools with methylated spirits, allowing wet brush or roller to soak for 5-10 minutes. Dried tools require overnight soaking in methylated spirits. Follow equipment manufacturer's directions to clean spray equipment. Wipe up splatters before they dry with methylated spirits. Some local authorities have special facilities for disposing of waste paint. Do not empty into drains or watercourses.</p> <p>LIMITATIONS</p> <p>B-I-N Shellac-Based Primer-Sealer is not recommended for full surface application on exterior substrates, garage floors, decks, patios, excessively humid interior areas – e.g. sauna rooms, damp surfaces or surfaces subject to immersion or prolonged contact with water.</p>
2	Form: GDH-21P Rev.: 051515

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Images



Image 1. View of the subject property

Sch 2.2(a)(xi)



Image 2. View of the boundaries of the property marked

Sch 2.2(a)(xi)



Image 3. View of the shop fronts of the fire damaged property

Sch 2.2(a)(xi)



Image 4. View of Unit 1 - Cafe

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)



Image 11. View of the rear of the property

Sch 2.2(a)(xi)

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS

Sch 2.2(a)(xi)

INTRUSIVE HAZARDOUS MATERIALS REPORT

Report: Sch 2.2(a)(xi)

Date of Assessment: 29 October 2024

Address: 48 – 52 Giles Street Kingston ACT 2604



Sch 2.2(a)(xi)

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

DOCUMENT CONTROL

CURRENT

DOCUMENT NO.	DATA ENTRY		APPROVED		DESCRIPTION
	DATE	PERSON	DATE	PERSON	
Report: Sch 2.2(a)(xi)	30 October 2024	Sch 2.2(a)(ii)	10 November 2024	Sch 2.2(a)(ii)	Intrusive Hazardous Materials Report

HISTORICAL

DOCUMENT NO.	DATE	COMPANY	DESCRIPTION
Sch 2.2(a)(xi)	February 2024	Sch 2.2(a)(xi)	Intrusive Hazardous Materials Report version 2

This document is issued subject to review and authorisation by the Director & Principal Consultant. It has been prepared for prepared for the Client's particular requirements which are based on a specific brief with limitations as agreed to with the Client. The information contained within this document should not be reproduced, presented or reviewed except in full. Prior to passing on to a third party, the Client is to fully inform the third party of the specific brief and limitations associated with this commission.

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INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

EXECUTIVE SUMMARY

Sch 2.2(a)(xi) was requested by Sch 2.2(a)(xi), to undertake an Intrusive Hazardous Materials Survey of the 48 – 52 Giles Street Kingston ACT 2604. The survey took place on the 29 October 2024. The survey was conducted by Sch 2.2(a)(ii), licensed asbestos assessors of Sch 2.2(a)(xi)

A brief summary of the Additional hazardous materials found is noted below:

- **All asbestos containing materials (ACM) or identified ACM have been put into a register and approx quantities are noted.**
- **Two paint samples were found to be lead based paint.**
- **A number of accessible light fittings were inspected and no PCB capacitors found.**
- **Synthetic Mineral Fibre (SMF) was found on site.**
- **Non-ozone Depleting Substances (ODS) were found on site.**
- **No fuel storage was found on site.**

While every effort was made to identify all ACM on site, no determination can be made for areas such as formwork under concrete slabs or inaccessible areas that the asbestos assessor could not be reasonably expected to identify (e.g. subterranean asbestos pipes, formwork or ACM behind ACM).

INTRODUCTION

SCOPE OF WORKS

The assessment involved a visual inspection of hazardous materials (Hazmat) and intrusive investigation of areas likely to contain hazardous materials in the buildings and sampling of material suspected to be hazardous or identifying it on site.

Any samples collected during the audit were sent to a National Association of Testing Authorities (NATA) accredited laboratory under controlled chain of custody (CoC). The sample results can be found on the Certificate of Analysis attached at Laboratory certificates of this report. This intrusive inspection and any sampling was undertaken by licensed asbestos assessors of Sch 2.2(a)(xi).

HAZARDOUS MATERIALS

Hazardous materials have been widely used in the construction, insulation (asbestos), maintenance (lead paint), heating (heating oil) and cooling (ozone depleting substances) of built structures for many years. These materials can have adverse effects on human health and the environment.

The hazardous materials survey must identify, evaluate and propose a management plan (including the use of appropriately licensed contractors for the removal, transport and disposal) of all hazardous materials including fuel tanks, asbestos, lead paint, polychlorinated biphenyls (PCB) containing materials, Synthetic Mineral Fibre (SMF) and Ozone Depleting Substances which may be present on the site.

HAZARDOUS MATERIALS INFORMATION

ASBESTOS

Asbestos containing materials (ACMs) are categorised as friable and non-friable:

- Non-friable asbestos is usually bonded in a matrix after it has been mixed with other materials like cement or plastics. Non friable asbestos is most commonly found in the built environment.
- Friable asbestos is defined as any asbestos material in a powder form or can be crumbled, pulverised or reduced to a powder by hand pressure when dry and is much more likely to release airborne asbestos fibres.

Both friable and non-friable asbestos pose a significant health risk to all workers and others, and as such are governed by strict regulations and codes of practice. Asbestos containing materials must be identified and then properly managed until a time when they are to be carefully removed.

The Work Health Safety (WHS) Regulations set out the training and competency requirements for asbestos assessors, asbestos removal workers and supervisors. Under the Regulations, two licenses have been established — Class A and Class B. Businesses with a Class A license are permitted to remove all types of asbestos, including both friable and non-friable asbestos. Businesses with a Class B license can only remove non-friable asbestos.

ASBESTOS REMOVAL

A licensed asbestos removalist must be engaged for all asbestos removal work and they must notify Worksafe ACT five (5) days prior to work commencing. An independent licensed asbestos assessor must be engaged to provide air monitoring for any friable asbestos removal and conduct a clearance inspection once the removal work is complete and issue a clearance certificate before demolition can commence.

LEAD-PAINT

Lead-based paint is paint containing lead that was used as pigment. The heavy metal was added to paint to speed drying, increase durability and for moisture resistance. Like all paint systems, leaded paint will chip, flake and peel over time, leading to contamination of indoor dust and exterior surrounding soils. Lead does not biodegrade, and so lead dust is a long-term exposure problem.

Lead is especially damaging to young children who are still developing, and to pregnant women. Lead affects the hematopoietic, neurologic, gastrointestinal, and reproductive systems, but predominantly the nervous system. High levels of exposure can result in miscarriage in women, and may affect fertility in men.

Lead has also been proven to affect a child's mental and physical growth. Unborn children can be exposed through their mothers. Harmful effects include premature birth, smaller babies, decreased mental ability in the infant, learning difficulties and reduced growth in young children.

Lead paint has been used extensively throughout residential and commercial buildings in Australia, and it was only in 1997 that the allowable level of lead in residential and commercial paint in Australia went down to 0.1% which is still higher than the US 1978 standard of less than 0.06% lead.

AS4361.2-2017 Guide to lead paint management Residential and commercial buildings defines lead paint as paint film or component coat of a paint system in which the lead content (calculated as lead metal) is in excess of 0.1% by weight of the dry film as determined by laboratory testing. Additionally the Work Health and Safety Regulation 2011 Section 7.2 (h) states that 'Lead machine sanding or buffing surfaces coated with paint containing more than 1% by dry weight of lead' constitutes a lead process.

Lead Paint (> 0.1% Pb)

Lead-free Paint (< 0.1% Pb)

SYNTHETIC MINERAL FIBRES (SMF)

Synthetic mineral fibres (SMF) is a term used to describe a number of different fibrous materials made from silica, alumina, rock and glass. These materials have become an important replacement for asbestos within commercial buildings in a variety of products where thermal insulation, or electrical or fire protection is required. SMF is used commercially in construction and residential dwellings as insulation, reinforcement for cement, plaster and plaster materials.

Short-term exposure to SMF can produce skin, eye and upper respiratory tract irritation. Man made mineral fibres are referred to as MMMF and are also classed as synthetic mineral fibres.

POLYCHLORINATED BIPHENYLS (PCBs)

PCB is the common name for polychlorinated biphenyls. PCBs range in appearance from colourless, oily liquids to more viscous and increasingly darker liquids, to yellow then black resins, depending on chlorine content of the PCB. These synthetic compounds are chemically stable, have good insulating properties and do not degrade appreciably over time or with exposure to high temperatures. These properties made PCBs very useful in electrical devices such as capacitors.

PCBs can enter the body in three ways:

- absorption through the skin;
- inhalation of PCB vapour (at room temperature, the vapour concentrations of PCBs are not significant); and
- ingestion, if there is contamination of food or drink.

The likelihood of becoming sick from PCB exposure increases with the length of time and the amount of material that a person might come in contact with.

The most commonly observed symptom in people exposed to high levels of PCBs is a condition known as chloracne. It is a severe, persistent acne-like rash due to repeated and prolonged contact of PCBs with skin. This condition has also occurred in people who have accidentally ingested PCBs orally. Very high exposure to PCBs may also cause liver damage and damage to the nervous system, resulting in numbness, weakness and tingling in the arms and legs. There is the possibility that PCBs may cause cancers.

The major use of PCBs in the electrical industry has been as an insulating fluid inside transformers and capacitors. These transformers and capacitors have ranged in size from the very large transformers which contain several thousand litres of PCBs and were typically used by electrical supply businesses and heavy industries, to the small capacitors which may only contain several millilitres of PCBs and were used in farming equipment and on commercial premises. Capacitors containing PCBs were installed in various types of equipment including fluorescent light fittings during the 1950's, 60's and 70's.

PCB-containing equipment within fluorescent light fittings is likely to have one or more of the following characteristics:

- resonant start or a capacitor that is cylindrical or rectangular, encased in an aluminium container with a weld running all the way around the top edge with two terminals with quick connect tags;
- a date mark from the 1950s, 1960s or 1970s;
- a capacitor encased in a rectangular tin container with soldered seams;
- slightly heavier than similar types of capacitors manufactured after the 1970s (which do not contain PCBs).

SAFE HANDLING & STORAGE OF PCBs

Small quantities of PCBs are usually found in sealed containers known as capacitors. PCB-containing capacitors are unlikely to pose a health risk, unless they become damaged and leak. Care must be taken when handling a damaged capacitor to ensure that spillage does not occur. The person handling the capacitor or a damaged capacitor should take the following precautions:

- put on personal protective equipment and clothing before removing damaged or leaking components;
- wear disposable gloves that are made of materials that are resistant to PCBs, such as Viton, polyethylene, polyvinyl alcohol (PVA), polytetrafluoroethylene (PTFE), butyl rubber, nitrile rubber, or neoprene. Mid-arm length gauntlets may be required; do not use gloves made of polyvinyl chloride (PVC) or natural rubber (latex);
- wear disposable overalls made of Tyvek or made of materials with similar chemical resistant properties;
- when working with overhead equipment (eg. fluorescent light fixtures), wear a full face shield and appropriate hair protection;
- wash any non-disposable contaminated equipment with kerosene and collect the kerosene for disposal as a PCB contaminated solvent;
- if PCB vapours are suspected (eg. PCB leaks onto a hot surface in a confined space), wear a suitable respirator. Use a twin cartridge type respirator suitable for chlorinated vapours. It is always prudent to ensure adequate ventilation. NOTE: PCBs do not vaporise readily at room temperature;
- after handling PCBs, even if gloves were worn, wash hands well in warm, soapy water before eating, drinking, smoking, handling food or drink, or using toilet facilities.

OZONE DEPLETING SUBSTANCES

Ozone depleting substances (ODSs) are those substances which deplete the ozone layer and are widely used in refrigerators, air conditioners, fire extinguishers, in dry cleaning as solvents for cleaning, electronic equipment and as agricultural fumigants. Ozone depleting substances include:

- Chlorofluorocarbons (CFCs)
- Halon
- Carbon tetrachloride (CCl₄), Methyl chloroform (CH₃CCl₃)
- Hydrobromofluorocarbons (HBFCs)
- Hydrochlorofluorocarbons (HCFCs)
- Methyl bromide (CH₃Br)
- Bromochloromethane (CH₂BrCl)

There are other ozone depleting substances, but their ozone depleting effects are very small in comparison to these controlled substances. Refrigerants are identified by their R numbers on the label of the unit.

ABOVE GROUND FUEL STORAGE AND UNDER GROUND FUEL STORAGE (AST & UST)

Prior to the 1980s commercial AST & UST's generally used diesel or heating oils.

Australian Standard AS1940 defines a UST as any storage tank with more than 50% of its height buried below the surrounding ground gradient and mounded without any surrounding pit or chamber.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

ASBESTOS INSPECTION REGISTER

Asbestos detected			Presumed to contain asbestos				No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
<h1>Sch 2.2(a)(xi)</h1>								

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Asbestos detected

Presumed to contain asbestos


No asbestos detected

LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
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Sch 2.2(a)(xi)


Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Asbestos detected			Presumed to contain asbestos				No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO	
<h1>Sch 2.2(a)(xi)</h1>									
Sheet panel around side entrance door of bakery	Sheet	A9	N/A	N/A	N/A	No Asbestos Detected	No further action required		

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Asbestos detected			Presumed to contain asbestos				No asbestos detected	
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO
Sch 2.2(a)(xi)								
Putty to timber windows of bakery	Putty	A12	N/A	N/A	N/A	No Asbestos Detected	No further action required	

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Asbestos detected				Presumed to contain asbestos			No asbestos detected		
LOCATION	MATERIAL	SAMPLE ID	Approx Qty m ²	TYPE & CONDITION	RISK OF EXPOSURE	RESULT	COMMENTS	PHOTO	

Sch 2.2(a)(xi)

FINDINGS & RECOMMENDATIONS

The asbestos cement sheet ceilings and walls were found to be heat damaged from the fire and are considered to be brittle and must be removed under friable conditions.

A full environmental clean of the roof space must be conducted in the friable removal areas.

All waste must be transported as per the “Access Canberra - Environment Protection Information Sheet 5 - Requirements for the transport and disposal of asbestos contaminated waste”, which is attached at Appendix C.

An exclusion zone must be erected around the property during the asbestos removal work and air monitoring conducted.

The asbestos containing material (ACM) noted in the asbestos register must be removed prior to refurbishment or demolition works commencing. The unexpected finds procedure must be used at Appendix C if any suspected ACM is found that is not noted in this document. The quantities noted in the register should not be relied on for the asbestos removal works and a site visit must be conducted to determine the full extent of the works.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

ASBESTOS REMOVAL

A licensed asbestos removalist must be engaged for all asbestos removal work and they must notify WorkSafe ACT five (5) days prior to work commencing. An independent licensed asbestos assessor must be engaged to provide air monitoring for any friable asbestos removal and conduct a clearance inspection once the removal work is complete and issue a clearance certificate before demolition can commence.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

LEAD-PAINT INSPECTION REGISTER:

Lead Paint (> 0.1% Pb)

Lead-free Paint (< 0.1% Pb)

LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	COMMENTS	PHOTO
Cafe external brick wall	White	P1	Lead Free	0.01	No Further Action Required	

Sch 2.2(a)(xi)

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	COMMENTS	PHOTO
Sch 2.2(a)(xi)						
The walking clinic external brick walls	White	P7	Lead Paint & Fair	0.38	See recommendations	

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	COMMENTS	PHOTO
Sch 2.2(a)(xi)						

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS

Sch 2.2(a)(xi)

LOCATION	COLOUR	SAMPLE ID	TYPE & CONDITION	RESULT %	COMMENTS	PHOTO
Sch 2.2(a)(xi)						

FINDINGS & RECOMMENDATIONS

The results of the survey found two (2) of the samples to be lead based paint based on the new criteria in the Australian Standards - AS4361.2-2017 Guide to lead paint management residential and commercial buildings (>0.1%). One of these paint samples was above the WHS lead work process percentage of 1%. These samples are representative of the paint found on site. The lead painted areas under <1% can be disposed of as general solid waste and any lead painted areas over >1% must be disposed of hazardous waste, unless contaminated by the asbestos, then asbestos waste.

The principal contractor must ensure that no person at the workplace is exposed to a substance or mixture in an airborne concentration that exceeds the exposure standard for the substance or mixture. The demolition contractor must ensure good dust suppression techniques are employed during all phases of the demolition process.


Any material with lead paint >1% cannot be recycled without the paint being removed by a lead paint specialist.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS

Sch 2.2(a)(xi)

SYNTHETIC MINERAL FIBRE (SMF) INSPECTION REGISTER

LOCATION	MATERIAL	Type	COMMENTS	PHOTO
<h1>Sch 2.2(a)(xi)</h1>				
To hot water units	Fibreglass	Insulation	Remove prior to refurbishment works commencing	

FINDINGS & RECOMMENDATIONS

Synthetic mineral fibre (SMF) was found throughout the building and must be removed prior to refurbishment works commencing. The safe handling and disposal methods noted below should be used when removing it.

Safe handling and disposal methods:

Eye Protection: When handling these products, particularly overhead or in enclosed or poorly-ventilated areas such as ceiling spaces or risers, eye contact with dust or fibre can be avoided by wearing ventilated non-fogging dust resistant goggles conforming to Australian and New Zealand Standards AS/NZS 1336.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Respiratory Protection: Use an approved particulate respirator conforming to Australian and New Zealand Standards AS/NZS 1715 and 1716 is recommended. P1, P2 or N95 type particulate respirators are appropriate.

Hand Protection: Use gloves to prevent contact with the skin when handling the SMF.

Disposal of SMF: SMF should be placed in plastic bags or other containers which prevent fibre and dust emission, and dispose of them in accordance with requirements of the local environment protection and waste disposal facilities.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

POLYCHLORINATED BIPHENYLS (PCB) INSPECTION REGISTER

LOCATION	MANUFACTURER	QUANTITY	TYPE	COMMENTS	PHOTO
Sch 2.2(a)(xi)					

FINDINGS & RECOMMENDATIONS

Accessible light fittings were inspected and found to contain a Non-PCB capacitors. All light fittings must be inspected prior to disposal and any light fitting with a metal/aluminium capacitor must be presumed to contain PCB. Light fittings with plastic capacitors are deemed to be Non-PCB. PCB capacitors must be disposed of as hazardous waste

Sch 2.2(a)(xii)




INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Fluorescent tubes and compact fluorescent lamps (CFL) contain small amounts of mercury in the phosphor powder and lining. Up to 9 mg of mercury is contained in a 120 cm fluorescent tube. Shattering a fluorescent tube will disperse the phosphor powder and glass contaminated by the mercury. Mercury is classified as a workplace hazardous substance.

Regular breaking of multiple fluorescent tubes in a confined space without appropriate personal protective equipment may create health risks from the long-term exposure to mercury vapour and contaminated substances. Glass fragments also pose risks of penetration and cutting injuries. All fluorescent tubes must be stored safely prior to disposal.

Due to their mercury content, the Environment Protection Act 1997 and National Environment Protection Measure (NEPM), consider fluorescent tubes/CFL as controlled waste. Fluorescent tubes/CFL must be disposed of using a licensed or authorised hazardous waste contractor in an appropriately licensed or authorised facility.

OZONE DEPLETING SUBSTANCES INSPECTION REGISTER

LOCATION	TYPE OF REFRIGERANT	TYPE	COMMENTS	PHOTOS
Exterior - Daikin	A410a	Non-Ozone depleting substance	Degas prior to refurbishment if likely to be disturbed	
Exterior - Unknown	A134a	Non-Ozone depleting substance	Degas prior to refurbishment if likely to be disturbed	
Exterior - Panasonic	A410a	Non-Ozone depleting substance	Degas prior to refurbishment if likely to be disturbed	

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

FINDINGS & RECOMMENDATIONS

All air conditioning refrigerants should be de-gassed prior to demolition work commencing. Degassing must be conducted by qualified air conditioning engineers.

ABOVE GROUND STORAGE TANKS & UNDER GROUND STORAGE TANKS

FINDINGS & RECOMMENDATIONS


No underground or aboveground fuel storage tanks found on site.

No further actions required

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

ADDITIONAL HAZARDOUS MATERIAL

LOCATION	TYPE OF MATERIAL	HAZARD TYPE	COMMENTS	PHOTO
Outside bakery	Gas Cylinders	Gas	Remove prior to refurbishment	

Sch 2.2(a)(xi)

FINDINGS & RECOMMENDATIONS

Exposure to soot can lead to serious respiratory issues, including Chronic Obstructive Pulmonary Disease (COPD), asthma attacks, and acute bronchitis, due to the inhalation of fine particles.

To mitigate the health risks associated with soot exposure, it is essential that thorough soot cleaning and restoration efforts after a fire is undertaken and the following utilised:

- Engage a professional restoration cleaning services experienced in soot cleaning can ensure that all surfaces and equipment are thoroughly cleaned, reducing health risks. Soft furnishings can't be fully cleaned and must be disposed of as waste.
- Air Filtration: High Efficiency Particulate Air (HEPA) air purifiers/negative pressure units must be used during the clean up process.

The materials noted above in the buildings must be removed prior to refurbishment. Under the Environment Protection Act 1997 it is an offence for a person to allow any substance other than rainwater to enter the stormwater system or to allow liquid wastes to contaminate soil. All the materials noted in the table above must be disposed of in line with current legislation.

CRYSTALLINE SILICA

Silica is a natural substance found in most rocks, sand and clay and in products such as bricks and concrete. Silica is also used as filler in some plastics. In the workplace these materials create dust when they are cut, sanded or disturbed. Some of this dust may be fine enough to breathe deeply into the lungs and cause harm to the health of workers. The fine dust is called respirable crystalline silica (RCS) and is too fine to see with normal lighting. The table below notes the quantity of silica contained in stone and other materials which varies considerably between different types of stone:

Approximate crystalline silica content of different materials	
Sandstone	70-90%
Concrete, mortar	25-70%
Tile	30-45%
Granite	20-45%, typically 30%
Slate	20-40%
Brick	Up to 30%
Limestone	2%
Marble	2%

RECOMMENDATIONS

The principal contractor must ensure that no person at the workplace is exposed to a substance or mixture in an airborne concentration that exceeds the exposure standard for the substance or mixture. The principal contractor must ensure good dust suppression techniques are employed during all phases of the demolition process.

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

APPENDICES

APPENDIX A - LABORATORY CERTIFICATES - SAMPLES

Hazmat Labs

Certificate of analysis – asbestos identification : KER146530102024AID

Hazmat Labs Canberra
 Canberra Site Number: 23533
 Level 1, 301 Canberra Avenue, Pyrawick ACT 2609
 P 02 8339 0312 | E info@hazmatlabs.com.au | W hazmatlabs.com.au
 ABN 92 168 286 600

CLIENT	Keane Environmental	JOB NUMBER	KER1465
CLIENT CONTACT	Ged Keane	DATE RECEIVED	29/10/2024
CLIENT REFERENCE	48 – 52 Giles Street Kingston ACT 2604	DATE ANALYSED	31/10/2024
CLIENT EMAIL	ged@keaneenviro.com.au	SAMPLE DATE	29/10/2024
CLIENT TELEPHONE	0418289182	REPORT DATE	31/10/2024

TEST METHOD:

Asbestos fibre qualitative determination in bulk & soil samples at Hazmat Labs laboratory is conducted by polarised light microscopy in conjunction with the dispersion staining technique. The strategies and methods used are as per AS4994(2004) and in-house SOP D123. Accredited for compliance with ISO/IEC 17025 – Testing. NATA accreditation number: 19564.

SAMPLE REFERENCE	LABORATORY REFERENCE	SAMPLE INFORMATION	SAMPLE DIMENSIONS (mm)/WEIGHT(g)	ANALYTICAL RESULT
A1	KER1465-A1	Sheet ceiling to cafe hallway	0.65 g	CHR, AMO, ORG
A2	KER1465-A2	Sheet ceiling to cafe wash room	0.07 g	NAD, ORG
A3	KER1465-A3	Electrical switchboard backing sheet to cafe	0.03 g	CHR, ORG
A4	KER1465-A4	Sheet to original bakery ceiling	0.28 g	CHR, ORG
A5	KER1465-A5	Sheet wall behind metal kitchen backsplash in bakery	1.35 g	NAD, ORG
A6	KER1465-A6	Rear toilet, sink room and electrical room ceilings	2.50 g	CHR, ORG
A7	KER1465-A7	Sheet cover panel to ceiling of bakery side entrance	0.54 g	NAD, ORG
A8	KER1465-A8	Sheet ceiling to bakery side entrance	1.99 g	CHR, ORG
A9	KER1465-A9	Sheet panel around side entrance door of bakery	6.61 g	NAD, ORG
A10	KER1465-A10	Internal wall sheet to rear entry exit of bakery	1.48 g	CHR, ORG
A11	KER1465-A11	Eave sheet to rear entry of bakery	1.64 g	NAD, ORG
A12	KER1465-A12	Putty to timber windows of bakery	2.31 g	NAD, ORG

Glossary and notes:

- AS4994 recommends minimum sample sizes for all materials. In particular, soil sample volume is 50-100ml (approximately 50 to 250g). Floor tiles require a recommended minimum of approximately 100cm². General samples should include a full cross section or be thick enough to represent the target sampled material. It is the sampling party's responsibility to meet these sampling recommendations and others listed in AS4994, as such sample results apply only to the samples as received.
- Samples analysed and reported according to National Environment Protection (Assessment of Site Contamination) Measure (ANEM) or WA Department of Health (Doh) methodology as not cover by NATA accreditation.
- Hazmat Labs require receipt of all samples under a chain of custody, however Hazmat Labs accept no responsibility for the sampling methodology/transportation or packaging of samples from external sources. Please note these results apply only to the samples as received.
- Where any floor product results are reported as no asbestos detected (NAD) by Polarised Light Microscopy in conjunction with Dispersion staining techniques. The client is advised to obtain a further result from an independent confirmatory analytical technique due to the nature of sample matrix, e.g. scanning or transmission electron microscopy (SEM/TEM).

Hazmat Labs

Certificate of analysis – asbestos identification : KER146530102024AID

Hazmat Labs Canberra
 Canberra Site Number: 23533
 Level 1, 301 Canberra Avenue, Pyrawick ACT 2609
 P 02 8339 0312 | E info@hazmatlabs.com.au | W hazmatlabs.com.au
 ABN 92 168 286 600

SAMPLE REFERENCE	LABORATORY REFERENCE	SAMPLE INFORMATION	SAMPLE DIMENSIONS (mm)/WEIGHT(g)	ANALYTICAL RESULT
A13	KER1465-A13	Walk in clinic rear bathroom walls	0.84 g	NAD, ORG

NAD No Asbestos Detected
 NADRL No asbestos detected, of the reporting limit (0.1µg/l) (0.01%)
 CHR Chrysotile asbestos detected
 AMO Amosite asbestos detected
 CRD Crocidolite asbestos detected
 ORG Organic fibres detected
 SBF Synthetic Mineral Fibres detected
 UMF Unidentified Mineral Fibres detected
 * Sample or the sampling matrix does not meet NATA requirements therefore result is not accredited.



APPROVED ANALYST

Name: Ged Keane

Signature: *Ged Keane*

APPROVED SIGNATORY

Name: Ged Keane

Signature: *Ged Keane*

Glossary and notes:

- AS4994 recommends minimum sample sizes for all materials. In particular, soil sample volume is 50-100ml (approximately 50 to 250g). Floor tiles require a recommended minimum of approximately 100cm². General samples should include a full cross section or be thick enough to represent the target sampled material. It is the sampling party's responsibility to meet these sampling recommendations and others listed in AS4994, as such sample results apply only to the samples as received.
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- Hazmat Labs require receipt of all samples under a chain of custody, however Hazmat Labs accept no responsibility for the sampling methodology/transportation or packaging of samples from external sources. Please note these results apply only to the samples as received.
- Where any floor product results are reported as no asbestos detected (NAD) by Polarised Light Microscopy in conjunction with Dispersion staining techniques. The client is advised to obtain a further result from an independent confirmatory analytical technique due to the nature of sample matrix, e.g. scanning or transmission electron microscopy (SEM/TEM).

Sch 2.2(a)(xii)

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

CERTIFICATE OF ANALYSIS 365145

Client Details	
Client	Sch 2.2(a)(xi)
Attention	Sch 2.2(a)(ii)
Address	Unit 1 - 301 Canberra Ave, FYSHWICK, ACT, 2609

Sample Details	
Your Reference	Sch 2.2(a)(xi) Giles Street Kingston ACT 2604
Number of Samples	12 29/10/2024
Date samples received	30/10/2024
Date completed instructions received	30/10/2024

Analysis Details	
Please refer to the following pages for results, methodology summary and quality control data.	
Samples were analysed as received from the client. Results relate specifically to the samples as received.	
Results are reported on a dry weight basis for solids and on an as received basis for other matrices.	

Report Details	
Date results requested by	01/11/2024
Date of Issue	01/11/2024
NATA Accreditation Number 2901. This document shall not be reproduced except in full.	
Accredited for compliance with ISO/IEC 17025 - Testing. Tests not covered by NATA are denoted with *	

Results Approved By
Sch 2.2(a)(ii) Group Technical Manager

Authorised By
Sch 2.2(a)(ii) Laboratory Manager



Client Reference: Sch 2.2(a)(xi) Giles Street Kingston ACT 2604

Lead in Paint						
Our Reference		365145-1	365145-2	365145-3	365145-4	365145-5
Your Reference	UNITS	P1	P2	P3	P4	P5
Type of sample		29/10/2024	29/10/2024	29/10/2024	29/10/2024	29/10/2024
Date prepared	-	31/10/2024	31/10/2024	31/10/2024	31/10/2024	31/10/2024
Date analysed	-	31/10/2024	31/10/2024	31/10/2024	31/10/2024	31/10/2024
Lead in paint	%ww	0.01	<0.005	0.01	<0.005	0.02

Lead in Paint						
Our Reference		365145-6	365145-7	365145-8	365145-9	365145-10
Your Reference	UNITS	P6	P7	P8	P9	P10
Type of sample		29/10/2024	29/10/2024	29/10/2024	29/10/2024	29/10/2024
Date prepared	-	31/10/2024	31/10/2024	31/10/2024	31/10/2024	31/10/2024
Date analysed	-	31/10/2024	31/10/2024	31/10/2024	31/10/2024	31/10/2024
Lead in paint	%ww	0.005	0.38	0.087	<0.005	11

Lead in Paint			
Our Reference		365145-11	365145-12
Your Reference	UNITS	P11	P12
Type of sample		29/10/2024	29/10/2024
Date prepared	-	31/10/2024	31/10/2024
Date analysed	-	31/10/2024	31/10/2024
Lead in paint	%ww	0.05	<0.005

Sch 2.2(a)(xii)

Client Reference: Sch 2.2(a)(xi) Giles Street Kingston ACT 2604

Method ID	Methodology Summary
Metals-020/021/022	Digestion of Paint chips/scrapings/liquids for Metals determination by ICP-AES/MS and or CV/AAS.

INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Client Reference: Sch 2.2(a)(xi) Street Kingston ACT 2604

Test Description	QUALITY CONTROL: Lead in Paint				Duplicate			Spike Recovery %		
	Units	PQL	Method	Blank	#	Base	Dup.	RPD	LCS-1	[NT]
Date prepared	-			31/10/2024	6	31/10/2024	31/10/2024		31/10/2024	[NT]
Date analysed	-			31/10/2024	6	31/10/2024	31/10/2024		31/10/2024	[NT]
Lead in paint	%w/w	0.005	Metals-020/021/022	<0.005	6	0.005	0.005	0	95	[NT]

Test Description	QUALITY CONTROL: Lead in Paint				Duplicate			Spike Recovery %		
	Units	PQL	Method	Blank	#	Base	Dup.	RPD	[NT]	[NT]
Date prepared	-			[NT]	11	31/10/2024	31/10/2024		[NT]	[NT]
Date analysed	-			[NT]	11	31/10/2024	31/10/2024		[NT]	[NT]
Lead in paint	%w/w	0.005	Metals-020/021/022	[NT]	11	0.05	0.070	33	[NT]	[NT]

Sch 2.2(a)(xii)

Client Reference: Sch 2.2(a)(xi) Giles Street Kingston ACT 2604

Result Definitions	
NT	Not tested
NA	Test not required
INS	Insufficient sample for this test
PQL	Practical Quantitation Limit
<	Less than
>	Greater than
RPD	Relative Percent Difference
LCS	Laboratory Control Sample
NS	Not specified
NEPM	National Environmental Protection Measure
NR	Not Reported

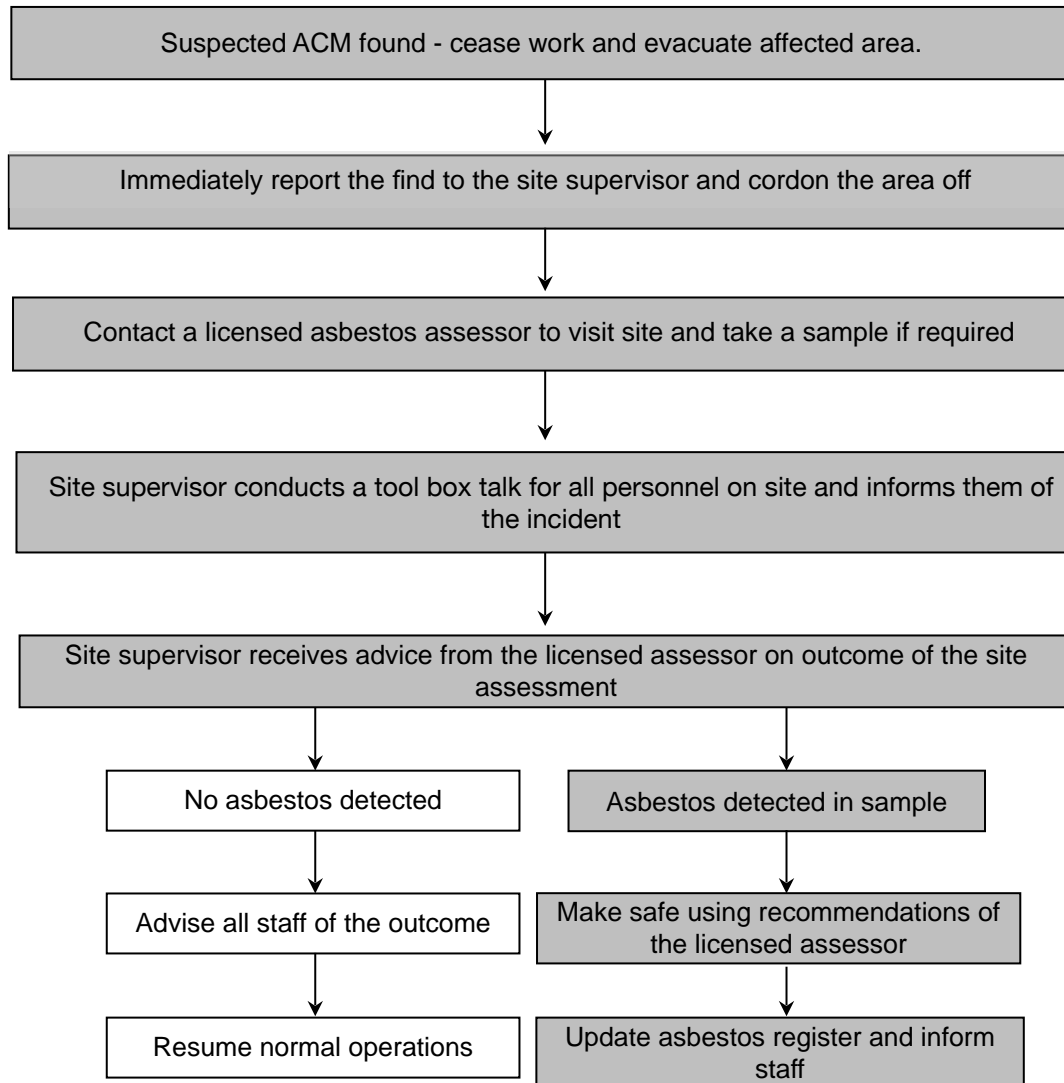
INTRUSIVE HAZARDOUS Sch 2.2(a)(xi)

Client Reference: Sch 2.2(a)(xi) Giles Street Kingston ACT 2604

Quality Control Definitions	
Blank	This is the component of the analytical signal which is not derived from the sample but from reagents, glassware etc, can be determined by processing solvents and reagents in exactly the same manner as for samples.
Duplicate	This is the complete duplicate analysis of a sample from the process batch. If possible, the sample selected should be one where the analyte concentration is easily measurable.
Matrix Spike	A portion of the sample is spiked with a known concentration of target analyte. The purpose of the matrix spike is to monitor the performance of the analytical method used and to determine whether matrix interferences exist.
LCS (Laboratory Control Sample)	This comprises either a standard reference material or a control matrix (such as a blank sand or water) fortified with analytes representative of the analyte class. It is simply a check sample.
Surrogate Spike	Surrogates are known additions to each sample, blank, matrix spike and LCS in a batch, of compounds which are similar to the analyte of interest, however are not expected to be found in real samples.
Australian Drinking Water Guidelines recommend that Thermotolerant Coliform, Faecal Enterococci, & E.Coli levels are less than 1cfu/100mL. The recommended maximums are taken from "Australian Drinking Water Guidelines", published by NHMRC & ARMC 2011.	
The recommended maximums for analytes in urine are taken from "2018 TLVs and BEIs", as published by ACGIH (where available). Limit provided for Nickel is a precautionary guideline as per Position Paper prepared by AIOH Exposure Standards Committee, 2016.	
Guideline limits for Rinse Water Quality reported as per analytical requirements and specifications of AS 4187, Amdt 2 2019, Table 7.2	

Laboratory Acceptance Criteria	
Duplicate sample and matrix spike recoveries may not be reported on smaller jobs, however, were analysed at a frequency to meet or exceed NEPM requirements. All samples are tested in batches of 20. The duplicate sample RPD and matrix spike recoveries for the batch were within the laboratory acceptance criteria.	
Filters, swabs, wipes, tubes and badges will not have duplicate data as the whole sample is generally extracted during sample extraction.	
Spikes for Physical and Aggregate Tests are not applicable.	
For VOCs in water samples, three vials are required for duplicate or spike analysis.	
Duplicates: >10xPQL - RPD acceptance criteria will vary depending on the analytes and the analytical techniques but is typically in the range 20%-50% -- see ELN-P05 QA/QC tables for details; <10xPQL - RPD are higher as the results approach PQL and the estimated measurement uncertainty will statistically increase.	
Matrix Spikes, LCS and Surrogate recoveries: Generally 70-130% for inorganics/metals (not SPOCAS); 60-140% for organics/SPOCAS (+/-50% surrogates) and 10-140% for labile SVOCs (including labile surrogates), ultra trace organics and speciated phenols is acceptable.	
In circumstances where no duplicate and/or sample spike has been reported at 1 in 10 and/or 1 in 20 samples respectively, the sample volume submitted was insufficient in order to satisfy laboratory QA/QC protocols.	
When samples are received where certain analytes are outside of recommended technical holding times (THTs), the analysis has proceeded. Where analytes are on the verge of breaching THTs, every effort will be made to analyse within the THT or as soon as practicable.	
Where sampling dates are not provided, Envirolab are not in a position to comment on the validity of the analysis where recommended technical holding times may have been breached.	
Where matrix spike recoveries fall below the lower limit of the acceptance criteria (e.g. for non-labile or standard Organics <60%), positive result(s) in the parent sample will subsequently have a higher than typical estimated uncertainty (MU estimates supplied on request) and in these circumstances the sample result is likely biased significantly low.	
Measurement Uncertainty estimates are available for most tests upon request.	
Analysis of aqueous samples typically involves the extraction/digestion and/or analysis of the liquid phase only (i.e. NOT any settled sediment phase but inclusive of suspended particles if present), unless stipulated on the Envirolab COC and/or by correspondence. Notable exceptions include certain Physical Tests (pH/EC/BOD/COD/Apparent Colour etc.), Solids testing, total recoverable metals and PFAS where solids are included by default.	
Samples for Microbiological analysis (not Amoeba forms) received outside of the 2-8°C temperature range do not meet the ideal cooling conditions as stated in AS2031-2012.	

APPENDIX B - ASBESTOS UNEXPECTED FINDS PROCEDURE



APPENDIX C - APPLICABLE LEGISLATION – HAZARDOUS MATERIAL ASSES

The latest edition of the following legislation is applicable to Hazardous Material Assessments in Non Residential Properties:

Work Health and Safety Act 2011.

Work Health and Safety Regulation 2011.

How to Manage and Control Asbestos in the Workplace Code of Practice 2020

How to Safely Remove Asbestos Code of Practice 2020

National Code of Practice for the Safe Use of Synthetic Mineral Fibre [NOHSC:2006(1990)]

National Standard for Synthetic Mineral Fibres [NOHSC:1004(1990)]

Guide to Lead Paint Management, Part 2: Residential and Commercial Buildings Standards Australia, AS 4361.2 - 1998

Identification of PCB-Containing Capacitors; An information Booklet for Electricians and Electrical Contractors ANZECC 1997

The Australian Refrigeration and Air-conditioning Code of Good Practice Standards Australia, HB 40.1 – 2001.

Report Caveats & Statement of Limitations

The report was designed to be read as a whole document and must only be reproduced in full.

All relevant legislation and best practice was followed during the time the assessment was conducted. All conclusions and recommendations are written by the assessor using their professional judgement. The recommendations are based on the assessor's professional judgement and condition of the materials at the time the assessment was conducted.

While every effort was made to identify all ACM on site, no determination can be made for areas such as formwork under concrete slabs or inaccessible areas that the asbestos assessor could not be reasonably expected to identify (e.g. subterranean asbestos pipes, formwork or ACM behind ACM).



ACT Heritage Council

HERITAGE ADVICE

Under Section 60 of the *Heritage Act 2004*

Heritage Reference: Kingston-S21-B3
Contact Officer: CS
Received by Council: 18 September 2024

TO: Territory Planning Authority
Environment, Planning and Sustainable Development Directorate
ACEPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
3	21	Kingston	Early Kingston Shops (Provisional)

Status of Place: Provisionally Registered Heritage Place

Description of Works: Commercial - Alterations and Additions

Council Advice provided by: Director – Registrations

Pursuant to Part 10 of the *Heritage Act 2004*, the ACT Heritage Council advises that:

The proposed development does not contravene the *Heritage Act 2004*, and is **unlikely to diminish the heritage significance** of the place.

Background:

On 18 September 2024, the ACT Heritage Council (the Council) received a submission on proposed works at Block 3 Section 21 Kingston (Units 1-4, 56 Giles Street), following a fire which caused damage to interior elements, roof fabric and shopfront openings.

Units 1-4, 56 Giles Street are provisionally registered on the ACT Heritage Register as part of the 'Early Kingston Shops'. As such, works within the block are subject to *Heritage Act 2004* (Heritage Act) provisions, including the conservation objectives (included in the provisional registration) which states: "*The guiding conservation objective is that the Early Kingston Shops shall be conserved and appropriately managed in a manner respecting its heritage significance*".

The provisional registration identifies the attributes of significance specific to the Early Kingston Shops, including:

Cohesive original architectural composition of 1920s shop buildings, consisting of:

- *Continuous façade presenting as one building per block, with a unifying parapet design comprising painted and rendered masonry with corbel and string lines.*

- *Each shop presenting as an individual, narrow frontage with original masonry piers framing predominantly transparent glazed shopfronts and a single entry point (the existing glazed shopfronts are not original or attributes, but the general form of glazed shopfronts with a single entry point is an attribute).*
- *Original rectangular clerestory windows (some blocks with cartouche panels between windows) above awnings, with glazed shopfronts centred below.*
- *Original parapets and the general form of awnings stepping up in response to ground levels.*
- *A regular pattern of openings separated by original masonry columns which form a consistent structural frame in association with original parapets and clerestory windows above.*

The proposed works depicted on plans prepared by Sch 2.2(a)(xi) include:

- demolition of all fire damaged interiors
- refurbishment of the interior of unit 1 for continued use as a café, unit 2 for continued use as a dry cleaners, and unit 3 for continued use as a podiatrist. Unit 4 interiors do not require works
- demolition and replacement of all shopfront windows and doors to match in aluminium. This will include provision of fixed glazing, bi-fold windows and doors inclusive of architraves, reveals, flashings and hardware
- demolition and replacement of all roofs, to include timber framing, Colorbond sheeting, guttering and eaves
- painting each shopfront façade to match existing (colour not specified)
- reinstatement of solar panels to unit 4 roof.

Assessment:

As interior fabric is not included as an attribute of significance to the provisional registration, the proposed internal demolition and refurbishment work will not diminish the heritage significance of the Early Kingston Shops.

With regards to exteriors, the proposal does not seek to remove any elements associated with the upper façade clerestory windows, parapet features, or masonry piers which are all attributes of significance in the provisional registration. Exterior elements to be removed and replaced are non-original or non-significant features including the shopfront window and door fabric, and roof fabric.

The exterior works will maintain the continuous façade character identified in the provisional registration along with the narrow width of each shopfront, and the regular pattern of openings whereby shopfronts include a single point of entry and are predominantly glazed.

The proposal seeks to repaint the shopfronts to match existing, however no paint colour is specified on the plan set. A review of the current upper façade (parapet) colour shows that it is a cool, ultra-pale grey tone which also matches the adjacent group of units to the south. Matching this colour and applying it across the group of units will provide continued visual unity to the place, and is supported on that basis.

With regard to the solar panels, unit 4 contains approximately 70 solar panels on the roof which will be removed and stored while roof replacement work occurs. As these panels are not visible from any key vantage point at the Early Kingston Shops, reinstatement of the existing solar panels following the roof replacement is acceptable and supported.

Advice:

Following review of the submitted information, and as a delegate of the Council, I advise that the proposed works are unlikely to diminish the heritage significance of the Early Kingston Shops and therefore meet *Heritage Act 2004* requirements.

No further Council advice or *Heritage Act 2004* approvals are required prior to the commencement of works.

Sch 2.2(a)(xi)

Heather Wallace
**Director (Registrations and Engagement) (as delegate for),
ACT Heritage Council**

17 December 2024

ARCHITECTURAL DRAWINGS

REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES

UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

SEDGWICK AUSTRALIA PTY LTD

SHEET LIST			
SHEET NUMBER	SHEET NAME	REV	DATE
A01	COVER SHEET	B	10/04/2024
A02	LOCALITY MAP	B	10/04/2024
A03	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	B	10/04/2024
A04	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	B	10/04/2024
A05	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	B	10/04/2024
A06	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	B	10/04/2024
A07	WEST AND EAST ELEVATIONS	B	10/04/2024
A08	UNIT 1 & UNIT 2 ROOF LAYOUT PLAN	B	10/04/2024
A09	UNIT 3 & UNIT 4 ROOF LAYOUT PLAN	B	10/04/2024

Sch 2.2(a)(ii)

				Sch 2.2(a)(xi)		Sch 2.2(a)(xi)		PROJECT PART ARCHITECTURAL DRAWINGS	
						PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES		DRAWING TITLE COVER SHEET	
				<small>This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</small>		PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604		DRAWING TITLE COVER SHEET	
				DRAWN		ME		10/04/2024	
				DESIGNED		NH		10/04/2024	
				DWG CHECKED		PN		10/04/2024	
				DESIGN CHECKED		DB		10/04/2024	
				APPROVED		DB		10/04/2024	
B	BCA REPORT UPGRADE	10/04/2024	HT	NH					PROJECT NUMBER SWP 2302474
A	ISSUED FOR PLANNING	06/07/2023	HT	DB					DWG NUMBER SWP-DWG-2302474-A01
REV	DESCRIPTION	DATE	DRAWN	APPROVED					HEIGHT DATUM: A.H.D
								SCALE	SIZE
								B	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

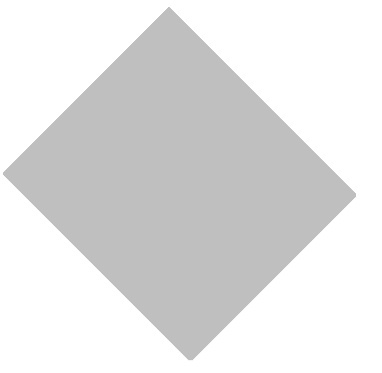
- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;
 - ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
 - ALL CARE MUST BE TAKEN TO PROTECT U1 ENTIRELY.
 - ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.

PAINTING NOTES:

- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022



Sch 2.2(a)(ii)

1 UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN
A03 1 : 100

GENERAL NOTES:

- RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.
- ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.
- ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.
- ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

Sch 2.2(a)(xi)				
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B	BCA REPORT UPGRADE	10/04/2024	HT	NH
A	ISSUED FOR PLANNING	06/07/2023	HT	DB
REV	DESCRIPTION	DATE	DRAWN	APPROVED

Sch 2.2(a)(xi)	
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES	
PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604	

PROJECT PART		ARCHITECTURAL DRAWINGS	
DRAWING TITLE			
UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN			
PROJECT NUMBER	SWP 2302474	SCALE	1 : 100
DRG NUMBER	SWP-DWG-2302474-A03	REV	B
HEIGHT DATUM:	A.H.D	SIZE	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

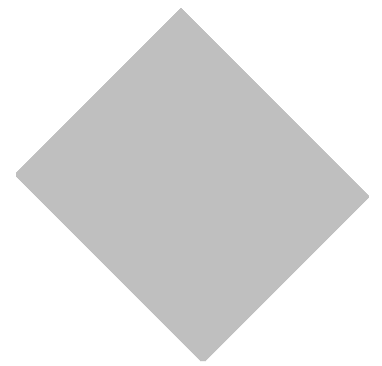
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 - ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
 - ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.
 - ALL CARE MUST BE TAKEN TO PROTECT U4 ENTIRELY.

PAINTING NOTES:

- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022



ALLOW FOR THE REMOVAL AND DISPOSAL OF THE FOLLOWING FIRE AND SMOKE DAMAGED ELEMENTS IN FACILITATING THE REINSTATEMENT PROCESS OF ENTIRE SUSPENDED GRID CEILING FRAME AND TILES

REMOVE AND DISPOSE FRONT ENTRANCE DOORS, FURNITURE, JAMBS, ARCHITRAVES AND TRIMS, TO U3.

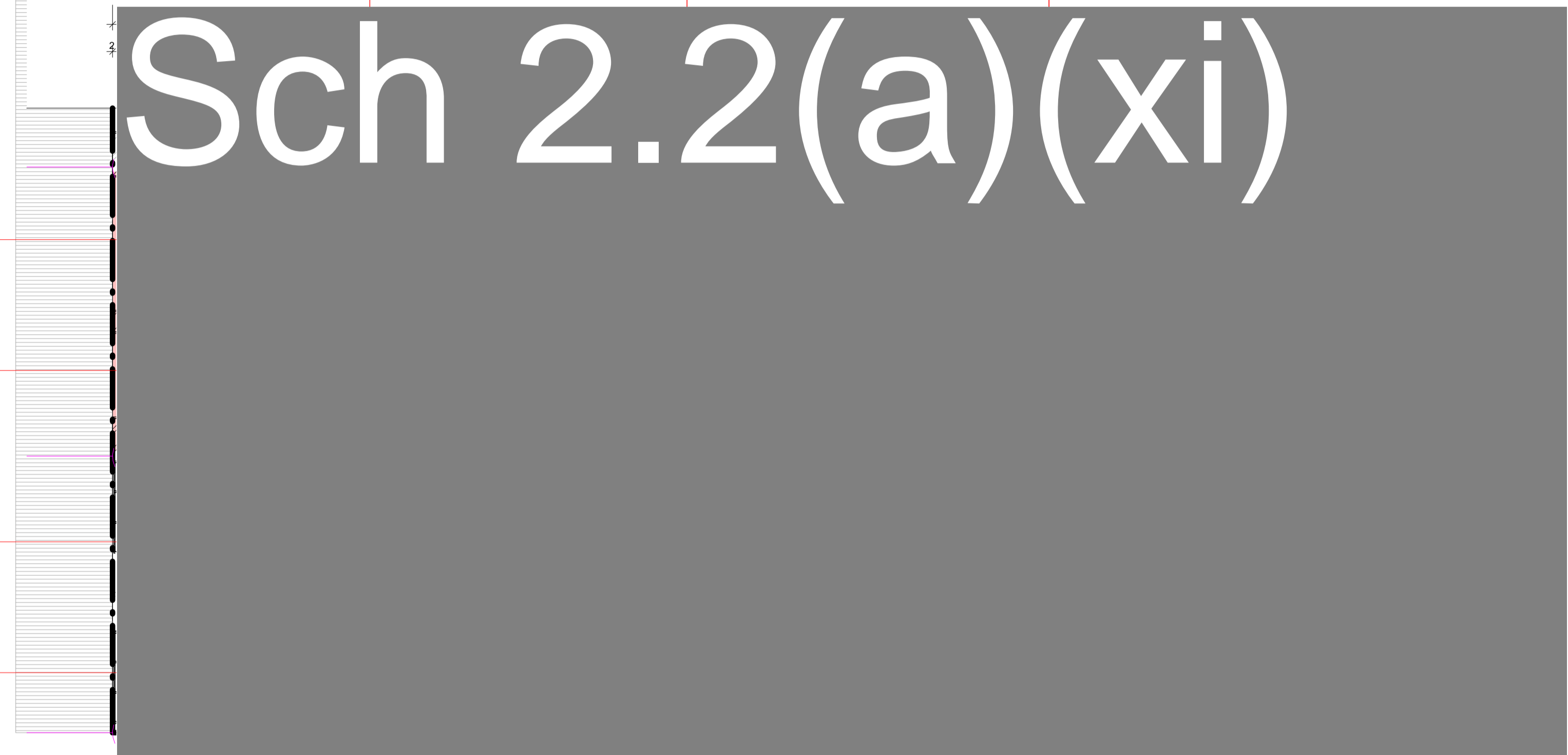
ALLOW FOR THE REMOVAL AND DISPOSAL OF THE FOLLOWING FIRE AND SMOKE DAMAGED ELEMENTS IN FACILITATING THE REINSTATEMENT PROCESS OF ALL PLASTERBOARD WALL LININGS AND SKIRTINGS

COMPLETE THE DEMOLITION OF FIRE-DAMAGED BUILDING U1 AND REMOVE ALL FIRE RELATED BUILDING DEBRIS FROM THE SITE.

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

COMPLETE THE DEMOLITION OF FIRE-DAMAGED BUILDING U1 AND REMOVE ALL FIRE RELATED BUILDING DEBRIS FROM THE SITE.



Sch 2.2(a)(ii)

1 UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT
A04 1 : 100

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.

ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
						10/04/2024

Sch 2.2(a)(xi)

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DRAWN	ME	10/04/2024
DESIGNED	NH	10/04/2024
DRG CHECKED	PN	10/04/2024
DESIGN CHECKED	DB	10/04/2024
APPROVED	DB	10/04/2024

PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604
DRAWING TITLE	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A04
HEIGHT DATUM:	A.H.D

SCALE	1 : 100
REV	B
SIZE	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS:
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PAINTING NOTES:

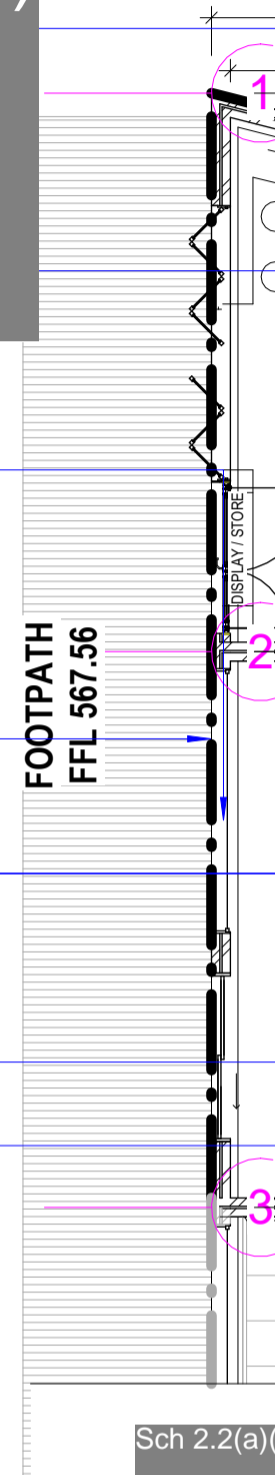
- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022

Sch 2.2(a)(xi)

ALLOW FOR THE SUPPLY AND INSTALLATION OF THE ALUMINIUM SHOPFRONT FIXED GLAZING, BIFOLD WINDOWS, AND DOOR INCLUSIVE OF ARCHITRAVES, REVEALS, FLASHINGS AND HARDWARE TO MATCH EXISTING IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.



Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

GENERAL NOTES:

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- ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
A05 1 : 100

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
						10/04/2024

Sch 2.2(a)(xi)

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PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604
DRAWING TITLE	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A05
HEIGHT DATUM:	A.H.D

SCALE	1 : 100
REV	B
SIZE	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;
 - ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
 - ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.
 - ALL CARE MUST BE TAKEN TO PROTECT U4 ENTIRELY.

PAINTING NOTES:

- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022

ALLOW FOR THE SUPPLY AND INSTALLATION OF THE ALUMINIUM SHOPFRONT FIXED GLAZING, BIFOLD WINDOWS, AND DOOR INCLUSIVE OF ARCHITRAVES, REVEALS, FLASHINGS AND HARDWARE TO MATCH EXISTING IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

1 UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
A06 1 : 100

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.

ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

<p>Sch 2.2(a)(xi)</p> <p><small>This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</small></p>				
B	BCA REPORT UPGRADE	10/04/2024	HT	NH
A	ISSUED FOR PLANNING	06/07/2023	HT	DB
REV	DESCRIPTION	DATE	DRAWN	APPROVED

Sch 2.2(a)(xi)	PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES	DRAWING TITLE	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604	PROJECT NUMBER	SWP 2302474
	DRG NUMBER	SWP-DWG-2302474-A06
	HEIGHT DATUM:	A.H.D
	SCALE	1 : 100
	REV	B
	SIZE	A2

AIR - CONDITIONING UNIT

ALLOW FOR THE SUPPLY AND INSTALLATION OF NEW A/C WITH ASSOCIATED DUCTING INCLUSIVE OF TESTING AND CERTIFICATION BY A SUITABLY QUALIFIED CONTRACTOR TO MATCH EXISTING – APPROX 1 OFF.

PLUMBING SERVICES

ALLOW FOR SUPPLY AND INSTALLATION OF ALL NECESSARY PLUMBING WORKS WITHIN THE ENTIRE DWELLING IN ACCORDANCE WITH NCC BCA 2022 AND AS 3500.3 - 2018

ELECTRICAL SERVICES

ALLOW FOR THE SUPPLY, INSTALLATION, TESTING AND CERTIFICATION OF POWER BOARD, LIGHT FITTINGS AND FIXTURES, GPOS AND WIRING THROUGHOUT THE BUILDING BY A SUITABLY QUALIFIED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH AS3017:2007 – ELECTRICAL INSTALLATIONS VERIFICATIONS.

INCLUDE FOR SUPPLY AND INSTALLATION OF FLOODLIGHTS ATTACHED TO THE EAVES LINING TO MATCH THE EXISTING.

NOTES:

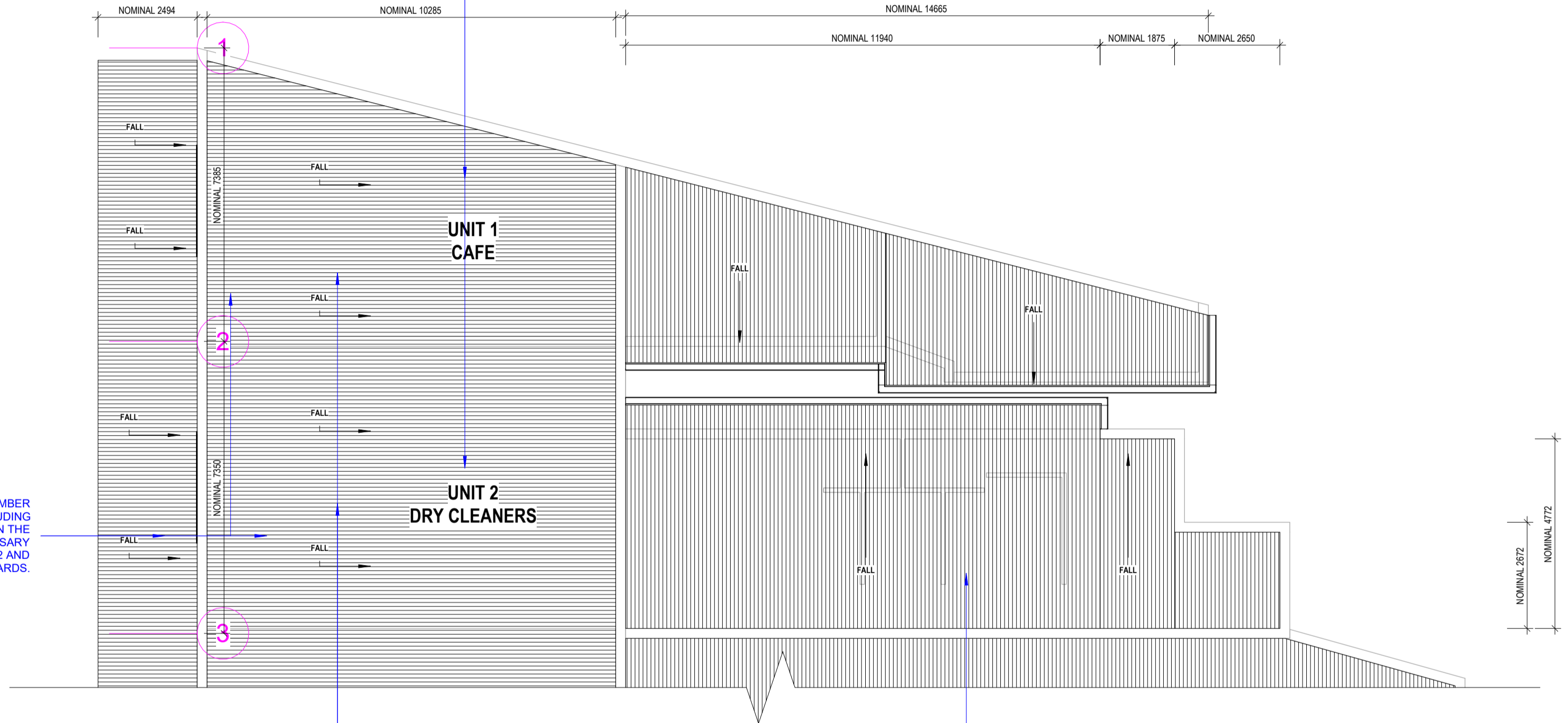
- STORMWATER DRAINAGE SYSTEM ACCORDING TO AS3500.3 - 2018 AND NCC BCA 2022
- NEW GUTTERING AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER LINES
- ROOF SLOPES INDICATIVELY ONLY AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION

INSTALL AND SUPPLY NEW COLORBOND ROOF SHEET TO MATCH EXISTING INCLUSIVE OF CAPPINGS, SARKING AND ANY ASSOCIATED FLASHING AND FIXINGS WITHIN THE UPPER ROOF IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.

ALLOW FOR THE SUPPLY AND INSTALLATION OF BOX GUTTERS TO THE UPPER ROOF INCLUDING CONNECTIONS TO EXISTING STORM WATER SYSTEM IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS BY A LICENSED CARPENTER IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.



Sch 2.2(a)(ii)

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.

ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 1 & UNIT 2 ROOF LAYOUT PLAN
A08 1 : 100

Sch 2.2(a)(xi)

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REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
						10/04/2024

PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604
DRAWING TITLE	UNIT 1 & UNIT 2 ROOF LAYOUT PLAN
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A08
HEIGHT DATUM:	A.H.D

SCALE	1 : 100
REV	B
SIZE	A2

PLOT DATE & TIME: 10/04/2024 12:33:54 PM

AIR - CONDITIONING UNIT

ALLOW FOR THE SUPPLY AND INSTALLATION OF NEW A/C WITH ASSOCIATED DUCTING INCLUSIVE OF TESTING AND CERTIFICATION BY A SUITABLY QUALIFIED CONTRACTOR TO MATCH EXISTING – APPROX 1 OFF.

PLUMBING SERVICES

ALLOW FOR SUPPLY AND INSTALLATION OF ALL NECESSARY PLUMBING WORKS WITHIN THE ENTIRE DWELLING IN ACCORDANCE WITH NCC BCA 2022 AND AS 3500.3 - 2018

ELECTRICAL SERVICES

ALLOW FOR THE SUPPLY, INSTALLATION, TESTING AND CERTIFICATION OF POWER BOARD, LIGHT FITTINGS AND FIXTURES, GPOS AND WIRING THROUGHOUT THE BUILDING BY A SUITABLY QUALIFIED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH AS3017:2007– ELECTRICAL INSTALLATIONS VERIFICATIONS.

INCLUDE FOR SUPPLY AND INSTALLATION OF FLOODLIGHTS ATTACHED TO THE EAVES LINING TO MATCH THE EXISTING.

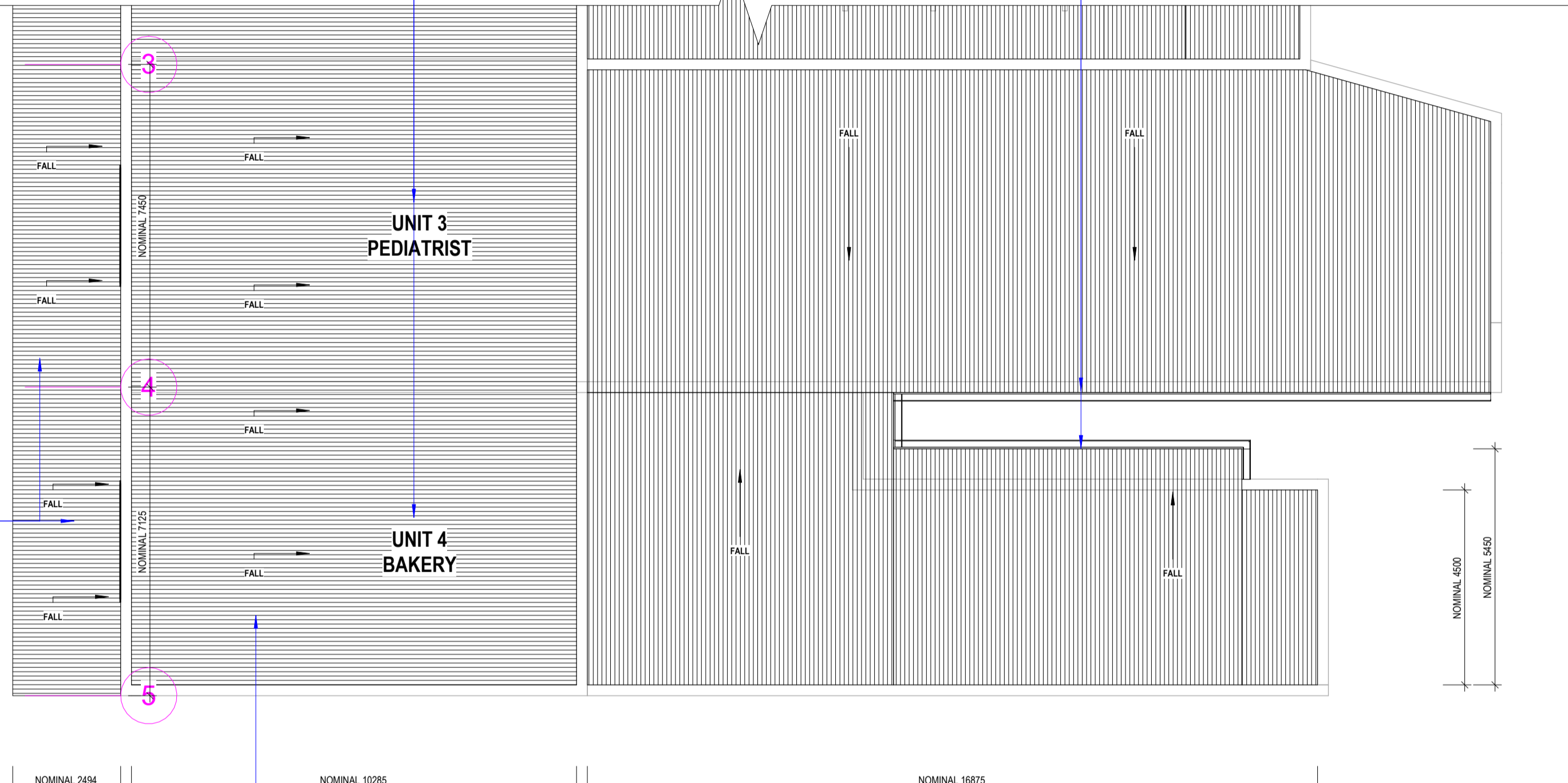
NOTES:

- STORMWATER DRAINAGE SYSTEM ACCORDING TO AS3500.3 - 2018 AND NCC BCA 2022
- NEW GUTTERING AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER LINES
- ROOF SLOPES INDICATIVELY ONLY AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION

ALLOW FOR THE SUPPLY AND INSTALLATION OF BOX GUTTERS TO THE UPPER ROOF AND SOUTH EASTERN END OF THE LOWER ROOF, AS WELL AS EAVES GUTTERS TO THE REMAINDER OF THE LOWER ROOF INCLUDING CONNECTIONS TO STORM WATER SYSTEM IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.

INSTALL AND SUPPLY NEW COLORBOND ROOF SHEET TO MATCH EXISTING INCLUSIVE OF CAPPING, SARKING AND ANY ASSOCIATED FLASHING AND FIXINGS WITHIN THE UPPER ROOF IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.



ALLOW FOR THE INSTALLATION OF THE STORED SOLAR PANELS TO THE FRONT UPPER ROOF.

Sch 2.2(a)(ii)

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

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ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 3 & UNIT 4 ROOF LAYOUT PLAN
A09 1 : 100

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE

Sch 2.2(a)(xi)

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DRAWN	ME	10/04/2024
DESIGNED	NH	10/04/2024
DRG CHECKED	PN	10/04/2024
DESIGN CHECKED	DB	10/04/2024
APPROVED	DB	10/04/2024

Sch 2.2(a)(xi)
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

PROJECT PART	
DRAWING TITLE UNIT 3 & UNIT 4 ROOF LAYOUT PLAN	
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A09
HEIGHT DATUM:	A.H.D
SCALE	1 : 100
REV	B
SIZE	A2



ACT Heritage Council

Sch 2.2(a)(xi)

File ref: Kingston-S21-B3

Contact Officer: LF

Phone: 13 22 81

Date Received: 18 September 2024

Sch 2.2(a)(ii)

Heritage Advice – Block 3, Section 21, Kingston

Please find attached a copy of ACT Heritage Council (Council) advice to the Territory Planning Authority regarding proposed works at Block 3, Section 21, Kingston.

The Council notes that Section 1.13 of the *Planning (Exempt Development) Regulation 2023* provides the following criteria for exempt development in relation to heritage places:

- 1) A development must not contravene the *Heritage Act 2004*, the *Urban Forest Act 2023*, the *Nature Conservation Act 2014*, the *Environment Protection Act 1997* or other applicable laws;
- 2) A development must not be located at a place or on an object included in the heritage register or under a heritage agreement; or cause any part of a building or other structure to be located at a place or on an object included in the heritage register or under a heritage agreement;
- 3) Subsection (2) does not apply if the Council gives the Territory Planning Authority written advice that, in the Council's opinion, the development:
 - a. will not diminish the heritage significance of the place or object; or
 - b. is in accordance with heritage guidelines, or a conservation management plan approved by the Council under Section 61K the *Heritage Act 2004*; or
 - c. is an activity described in a statement of heritage effect approved by the Council under Section 61H of the *Heritage Act 2004*.

The attached Council advice concludes that proposed works will not diminish the heritage significance of the place. However, the Council cannot determine whether any other approval is required for the works, and it is recommended that you also seek advice on whether all exemption criteria have been met.

Yours sincerely

Sch 2.2(a)(ii)

Heather Wallace
Director (Registrations and Engagement) (as delegate for),
ACT Heritage Council

17 December 2024



ACT Heritage Council

Sch 2.2(a)(xi)

HERITAGE ADVICE

Under Section 60 of the *Heritage Act 2004*

Heritage Reference: Kingston-S21-B3
Contact Officer: CS
Received by Council: 18 September 2024

TO: Territory Planning Authority
Environment, Planning and Sustainable Development Directorate
ACEPDCustomerServices@act.gov.au

Block:	Section:	Division / District:	Heritage Place:
3	21	Kingston	Early Kingston Shops (Provisional)

Status of Place: Provisionally Registered Heritage Place

Description of Works: Commercial - Alterations and Additions

Council Advice provided by: Director – Registrations

Pursuant to Part 10 of the *Heritage Act 2004*, the ACT Heritage Council advises that:

The proposed development does not contravene the *Heritage Act 2004*, and is **unlikely to diminish the heritage significance** of the place.

Background:

On 18 September 2024, the ACT Heritage Council (the Council) received a submission on proposed works at Block 3 Section 21 Kingston (Units 1-4, 56 Giles Street), following a fire which caused damage to interior elements, roof fabric and shopfront openings.

Units 1-4, 56 Giles Street are provisionally registered on the ACT Heritage Register as part of the 'Early Kingston Shops'. As such, works within the block are subject to *Heritage Act 2004* (Heritage Act) provisions, including the conservation objectives (included in the provisional registration) which states: "*The guiding conservation objective is that the Early Kingston Shops shall be conserved and appropriately managed in a manner respecting its heritage significance*".

The provisional registration identifies the attributes of significance specific to the Early Kingston Shops, including:

Cohesive original architectural composition of 1920s shop buildings, consisting of:

- *Continuous façade presenting as one building per block, with a unifying parapet design comprising painted and rendered masonry with corbel and string lines.*

- *Each shop presenting as an individual, narrow frontage with masonry piers framing predominantly transparent glazed shopfronts with a single entry point (the existing glazed shopfronts are not original attributes, but the general form of glazed shopfronts with a single entry point is an attribute).*
- *Original rectangular clerestory windows (some blocks with cartouche panels between windows) above awnings, with glazed shopfronts centred below.*
- *Original parapets and the general form of awnings stepping up in response to ground levels.*
- *A regular pattern of openings separated by original masonry columns which form a consistent structural frame in association with original parapets and clerestory windows above.*

The proposed works depicted on plans prepared by Sch 2.2(a)(xi) include:

- demolition of all fire damaged interiors
- refurbishment of the interior of unit 1 for continued use as a café, unit 2 for continued use as a dry cleaners, and unit 3 for continued use as a podiatrist. Unit 4 interiors do not require works
- demolition and replacement of all shopfront windows and doors to match in aluminium. This will include provision of fixed glazing, bi-fold windows and doors inclusive of architraves, reveals, flashings and hardware
- demolition and replacement of all roofs, to include timber framing, Colorbond sheeting, guttering and eaves
- painting each shopfront façade to match existing (colour not specified)
- reinstatement of solar panels to unit 4 roof.

Assessment:

As interior fabric is not included as an attribute of significance to the provisional registration, the proposed internal demolition and refurbishment work will not diminish the heritage significance of the Early Kingston Shops.

With regards to exteriors, the proposal does not seek to remove any elements associated with the upper façade clerestory windows, parapet features, or masonry piers which are all attributes of significance in the provisional registration. Exterior elements to be removed and replaced are non-original or non-significant features including the shopfront window and door fabric, and roof fabric.

The exterior works will maintain the continuous façade character identified in the provisional registration along with the narrow width of each shopfront, and the regular pattern of openings whereby shopfronts include a single point of entry and are predominantly glazed.

The proposal seeks to repaint the shopfronts to match existing, however no paint colour is specified on the plan set. A review of the current upper façade (parapet) colour shows that it is a cool, ultra-pale grey tone which also matches the adjacent group of units to the south. Matching this colour and applying it across the group of units will provide continued visual unity to the place, and is supported on that basis.

With regard to the solar panels, unit 4 contains approximately 70 solar panels on the roof which will be removed and stored while roof replacement work occurs. As these panels are not visible from any key vantage point at the Early Kingston Shops, reinstatement of the existing solar panels following the roof replacement is acceptable and supported.

Advice:

Following review of the submitted information, and as a delegate of the Council, I advise that the proposed works are unlikely to diminish the heritage significance of the Early Kingston Shops and therefore meet *Heritage Act 2004* requirements.

No further Council advice or *Heritage Act 2004* approvals are required prior to the commencement of works.

Sch 2.2(a)(ii)

Heather Wallace
Director (Registrations and Engagement) (as delegate for),
ACT Heritage Council

17 December 2024

ARCHITECTURAL DRAWINGS

REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES

UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

SEDGWICK AUSTRALIA PTY LTD

SHEET LIST			
SHEET NUMBER	SHEET NAME	REV	DATE
A01	COVER SHEET	B	10/04/2024
A02	LOCALITY MAP	B	10/04/2024
A03	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	B	10/04/2024
A04	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	B	10/04/2024
A05	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	B	10/04/2024
A06	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	B	10/04/2024
A07	WEST AND EAST ELEVATIONS	B	10/04/2024
A08	UNIT 1 & UNIT 2 ROOF LAYOUT PLAN	B	10/04/2024
A09	UNIT 3 & UNIT 4 ROOF LAYOUT PLAN	B	10/04/2024

Sch 2.2(a)(ii)

				Sch 2.2(a)(xi)		Sch 2.2(a)(xi)		PROJECT PART ARCHITECTURAL DRAWINGS	
						PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES		DRAWING TITLE COVER SHEET	
				<small>This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</small>		PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604		DRAWING NUMBER SWP 2302474	
				DRAWN ME 10/04/2024		DESIGNED NH 10/04/2024		SCALE	
				DESIGN CHECKED PN 10/04/2024		APPROVED DB 10/04/2024		PROJECT NUMBER SWP-DWG-2302474-A01	
				REV DESCRIPTION DATE DRAWN APPROVED		REV DATE DRAWN APPROVED		SIZE B A2	
								HEIGHT DATUM: A.H.D	

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;
 - ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
 - ALL CARE MUST BE TAKEN TO PROTECT U1 ENTIRELY.
 - ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.

PAINTING NOTES:

- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

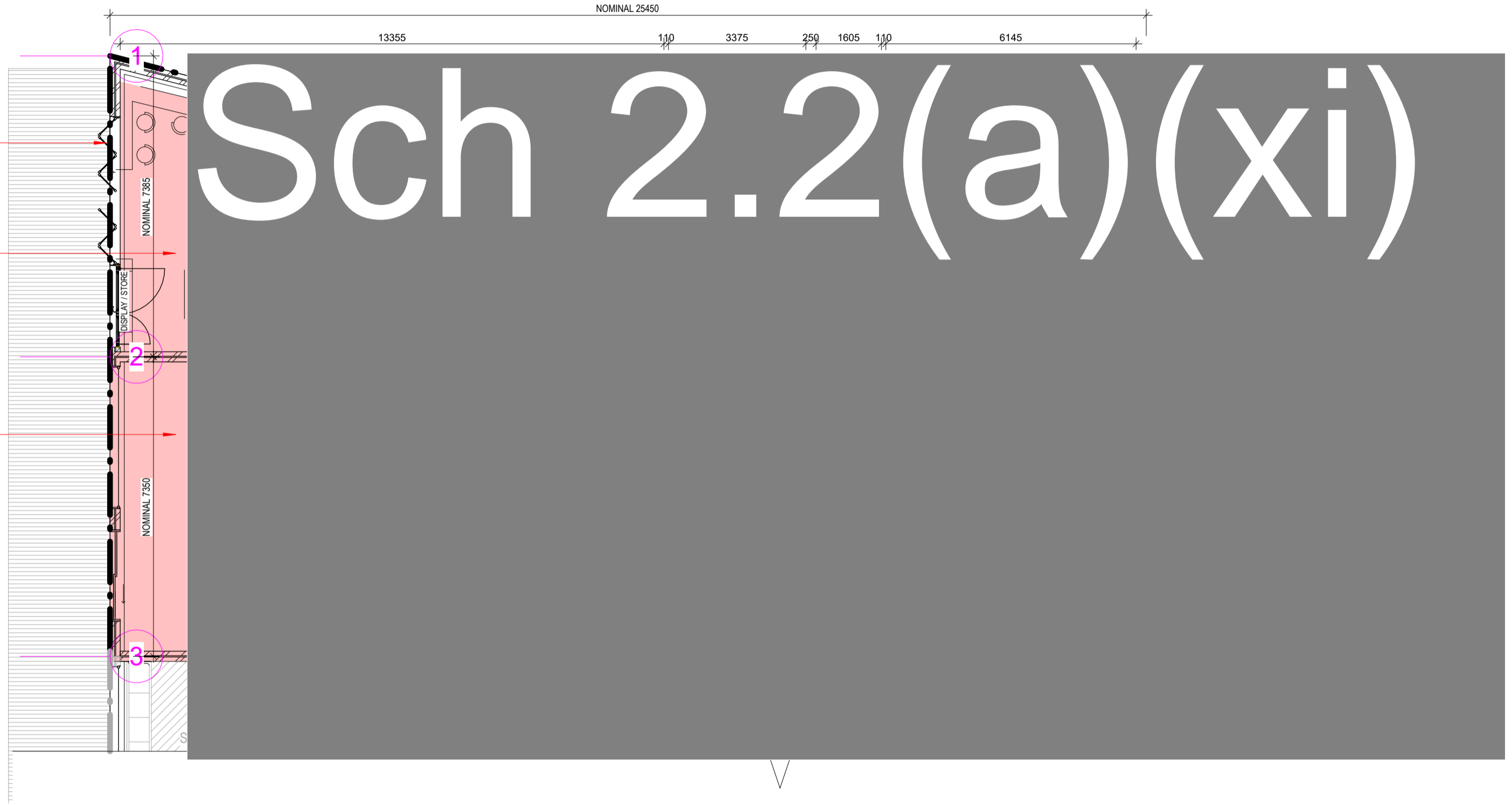
SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022

REMOVE AND DISPOSE METAL FRAMED GLAZED WINDOWS AND DOORS TO U1.

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A



Sch 2.2(a)(ii)

1 UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN
A03 1 : 100

GENERAL NOTES:

- RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.
- ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
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<p style="font-size: 2em; text-align: center;">Sch 2.2(a)(xi)</p> <p style="font-size: 0.8em;">This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</p>				
B	BCA REPORT UPGRADE	10/04/2024	HT	NH
A	ISSUED FOR PLANNING	06/07/2023	HT	DB
REV	DESCRIPTION	DATE	DRAWN	APPROVED

Sch 2.2(a)(xi)	
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

PROJECT PART		ARCHITECTURAL DRAWINGS	
DRAWING TITLE		UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	
PROJECT NUMBER	SWP 2302474	SCALE	1 : 100
DRG NUMBER	SWP-DWG-2302474-A03	REV	B
HEIGHT DATUM:	A.H.D	SIZE	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

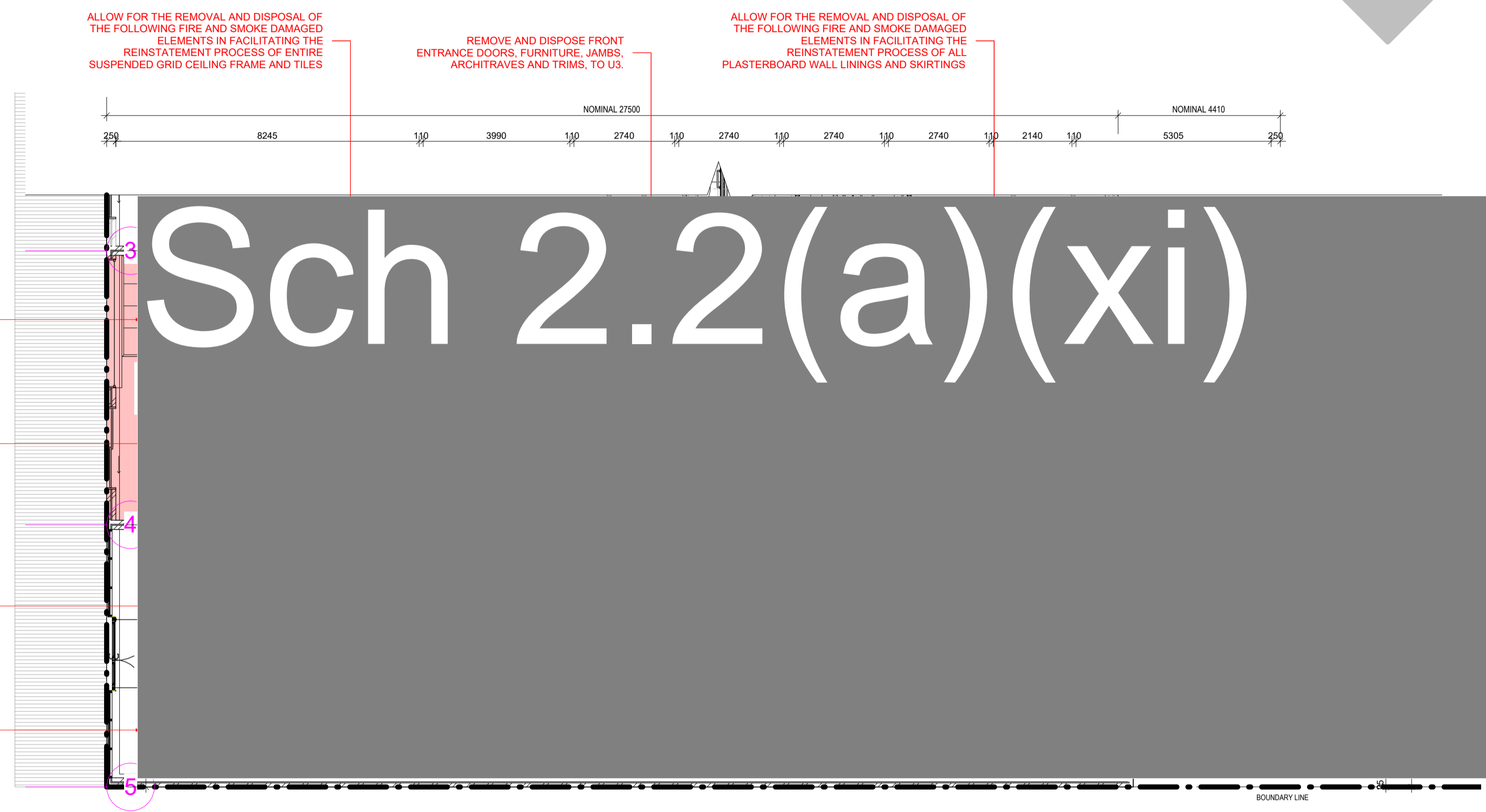
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 - ALL CARE MUST BE TAKEN TO PROTECT U4 ENTIRELY.

PAINTING NOTES:

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- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022



COMPLETE THE DEMOLITION OF FIRE-DAMAGED BUILDING U1 AND REMOVE ALL FIRE RELATED BUILDING DEBRIS FROM THE SITE.

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

ALL DEMOLITION WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

COMPLETE THE DEMOLITION OF FIRE-DAMAGED BUILDING U1 AND REMOVE ALL FIRE RELATED BUILDING DEBRIS FROM THE SITE.

Sch 2.2(a)(ii)

1 UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT
A04 1 : 100

GENERAL NOTES:

- RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.
- ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.
- ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.
- ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

<p style="text-align: center; font-size: 2em; font-weight: bold;">Sch 2.2(a)(xi)</p>					<p style="text-align: center;">Sch 2.2(a)(xi)</p>	
					<p style="text-align: center;">PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES</p> <p style="text-align: center;">PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604</p>	
<p><i>This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</i></p>					<p style="font-size: 0.8em;">DRAWN: ME 10/04/2024</p> <p style="font-size: 0.8em;">DESIGNED: NH 10/04/2024</p> <p style="font-size: 0.8em;">DRG CHECKED: PN 10/04/2024</p> <p style="font-size: 0.8em;">DESIGN CHECKED: DB 10/04/2024</p> <p style="font-size: 0.8em;">APPROVED: DB 10/04/2024</p>	
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		
REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE

<p style="text-align: center;">Sch 2.2(a)(xi)</p>		<p style="text-align: center;">PROJECT PART: ARCHITECTURAL DRAWINGS</p>	
<p style="text-align: center;">DRAWING TITLE: UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN</p>		<p style="text-align: center;">PROJECT NUMBER: SWP 2302474</p>	
<p style="text-align: center;">DRG NUMBER: SWP-DWG-2302474-A04</p>		<p style="text-align: center;">SCALE: 1 : 100</p>	
<p style="text-align: center;">HEIGHT DATUM: A.H.D</p>		<p style="text-align: center;">REV: B</p>	
		<p style="text-align: center;">SIZE: A2</p>	

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

1. CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
2. THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;

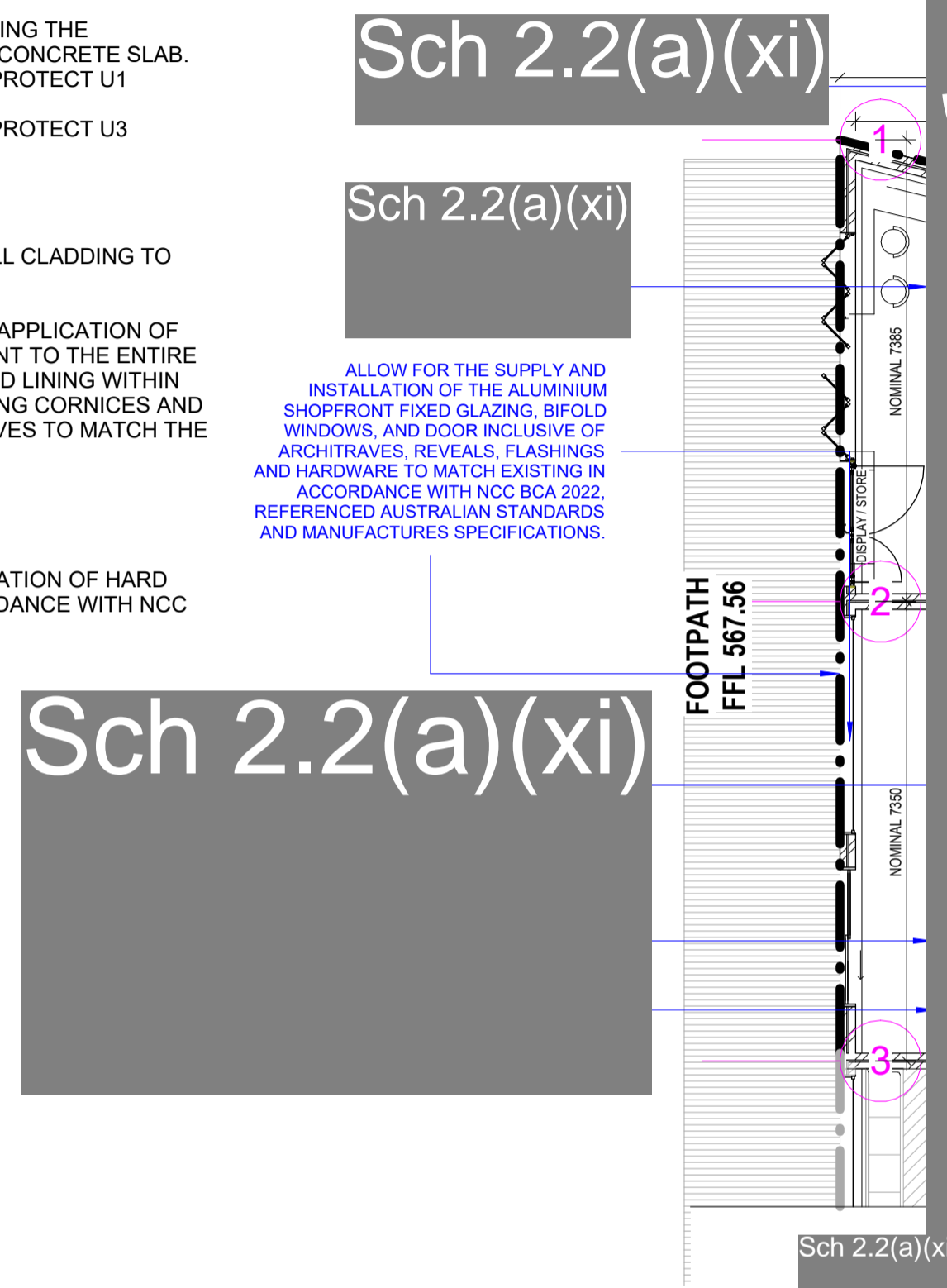
- ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
- ALL CARE MUST BE TAKEN TO PROTECT U1 ENTIRELY.
- ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.

PAINTING NOTES:

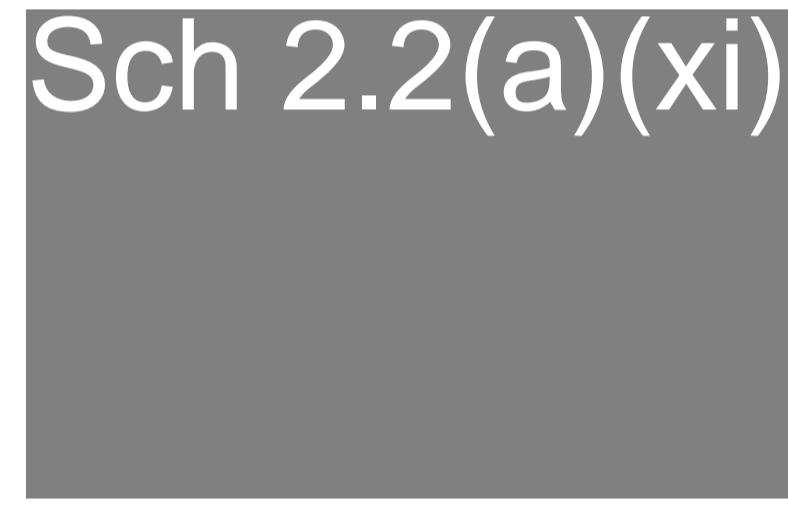
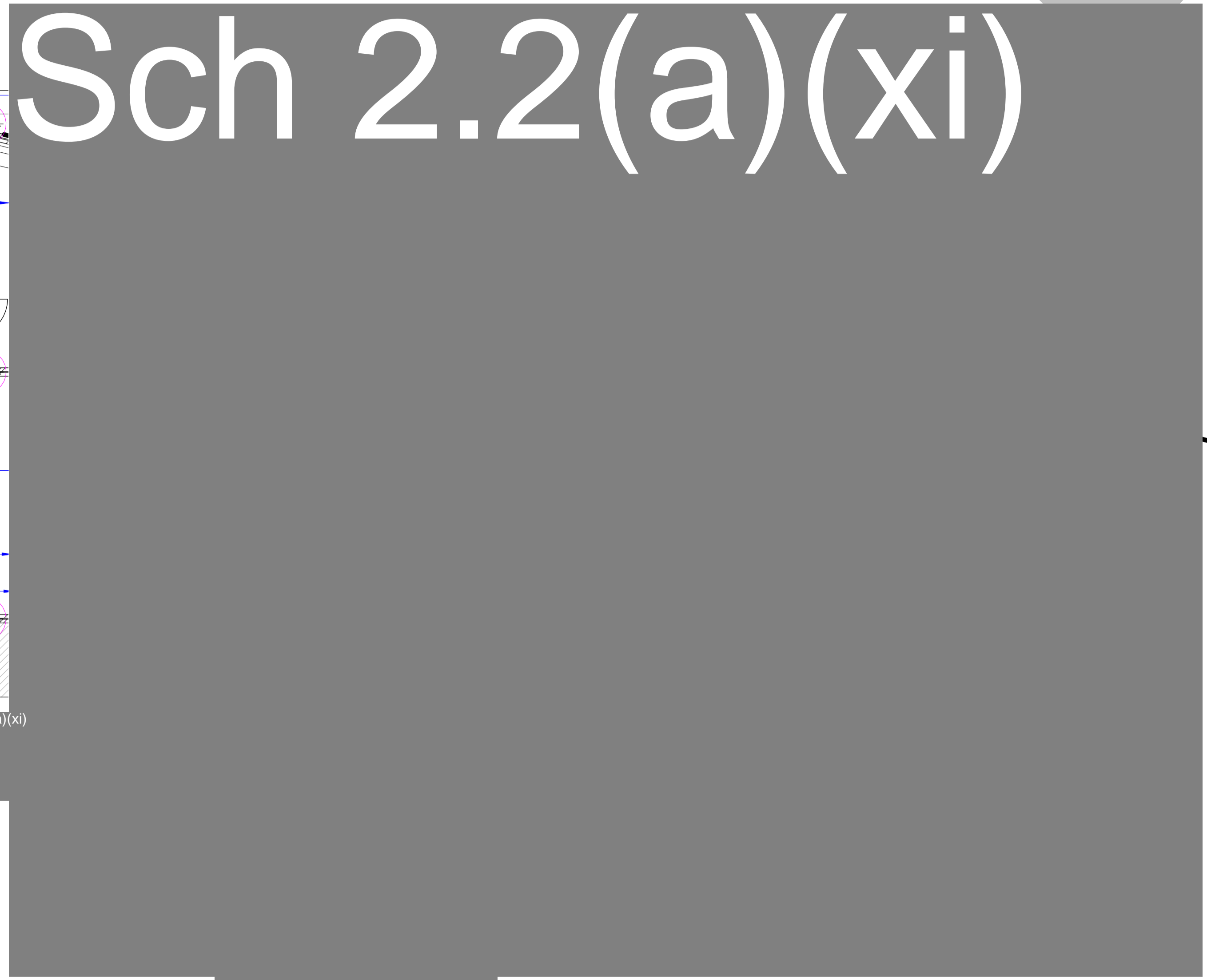
1. PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
2. INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

1. ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022



ALLOW FOR THE SUPPLY AND INSTALLATION OF THE ALUMINIUM SHOPFRONT FIXED GLAZING, BIFOLD WINDOWS, AND DOOR INCLUSIVE OF ARCHITRAVES, REVEALS, FLASHINGS AND HARDWARE TO MATCH EXISTING IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.



Sch 2.2(a)(ii)

GENERAL NOTES:

- RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.
- ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.
- ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.
- ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
A05 1 : 100

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
						10/04/2024

Sch 2.2(a)(xi)

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PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604
DRAWING TITLE	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A05
HEIGHT DATUM:	A.H.D

SCALE	1 : 100
REV	B
SIZE	A2

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;
 - ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
 - ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.
 - ALL CARE MUST BE TAKEN TO PROTECT U4 ENTIRELY.

PAINTING NOTES:

- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022

ALLOW FOR THE SUPPLY AND INSTALLATION OF THE ALUMINIUM SHOPFRONT FIXED GLAZING, BIFOLD WINDOWS, AND DOOR INCLUSIVE OF ARCHITRAVES, REVEALS, FLASHINGS AND HARDWARE TO MATCH EXISTING IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

1 UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN
A06 1 : 100

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.

ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

<p>Sch 2.2(a)(xi)</p> <p><small>This drawing and the information contained thereon have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</small></p>						<p>Sch 2.2(a)(xi)</p>	
						<p>PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES</p> <p>PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604</p>	
REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE	
B	BCA REPORT UPGRADE	10/04/2024	HT	NH	DESIGNED	10/04/2024	
A	ISSUED FOR PLANNING	06/07/2023	HT	DB	DRG CHECKED	10/04/2024	
					DESIGN CHECKED	10/04/2024	
					DRAWN	10/04/2024	

PROJECT PART		ARCHITECTURAL DRAWINGS	
DRAWING TITLE		UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	
PROJECT NUMBER	SWP 2302474	SCALE	1 : 100
DRG NUMBER	SWP-DWG-2302474-A06	REV	B
HEIGHT DATUM:	A.H.D		
SIZE	A2		

DEMOLITION NOTES:

ITEMS TO BE PROTECTED

- CARRY OUT A DILAPIDATION REPORT ON REMAINING SURFACES PRIOR TO DEMOLITION.
- THE FOLLOWING ELEMENTS ARE TO REMAIN IN PLACE. THIS IS THE RESPONSIBILITY OF THE DEMOLITION / BUILDING CONTRACTOR TO ENSURE THAT ALL DUE CARE HAS BEEN TAKEN TO PROTECT THE FOLLOWING ITEMS;

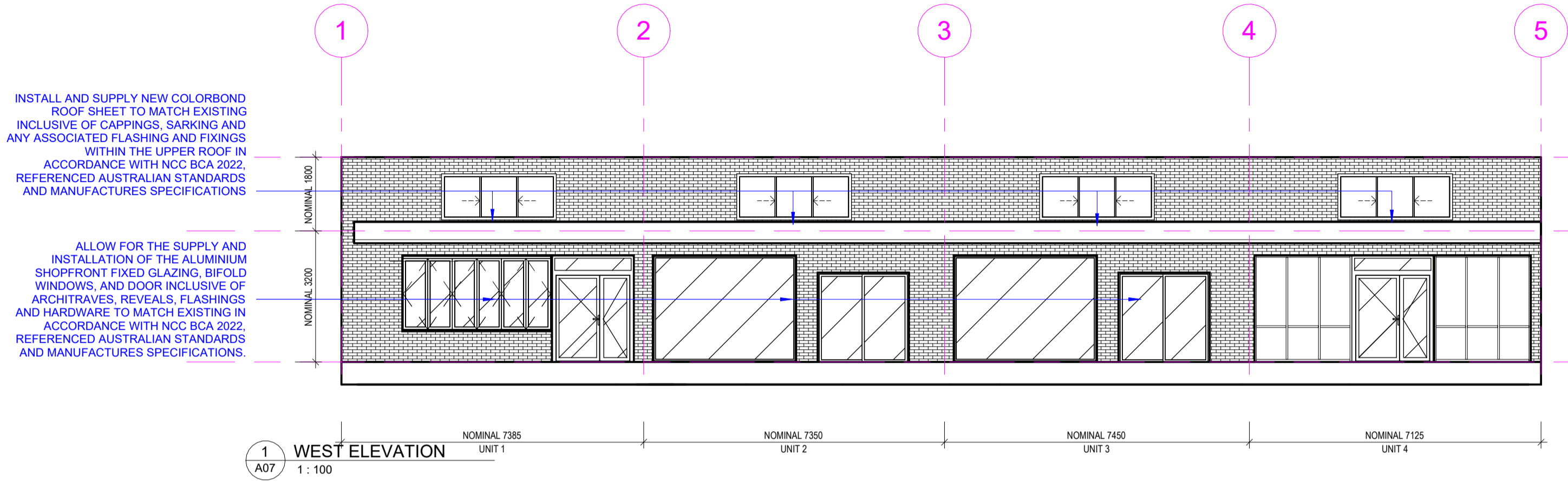
- ALL CARE MUST BE TAKEN DURING THE DEMOLITION TO PROTECT THE CONCRETE SLAB.
- ALL CARE MUST BE TAKEN TO PROTECT U3 ENTIRELY.
- ALL CARE MUST BE TAKEN TO PROTECT U4 ENTIRELY.

PAINTING NOTES:

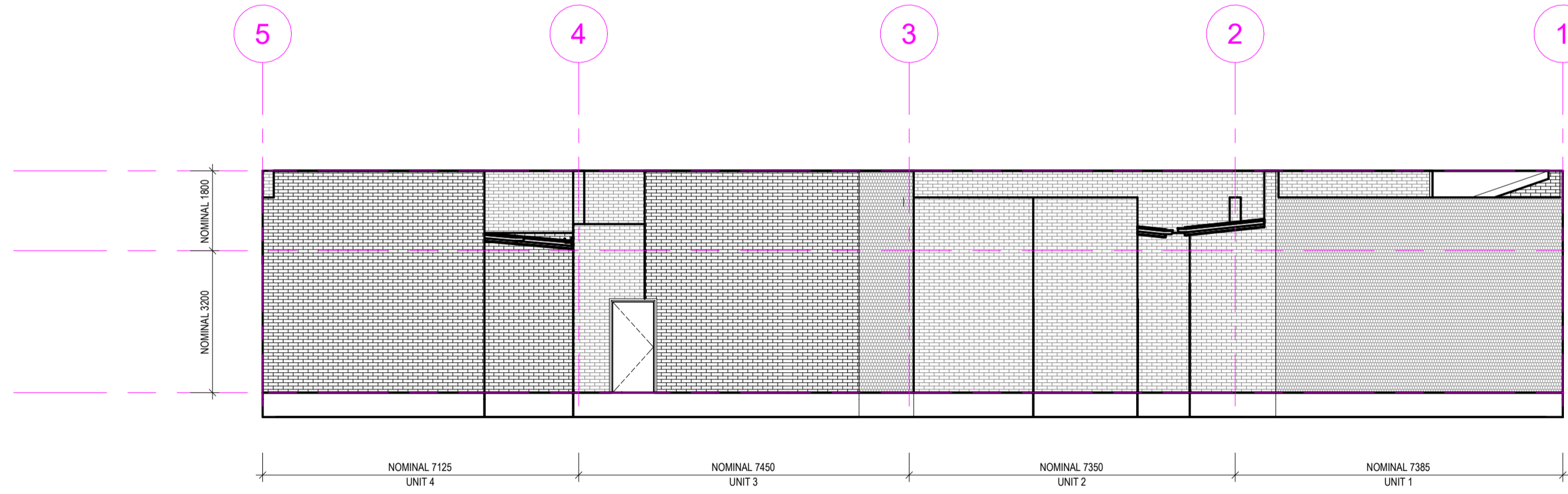
- PAINT THE ENTIRE EXTERNAL WALL CLADDING TO MATCH EXISTING
- INCLUDE FOR PREPARATION AND APPLICATION OF THREE (3) COATS OF ACRYLIC PAINT TO THE ENTIRE CEILING AND WALL PLASTERBOARD LINING WITHIN THE FIRST FLOOR AREAS INCLUDING CORNICES AND SKIRTING, DOORS AND ARCHITRAVES TO MATCH THE EXISTING COLOUR.

SMOKE ALARMS

- ALLOW FOR SUPPLY AND INSTALLATION OF HARD WIRED SMOKE ALARMS IN ACCORDANCE WITH NCC BCA 2022



1 WEST ELEVATION
A07 1 : 100



2 EAST ELEVATION
A07 1 : 100

GENERAL NOTES:

- RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.
- ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.
- ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.
- ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.
- ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
B	BCA REPORT UPGRADE	10/04/2024	HT	NH		10/04/2024
A	ISSUED FOR PLANNING	06/07/2023	HT	DB		10/04/2024
						10/04/2024

PROJECT PART	ARCHITECTURAL DRAWINGS
PROJECT:	REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS:	UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604
DRAWING TITLE	WEST AND EAST ELEVATIONS
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A07
HEIGHT DATUM:	A.H.D

SCALE	1 : 100
SIZE	A2

AIR - CONDITIONING UNIT

ALLOW FOR THE SUPPLY AND INSTALLATION OF NEW A/C WITH ASSOCIATED DUCTING INCLUSIVE OF TESTING AND CERTIFICATION BY A SUITABLY QUALIFIED CONTRACTOR TO MATCH EXISTING – APPROX 1 OFF.

PLUMBING SERVICES

ALLOW FOR SUPPLY AND INSTALLATION OF ALL NECESSARY PLUMBING WORKS WITHIN THE ENTIRE DWELLING IN ACCORDANCE WITH NCC BCA 2022 AND AS 3500.3 - 2018

ELECTRICAL SERVICES

ALLOW FOR THE SUPPLY, INSTALLATION, TESTING AND CERTIFICATION OF POWER BOARD, LIGHT FITTINGS AND FIXTURES, GPOS AND WIRING THROUGHOUT THE BUILDING BY A SUITABLY QUALIFIED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH AS3017:2007 – ELECTRICAL INSTALLATIONS VERIFICATIONS.

INCLUDE FOR SUPPLY AND INSTALLATION OF FLOODLIGHTS ATTACHED TO THE EAVES LINING TO MATCH THE EXISTING.

NOTES:

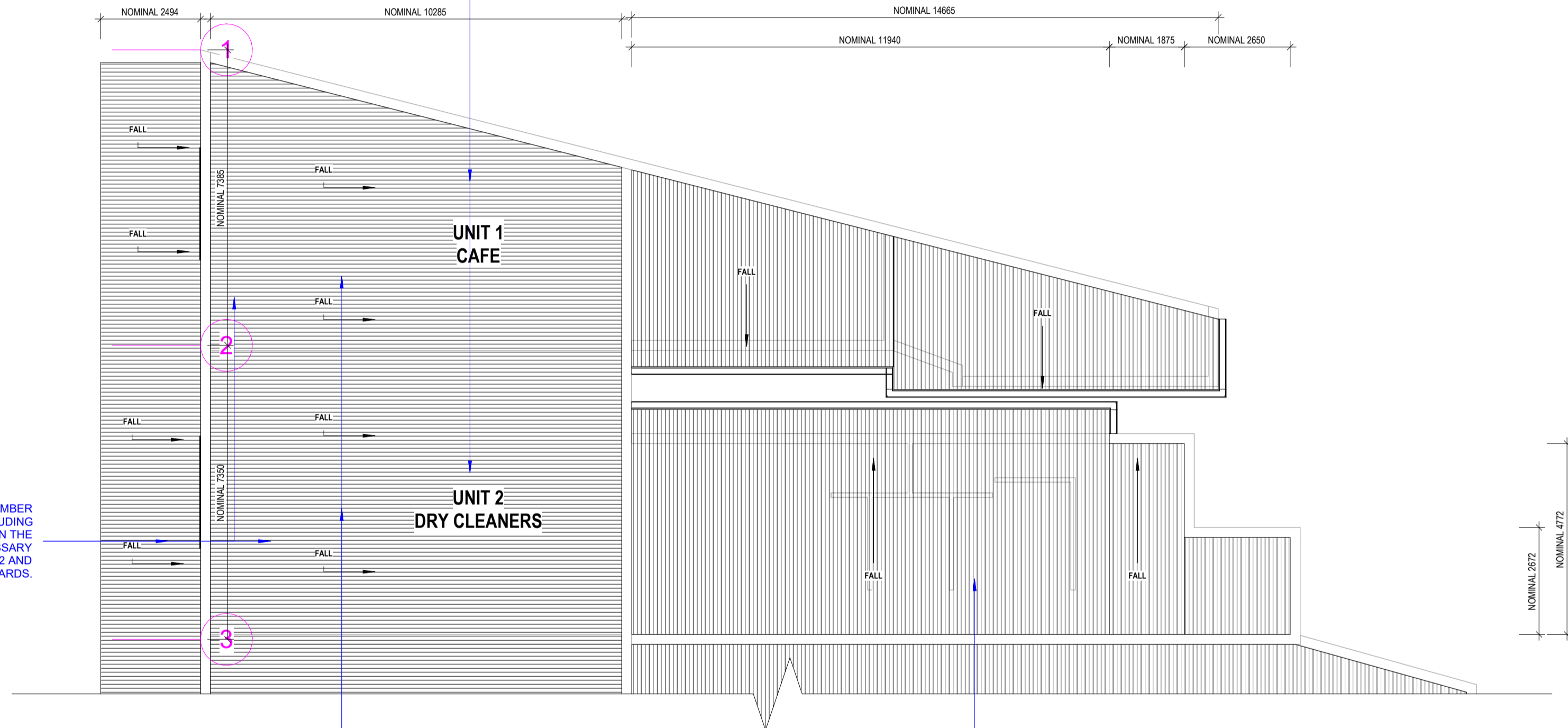
- STORMWATER DRAINAGE SYSTEM ACCORDING TO AS3500.3 - 2018 AND NCC BCA 2022
- NEW GUTTERING AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER LINES
- ROOF SLOPES INDICATIVELY ONLY AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION

INSTALL AND SUPPLY NEW COLORBOND ROOF SHEET TO MATCH EXISTING INCLUSIVE OF CAPPINGS, SARKING AND ANY ASSOCIATED FLASHING AND FIXINGS WITHIN THE UPPER ROOF IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.

ALLOW FOR THE SUPPLY AND INSTALLATION OF BOX GUTTERS TO THE UPPER ROOF INCLUDING CONNECTIONS TO EXISTING STORM WATER SYSTEM IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS BY A LICENSED CARPENTER IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.



Sch 2.2(a)(ii)

GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

ALL DEMOLITION WORKS TO BE COMPLETED IN ACCORDANCE WITH AS 2601 & WORK COVER NSW REQUIREMENTS. ALL DEMOLITION WORKS ARE TO BE UNDERTAKEN IN A CONTROLLED MANNER ENSURING THE STRUCTURAL INTEGRITY OF THE SURROUNDING STRUCTURES ARE SAFE.

ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 1 & UNIT 2 ROOF LAYOUT PLAN
A08 1 : 100

B		BCA REPORT UPGRADE	10/04/2024	HT	NH	DRAWN	ME	10/04/2024
A		ISSUED FOR PLANNING	06/07/2023	HT	DB	DESIGNED	NH	10/04/2024
REV		DESCRIPTION	DATE	DRAWN	APPROVED	DRG CHECKED	PN	10/04/2024
						DESIGN CHECKED	DB	10/04/2024
						APPROVED	DB	10/04/2024

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

PROJECT PART
ARCHITECTURAL DRAWINGS

DRAWING TITLE
UNIT 1 & UNIT 2 ROOF LAYOUT PLAN

PROJECT NUMBER	SWP 2302474	SCALE	1 : 100
DRG NUMBER	SWP-DWG-2302474-A08	REV	B
HEIGHT DATUM	A.H.D	SIZE	A2

AIR - CONDITIONING UNIT

ALLOW FOR THE SUPPLY AND INSTALLATION OF NEW A/C WITH ASSOCIATED DUCTING INCLUSIVE OF TESTING AND CERTIFICATION BY A SUITABLY QUALIFIED CONTRACTOR TO MATCH EXISTING – APPROX 1 OFF.

PLUMBING SERVICES

ALLOW FOR SUPPLY AND INSTALLATION OF ALL NECESSARY PLUMBING WORKS WITHIN THE ENTIRE DWELLING IN ACCORDANCE WITH NCC BCA 2022 AND AS 3500.3 - 2018

ELECTRICAL SERVICES

ALLOW FOR THE SUPPLY, INSTALLATION, TESTING AND CERTIFICATION OF POWER BOARD, LIGHT FITTINGS AND FIXTURES, GPOS AND WIRING THROUGHOUT THE BUILDING BY A SUITABLY QUALIFIED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH AS3017:2007– ELECTRICAL INSTALLATIONS VERIFICATIONS.

INCLUDE FOR SUPPLY AND INSTALLATION OF FLOODLIGHTS ATTACHED TO THE EAVES LINING TO MATCH THE EXISTING.

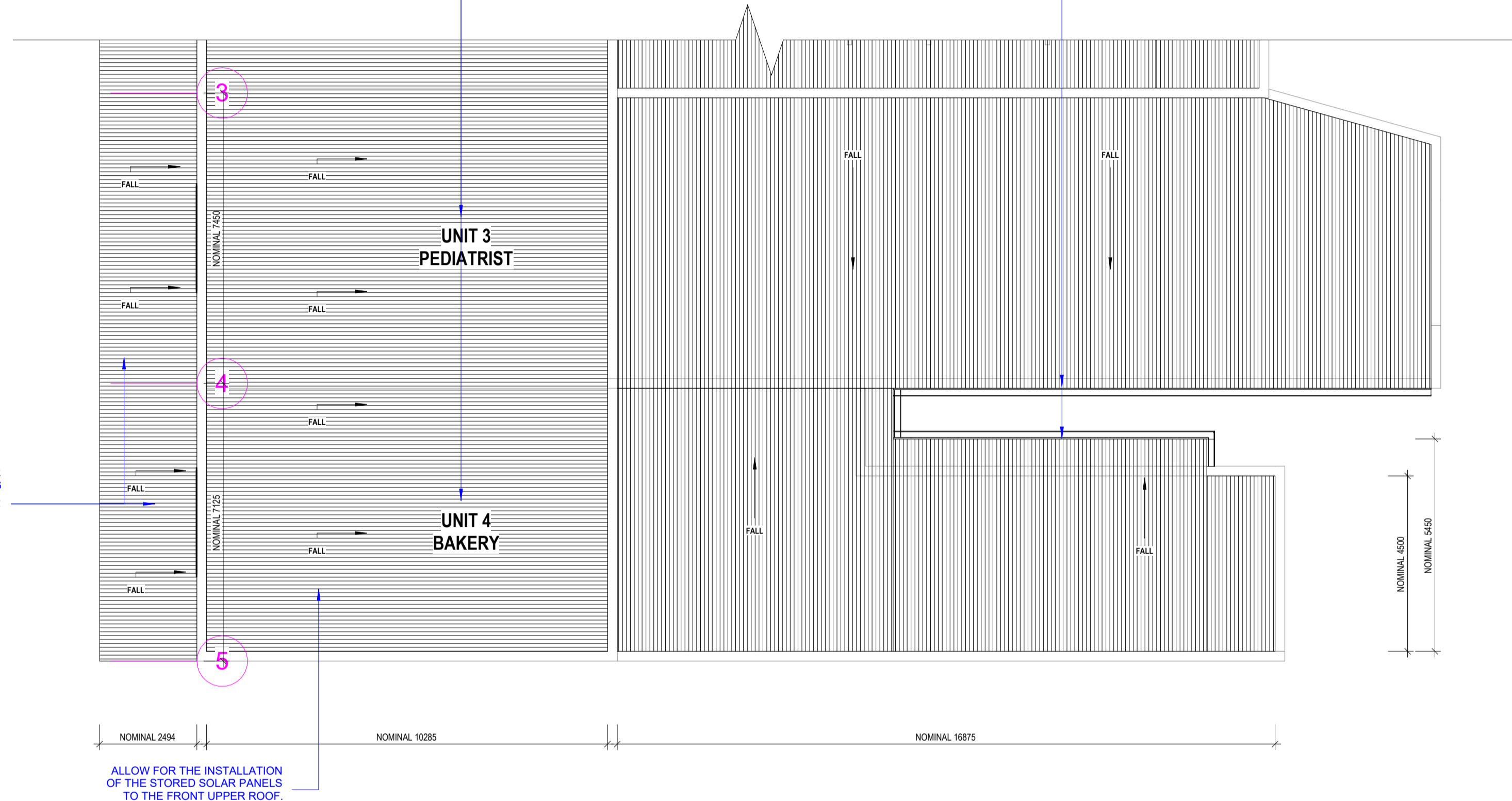
NOTES:

- STORMWATER DRAINAGE SYSTEM ACCORDING TO AS3500.3 - 2018 AND NCC BCA 2022
- NEW GUTTERING AND DOWNPIPES TO BE CONNECTED TO EXISTING STORMWATER LINES
- ROOF SLOPES INDICATIVELY ONLY AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION

INSTALL AND SUPPLY NEW COLORBOND ROOF SHEET TO MATCH EXISTING INCLUSIVE OF CAPPING, SARKING AND ANY ASSOCIATED FLASHING AND FIXINGS WITHIN THE UPPER ROOF IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS

ALLOW FOR THE SUPPLY AND INSTALLATION OF BOX GUTTERS TO THE UPPER ROOF AND SOUTH EASTERN END OF THE LOWER ROOF, AS WELL AS EAVES GUTTERS TO THE REMAINDER OF THE LOWER ROOF INCLUDING CONNECTIONS TO STORM WATER SYSTEM IN ACCORDANCE WITH NCC BCA 2022, REFERENCED AUSTRALIAN STANDARDS AND MANUFACTURES SPECIFICATIONS.

ALLOW FOR THE SUPPLY AND INSTALLATION OF TIMBER ROOF FRAMEWORK TO THE UPPER ROOF, INCLUDING BATTENS, RAFTERS, BEAMS, AS HIGHLIGHTED IN THE PROVIDED DRAWINGS INCLUSIVE OF ANY NECESSARY CONNECTIONS IN ACCORDANCE WITH NCC BCA 2022 AND REFERENCED AUSTRALIAN STANDARDS.



GENERAL NOTES:

RECONSTRUCTION OF DAMAGED BUILDING ROOF, WALL AND CEILING FINISHES TO MATCH PREVIOUS.

ALL DIMENSIONS ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL ROOF RIDGE SPOT ELEVATIONS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY THE CONTRACTOR ON SITE PRIOR TO DEMOLITION & CONSTRUCTION.

ALL NEW CONSTRUCTION WORKS TO BE CONSTRUCTED TO MATCH ORIGINAL BUILDING.

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ALL WORKS TO BE COMPLETED AS PER SWP# 2302474 - FIRE SOW - 56 GILES STREET, KINGSTON, ACT 2604 - REV A

1 UNIT 3 & UNIT 4 ROOF LAYOUT PLAN
A09 1 : 100

B		BCA REPORT UPGRADE	10/04/2024	HT	NH	DRAWN	ME	10/04/2024
A		ISSUED FOR PLANNING	06/07/2023	HT	DB	DESIGNED	NH	10/04/2024
REV		DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DB	10/04/2024

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES
PROJECT ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

PROJECT PART	
DRAWING TITLE UNIT 3 & UNIT 4 ROOF LAYOUT PLAN	
PROJECT NUMBER	SWP 2302474
DRG NUMBER	SWP-DWG-2302474-A09
HEIGHT DATUM:	A.H.D
SCALE	1 : 100
REV	B
SIZE	A2

Sch 2.2(a)(xi)

3 March 2025

SWP Ref: 2302474
SWP-SDC-2302474-1 Rev.C

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Re: Structural Design Certificate for the Reinstatement of Fire Damaged Retail Tenancies (Units 1 to 4, 56 Giles Street, Kingston, ACT 2604).

Our Firm has completed the structural design for damaged Roof Framework & Tie-downs and Lintel beams and concrete slab on ground foundation, at the above-mentioned property which has been detailed on our drawings numbered:

- **SWP-DWG- 2302474– S01 to S08 – Rev C**

The aforementioned Structural Drawings have been undertaken in accordance with your email correspondence dated 7 February 2025, and in accordance with following documents:

- **Architectural Drawings SWP-DWG- 2302474– A01 to A10 – Rev D dated 21 February 2025**

Our Firm has completed the above-mentioned structural design and detailing in accordance with the following relevant Australian Standards:

• Structural Design Actions –	AS 1170
▪ General Principles	AS/NZS 1170.0:2002
▪ Permanent, Imposed and Other Actions	AS/NZS 1170.1:2002
▪ Wind Actions	AS/NZS 1170.2:2021
▪ Earthquake Actions in Australia	AS/NZS 1170.4:2024
• Masonry Structures	AS 3700: 2018
• Masonry in Small Buildings - Design	AS 4773.1: 2015
• Timber Structures – Design Methods	AS 1720.1:2010

Sch 2.2(a)(xi)

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• Steel Structures	AS
• Concrete Structures	AS 3600: 2018
• National Construction Code - Building Code of Australia	NCC BCA 2022

We trust this meets your requirements and should you require further information or clarification on the matter, please do not hesitate to contact the undersigned.

Yours Faithfully,

Sch 2.2(a)(xi)

Prepared by:

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

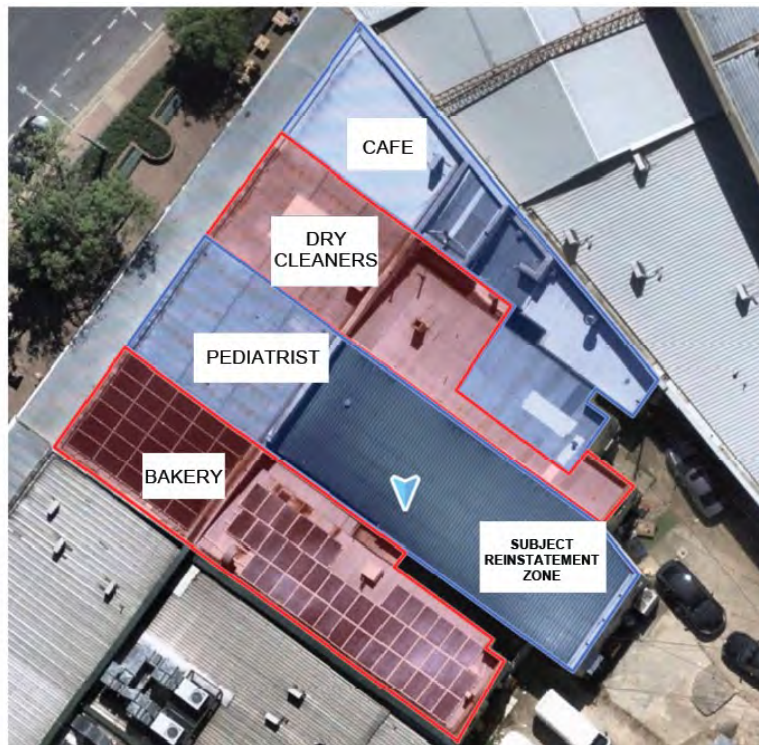
Reviewed & Approved by:

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

ACCESS REPORT

RE-CONSTRUCTION OF
FIRE DAMAGED PREMISES



**56 GILES STREET
KINGSTON**

Prepared By Sch 2.2(a)(ii)

6th March 2025

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

(NSW) PTY LTD

**ACCESSIBILITY REVIEW of
Re-Construction of Fire Damaged Premises
6th March 2025**



Address	56 Giles Street, Kingston
Proposed Use	Retail premises
Part of Building to be certified	<p>The development proposes restoration of fire damaged areas of Units 1, 2, 3 and 4 that incorporates:</p> <ul style="list-style-type: none"> • Principal building entrances and • Internal circulation to areas within the premises required to be accessible. • Refurbished sanitary facilities. • Tactile Braille signage.
Exclusions	Internal fitout of units 2 and 4.

I hereby certify that:

- a) The architectural drawings, specifications have been reviewed having regard to the nominated Standards of Performance as listed below.

Measure and/or system	Standards of Performance
Access for people with disabilities	<p>DDA Premises Standards 2010 Deemed to Satisfy Provisions BCA2022 Clause D4D1 and AS1428.1 (2009). General Building Access Requirements BCA2022 Clause D4D2, and AS1428.1 (2009). Access to Buildings BCA2022 Clause D4D3 and AS1428.1 (2009). Parts of Buildings to be Accessible BCA2022 Clause D4D4 and AS1428.1 (2009). Exceptions BCA2022 Clause D4D5. Braille & tactile signage</p>

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Measure and/or system	Standards of Performance
	BCA2022 Clause D4D7, Spec 15 and AS1428.1 (2009). Tactile Ground Surface Indicators BCA2022 Clause D4D9 and AS1428.4.1 (2009). Glazing on Accessways BCA2022 Clause D4D13 and AS1428.1 (2009). Accessible Sanitary facilities BCA2022 Clauses F4D5, F4D6 and AS1428.1 (2009).

Sch 2.2(a)(xi)

The review of the drawings and documentation relating to the “accessibility” of the subject works is;

- Satisfactory,
- Unsatisfactory

- a) I am a properly qualified person and have a good working knowledge of the relevant codes and standards referenced above. *Relevant qualifications and accreditations:* Accredited Member of the Association for Consultants in Access Australia (ACAA).
- b) The information contained in this statement is true and accurate to the best of my knowledge.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Signature

6TH March 2025

Date

Documentation

The plans relied upon for this accessibility assessment include the following:

SHEET LIST			
SHEET NUMBER	SHEET NAME	REV	DATE
A01	COVER SHEET	D	02/20/25
A02	LOCALITY MAP	D	02/20/25
A03	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	D	02/20/25
A04	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL DEMOLITION LAYOUT PLAN	D	02/20/25
A05	UNIT 1 & UNIT 2 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	D	02/20/25
A06	UNIT 3 & UNIT 4 GROUND FLOOR LEVEL REINSTATEMENT LAYOUT PLAN	D	02/20/25
A07	WEST AND EAST ELEVATIONS	D	02/20/25
A08	UNIT 2 - SLAB LAYOUT	D	02/20/25
A09	UNIT 1 & UNIT 2 ROOF LAYOUT PLAN	D	02/20/25
A10	UNIT 3 & UNIT 4 ROOF LAYOUT PLAN	D	02/20/25

Sch 2.2(a)(xi)

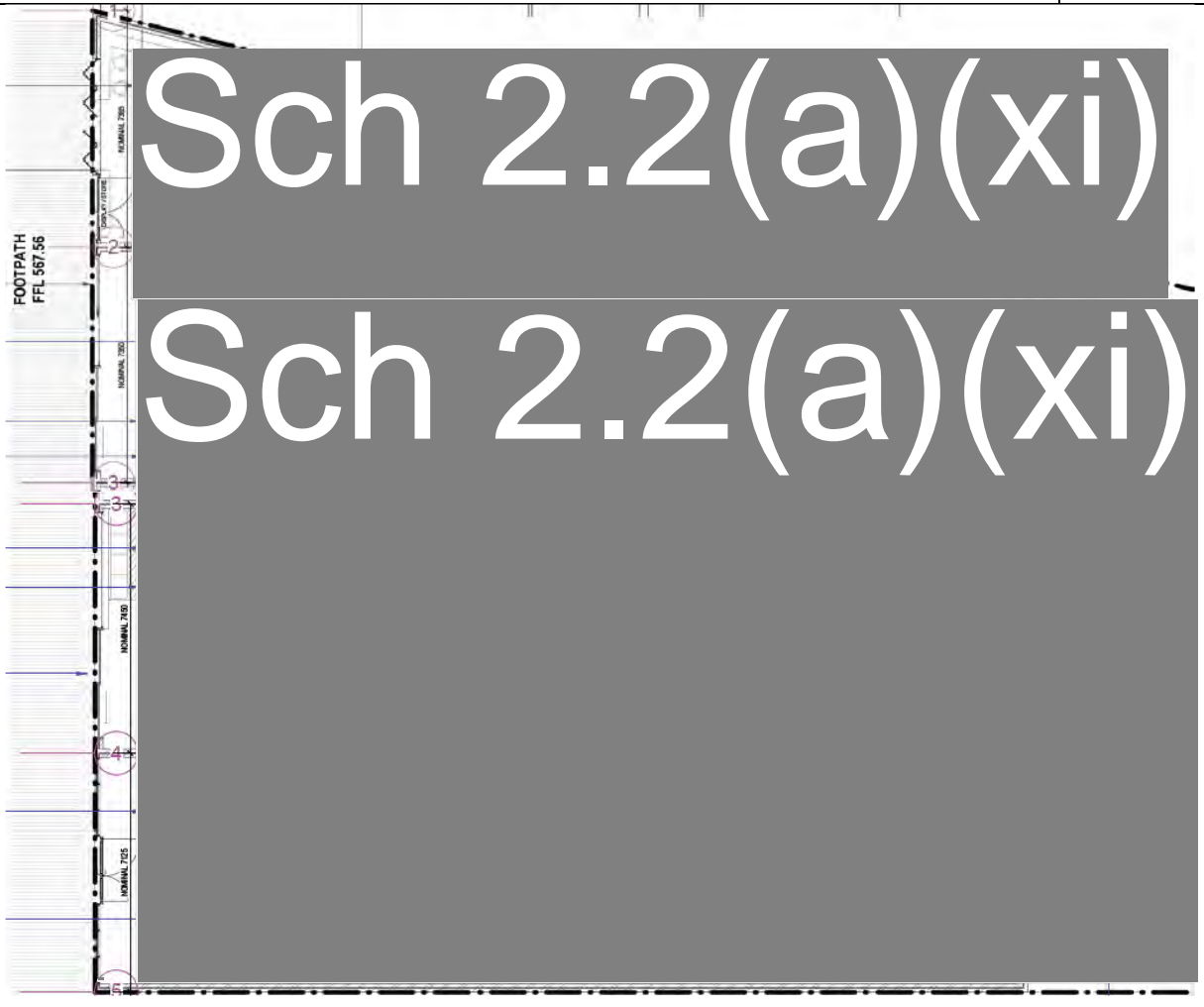
Accessibility Assessment

Sch 2.2(a)(xi)

External Building Entrances (Parts D4D2 & D4D3 of the BCA)

BCA / DDA Access Review

Complies



1. The development provides on-grade pedestrian entrances from Giles Street to and within the public areas of each unit 1 to 4. Details below confirm the accessibility will comply with AS1428.1 to satisfy clauses D4D2 and D4D3 of the BCA.

YES

2. External Entry Doors – The entrance doors to individual tenancies will require 920mm minimum doors to facilitate 850mm minimum clear opening for a single active door leaf with a level threshold that has a 3mm maximum edge between interior and exterior flooring materials to comply with AS1428.1 and satisfy clauses D4D2 and D4D3 of the BCA.

YES

3. The doors shall provide D-lever handles 900-1100mm height above the floor with a force to open the doors not exceeding 20 Newtons force (2kg) or automatic opening to comply with AS1428.1 and satisfy clauses D4D2 and D4D3 of the BCA.

YES

4. Doorway Luminance Contrast - The framed glazed entrance doors shall provide appropriate luminance contrast to the glazed walls to comply with AS1428.1 to satisfy clause D4D3 of the BCA.

YES

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BCA / DDA Access Review

Sch 2.2(a)(xi)

- 5. Glazing Markings - Where glazed entrance doors do not provide a transom then a 75mm minimum height visibility strip is required with 30% luminance contrast to the flooring background to comply with AS1428.1 to satisfy clauses D4D3 and DAD13 of the BCA.

Sch 2.2(a)(xi)

Parts of Buildings to be Accessible - BCA2022 Clause D4D4 (Internal Accessways)

BCA / DDA Access Review	Complies
6. Doorway Luminance Contrast - The internal doors shall provide a colour that facilitates at least 30% luminance contrast to the colour of the adjoining walls to comply with AS1428.1 to satisfy D4D4 of the BCA.	YES

7.

Sch 2.2(a)(xi)

8.

9.

10.

Sch 2.2(a)(xi)

11.

Sch 2.2(a)(xi)



12. Unit 3 Podiatrist premises confirms an auto sliding door opening into a 2000mm width a Sch 2.2(a)(xi) adjoining the reception counter that continues to the waiting area and sliding door to the consulting services section. The sliding door indicates 530mm latch side clearance while the cavity slider will require a 1050mm minimum door leaf with a D-pull handle that has 60mm clearance to the door frame as required by AS1428.1 and clause D4D4 of the BCA.

13. [Redacted] YES

Sch 2.2(a)(xi)

14. Unit 4 Bakery premises confirms an open area with no fitout detail. YES

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Section J REPORT

Sch 2.2(a)(xi)

NCC 2022 Building Code of Australia, Volume 1, 'Dealing with Buildings that do not Satisfy' Compliance - Section J Report

Proposed Reinstatement of Fire Damaged Building

At:

1-4/56 Giles Street
KINGSTON ACT

Prepared for

Sch 2.2(a)(xi)

March, 2025

Prepared by

Sch 2.2(a)(ii), Sch 2.2(a)(xi)

Author:

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

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1 EXECUTIVE SUMMARY

This Report has been prepared by suitably qualified and experienced personnel and shows compliance with the NCC 2022 Building Code of Australia (BCA), Vol. 1, 'Deemed to Satisfy' (DTS) Provisions for Section J.

The Report further describes and refers to parts of the BCA, which leads to the conclusion that the reinstatement of the fire damaged building if constructed with the recommendations contained in this report will meet the DTS Provisions of Section J of the BCA.

The reinstatement of the fire damaged building will involve a new roof and ceiling over the entire building, reinstatement of minor external brick work, new ceilings, new shop front, glazing to Shop 1, 2 and 3, new lighting, air-conditioning and mechanical ventilation.

As such it would be unreasonable to require the entire building to be upgraded so as to be compliant with all part of Section J.

2 PURPOSE OF REPORT

The purpose of this report is to:

- A. Complete a DTS compliance assessment in reference to Section J of the BCA in respect of the reinstatement of fire damaged building.
- B. Advise of any areas of non-compliance of the reinstatement of fire damaged building in respect to the DTS provisions of Section J of the BCA.
- C. Provide a Report covering compliance of the reinstatement of a fire damaged building with the relevant provisions of the BCA in respect to the DTS provisions contained in Section J.

3 PROPERTY

The premises, the subject to this Report is known as 1-4/56 Giles Street, Kingston. ACT.

4 BASIS OF ASSESSMENT

The assessment has been carried out using:

- A. Drawing Nos: 2302474-A01 to A10 Rev. E, dated 13th Mar'2025, drawn by Sch 2.2(a)(xi).
- B. The NCC 2022 Building Code of Australia (BCA), Vol. 1.
- C. Advice from the Applicant.

The referenced plans indicate that the Conditioned space for Unit 1 is the entire area excluding the dry store and kitchen, while the conditioned space for Unit 2 is the is the front shop area and corridor but excluding all the amenities area and storage, while the conditioned space for Shops 3 and 4 are the entire shop areas.

5 ASSESSMENT

5.1 Building Class & Climate Zone

The building has a Class 6 classification as determined by Part A6 of NCC 2022 Building Code of Australia, Vol. 1.

The climate zone designated in the ABCB map referred to in NCC 2022 is Climate Zone 7.

5.2 Definitions Pursuant to Schedule 1 of the NCC 2022 BCA

'*Conditioned Space*' means a space within a building including a ceiling or under floor supply air plenum or return air plenum where the environment is likely by the intended use of the space to have its temperature controlled by air-conditioning.

'*Envelope*' means the parts of a building's fabric that separate a conditioned space or habitable room from

- a) The exterior of the building, or
- b) A Non-conditioned space including:
 - (i) The floor of a rooftop plant room, lift machine room or the like, and
 - (ii) The floor above a carpark or warehouse, and
 - (iii) The common wall with a carpark, warehouse or the like.

5.3 Description of Development

The proposed work involves the reinstatement of a fire damaged commercial building. The work will involve a new metal roof and ceiling over the 4 shops, some minor reinstatement of external cavity brick walls, replacement of shop front glazing to shops 1, 2 and 3, new lighting and new air-conditioning and mechanical ventilation where required.

6 PART J4 – BUILDING FABRIC FOR CONDITIONED AREAS – Only Applies to New Roof & Ceiling

6.1 J4D2 Application of Part

- (1) The Deemed-to-Satisfy Provisions of this Part apply to building elements forming the envelope of a Class 3 and Class 5 to 9 building.
- (2) NSW J4D3 applies to building elements forming the envelope of a sole-occupancy unit in a Class 2 building and a Class 4 part of a building.
- (3) (2) only applies to thermal insulation in a sole-occupancy unit in a Class 2 building and a Class 4 part of a building where a development consent specifies that the insulation is to be provided as part of the development.

6.2 J4D3 Thermal Construction General

This clause contains a broad range of general requirements that apply to the building fabric. An important aspect of J4 is the testing needed to ensure the validity of the insulation products. Information received by the ABCB indicates that some insulation products may not have been tested in accordance with AS/NZS 4859.1 and the stated insulation levels on some manufacturer's literature may not be achievable. In most jurisdictions, the approval of insulation performance ultimately resides with the Building Control Authority, and this discretionary power should be exercised with care.

6.3 Subclause J4D3(1) - Integrity of the Insulation

Where required, insulation must comply with AS/NZS 4859.1 and be installed so that it;

- (a) abuts or overlaps adjoining insulation other than at supporting members such as studs, noggings, joists, furring channels and the like where the insulation must be against the member; and

- (b) forms a continuous barrier with ceilings, walls, bulkheads and other elements and does not inherently contribute to the thermal barrier; and
- (c) does not affect the safe or effective operation of a service or fitting.

6.4 Subclause J4D3(2) - Reflective Insulation

Where required, reflective insulation must be installed with;

- (a) the necessary airspace to achieve the required R-Value between a reflective side of the reflective insulation and a building lining or cladding; and
- (b) the reflective insulation closely fitted against any penetration, door or window opening; and
- (c) the reflective insulation adequately supported by framing members; and
- (d) each adjoining sheet of roll membrane being;
 - (i) overlapped not less than 50 mm; or
 - (ii) taped together.

6.5 Subclause J4D3(3) - Bulk Insulation

Where required, bulk insulation must be installed so that;

- (a) it maintains its position and thickness, other than where it is compressed between cladding and supporting members, water pipes, electrical cabling or the like; and
- (b) in a ceiling, where there is no bulk insulation or reflective insulation in the wall beneath, it overlaps the wall by not less than 50 mm.

6.6 Specification 36 J4D3(4)

Roof, ceiling, wall and floor materials and associated surfaces are deemed to have the thermal properties listed in Specification 36.

6.7 Total R-Value & Total System U-Value J4D3(5)

The required total R-Value and total U-Value, including allowance for thermal bridging must be;

- (a) calculated in accordance with AS/NZS 4859.2 for a roof or floor, or
- (b) determined in accordance with Specification 37 for wall glazing construction, or
- (c) determined in accordance with Specification 39 or Section 3.5 of CIBSE Guide A for soil or sub-floor spaces.

6.8 Roof & Ceiling Construction Part J4D4

6.8.1 Application of Part J4D4

Clause J4D4 specifies that for a roof and ceiling that is part of the envelope, must achieve the Total R-Value specified below for the direction of heat flow.

- (1) A roof or ceiling must achieve a Total R-Value greater than or equal to;
 - (a) in climate zones 1, 2, 3, 4 and 5, R3.7 for a downward direction of heat flow; and
 - (b) in climate zone 6, R3.2 for a downward direction of heat flow; and
 - (c) in climate zone 7, R3.7 for an upward direction of heat flow; and
 - (d) in climate zone 8, R4.8 for an upward direction of heat flow.
- (2) In climate zones 1, 2, 3, 4, 5, 6 and 7, the solar absorptance of the upper surface of a roof must be not more than 0.45.

6.8.2 Assessment of Construction - To Roof & Ceiling

Drawings indicate that a new colorbond roof and ceiling will be installed over the entire building. Insulation to the ceiling cavity space will only be required to the conditioned areas of all 4 shops. The total system R-Value for the roof and ceiling to the conditioned areas is R3.7 for an upward direction of heat flow.


Plans show the roof frame to be timber.

For Climate Zone 7, the solar absorptance of the upper surface of the roof must be not more than 0.45.

6.8.3 Opinion

Compliance with the requirements of J4D4 is obtained by materials complying with relevant standards as noted in Specification 36 as well as methods used during construction and installation.

6.8.4 Roof and Ceiling Construction – To Conditioned Areas

Roof construction description:	Item	Item description	R- Value Unventilated	
			Up	Down
Skillion Metal roof suspended ceiling 	1	Outdoor air film (7m/s)	0.04	0.04
	2	Metal Roof	0.00	0.00
	3	Ceiling Air space non-reflective	0.15	0.22
	4	Plasterboard or similar	0.06	0.06
	5	Indoor air film (still air)	0.11	0.16
	Total R- Value			0.36

6.8.5 Compliance for Roof and Ceiling -To Conditioned Areas

Insulation of minimum R3.34 within the ceiling void of the conditioned areas in each of the 4 shops will allow compliance with Part J4D4.

NOTE 1: No allowance has been given if a 'thermal blanket' is installed beneath the metal roof sheets.

NOTE 2: Ensure the colour of the upper surface of the roof meets the solar absorptance value of not more than 0.45. The only colours that achieve this value are Dover White, Southerly, Surfmist, Classic Cream, Paper Bark, Evening Haze or Shale Gray (Not Matt Finish).

6.9 Roof Lights J4D5

Not applicable to this application.

6.10 Walls & Glazing - Part J4D6 – New Glazing to Shops 1, 2 & 3 Only

6.10.1 General

The construction of walls and glazing that are part of the envelope is a major contributing factor in the overall performance of a building.

As the new cavity brick walls are to non-conditioned areas or common walls between tenancies J4D6 for walls will not apply.

Compliance with J4D6 will only be required for new glazing to Shops 1, 2 and 3.

6.10.2 Application

- (1) The Total System U-Value of wall-glazing construction including wall/glazing construction, which wholly or partly forms the envelope internally, must not be greater than:
 - (a) for a Class 5, 6, 7, 8 or 9b building or a Class 9a building other than a ward area, U2.0; and
 - (b) for a Class 3 or 9c building or a Class 9a ward area;
 - (i) in climate zones 1, 3, 4, 6 or 7, U1.1; or
 - (ii) in climate zones 2 or 5, U2.0; or
 - (iii) in climate zone 8, U0.9.
- (2) The Total System U-Value of display glazing must not be greater than U5.8.
- (3) The Total System U-Value of wall-glazing construction must be calculated in accordance with Specification 37.
- (4) Wall components of a wall-glazing construction must achieve a minimum Total R-Value of;
 - (a) where the wall is less than 80% of the area of the wall-glazing construction, R1.0; or
 - (b) where the wall is 80% or more of the area of the wall-glazing construction, the value specified in NSW Table J4D6a.

6.10.3 Table J4D6a Minimum Wall Total R-Value - Wall Area 80% Or More Of Wall-Glazing Construction Area

Climate zone	Class 5, 6, 7, 8 or 9b building or a Class 9a building other than a ward area	Class 3 or 9c building or Class 9a
1	2.4	3.3
2	1.4	1.4
3	1.4	3.3
4	1.4	2.8
5	1.4	1.4
6	1.4	2.8
7	1.4	2.8
8	1.4	3.8

- (5) The solar admittance of externally facing wall-glazing construction, excluding wall/glazing construction, which is wholly internal, must not be greater than:
 - (a) for a Class 5, 6, 7, 8 or 9b building or a Class 9a building other than a ward area, the values specified in Table J4D6b; and
 - (b) for a Class 3 or 9c building or a Class 9a ward area, the values specified in NSW Table J4D6c.
- (6) The solar admittance of a wall-glazing construction must be calculated in accordance with Specification 37.
- (7) The Total system SHGC of display glazing must not be greater than 0.81 divided by the applicable shading factor specified in Clause S37C7.

6.10.4 Table J4D6b Maximum Wall-Glazing Construction Solar Admittance - Class 5, 6, 7, 8 or 9b Building or Class 9a Building Other Than A Ward Area

Climate zone	Eastern aspect solar admittance	Northern aspect solar admittance	Southern aspect solar admittance	Western aspect solar admittance
1	0.12	0.12	0.12	0.12
2	0.13	0.13	0.13	0.13
3	0.16	0.16	0.16	0.16
4	0.13	0.13	0.13	0.13
5	0.13	0.13	0.13	0.13
6	0.13	0.13	0.13	0.13
7	0.13	0.13	0.13	0.13
8	0.2	0.2	0.42	0.36

6.10.5 Table J4D6c Maximum Wall-Glazing Construction Solar Admittance - Class 3 or 9c Building or Class 9a Ward Area

Climate zone	Eastern aspect solar admittance	Northern aspect solar admittance	Southern aspect solar admittance	Western aspect solar admittance
1	0.07	0.07	0.10	0.07
2	0.10	0.10	0.10	0.10
3	0.07	0.07	0.07	0.07
4	0.07	0.07	0.07	0.07
5	0.10	0.10	0.10	0.10
6	0.07	0.07	0.07	0.07
7	0.07	0.07	0.08	0.07
8	0.08	0.08	0.08	0.08

6.10.6 Assessment for Walls

Not applicable to this application.

6.10.7 Compliance for External Wall

Not applicable to this application.

6.10.8 Compliance for Glazing

All new glazing to shop fronts to tenancies 1, 2 and 3 require a total system U-Value not greater than U5.5 and the total system SHGC Value shall be not greater than SHGC 0.5.

Glazing Reference	System Type	Glass Type	Frame Type	Glass U-Value (W/m².K)	Glass SHGC	Total System U-Value (W/m².K)	Total System SHGC
1	GLAZING	DEFAULTS (GENERIC)	Aluminium			5.50	0.50
2							
3							
4							

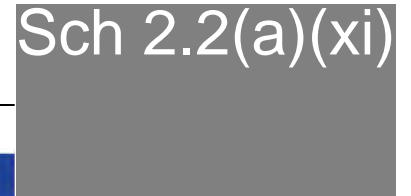
ABC **Façade**
 Wall Systems Calculator

Wall Systems

	Wall Reference	Wall Type	Spandrel Methodology	Wall Construction	Wall Thickness (mm)	Total System R-Value (m ² .K/W)	Solar Absorptance
1	EXTERNAL WALL	Wall		EXTERNAL WALL	270	1.00	0.50
2							
3							
4							
5							
6							

Total System R-value Calculator

	Laver 1	Laver 2 (Air space)	Laver 3	Laver 4	Laver 5	Laver 6	Laver 7
Ventilation	Unventilated						
Material							
Thickness							
Conductivity (W/m.K)							
Framing							
Metal Frame, Web Thickness (mm)							
Metal Frame, Flange Width (mm)							
Framing Area							
Thermal Break Material							
Thermal Break Thickness							
Thermal Break Overlap Area							
Resistance (m ² .K/W)	0	0	0	0	0	0	0
Wall Construction	TestIntWall						
	Internal Surface Resistance (still air, on a wall)						0.12
	System R-Value (m ² .K/W)						0.12
	System U-Value (W/m ² .K)						8.33



Façade
Report

Project Summary

Date
24/03/2025

Name
MAX BRIGHTWELL

Company
BASIXMAX

Position
OWNER

Building Name / Address
58 GILES ST, KINGSTON NSW
0

Building State
ACT

Climate Zone
Climate Zone 7 - Cool
temperate

Building Classification
Class 0 - restaurants, cafes,
bars

Stores Above Ground
1

Tool Version
1.5 (May 2024)

The summary below provides an overview of where compliance has been achieved for Specification S37 - Calculation of U-Value and solar admittance - Method 1 (Single Aspect) and Method 2 (Multiple Aspects).

Compliant Solution =
 Non-Compliant Solution =

	North	East	South	West	Method 2 All
Wall-glazing U-Value (W/m ² .K)		1.00		1.78	1.57
Solar Admittance				0.04	
AC Energy					0

Method 1

Method 2

Project Details

	North	East	South	West
Glazing Area (m ²)		0		37.8
Glazing to Façade Ratio		0%		17%
Glazing References				GLAZING
Glazing System Types				DEFAULTS (GENERIC)
Glass Types				DEFAULTS (GENERIC)
Frame Types				
Average Glazing U-Value (W/m ² .K)				5.50
Average Glazing SHGC	0.00	0.00	0.00	0.50
Shading Systems	Horizontal	Horizontal	Horizontal	Horizontal
Wall Area (m ²)		73		166
Wall Types		Wall		Wall
Methodology	Wall			
Wall Construction		EXTERNAL WALL		
Wall Thickness		270		270
Average Wall R-value (m ² .K/W)		1.00		1.00
Solar Absorptance	0.5	0.5	0.5	0.5



Sch 2.2(a)(xi)

7 BUILDING SEALING PART J5

Sch 2.2(a)(xi)

J5D3	Chimneys & Flues	Not applicable to this appl
J5D4(a)	Roof Lights	Not applicable to this application.
J5D4(b)	Roof Lights	Not applicable to this application.
J5D5(1)	Windows & Doors	(1) A door, openable window or the like must be sealed; (a) when forming part of the envelope; or (b) in climate zones 4, 5, 6, 7 or 8.
J5D5(2)	Windows & Doors	(2) The requirements of (1) above does not apply to; (a) a window complying with AS 2047; or (b) a fire door or smoke door; or (c) a roller shutter door, roller shutter grille or other security door or device installed only for out-of-hours security.
J5D3(3)	Windows & Doors	(3) A seal to restrict air infiltration; (a) for the bottom edge of a door, must be a draft protection device; and (b) for the other edges of a door or the edges of an openable window or other such opening, may be a foam or rubber compression strip, fibrous seal or the like.
J5D5(4)	Entrance Door	(4) An entrance to a building, if leading to a conditioned space must have an airlock, self-closing door, rapid roller door, revolving door or the like, other than; (a) where the conditioned space has a floor area of not more than 50 m ² ; or (b) where a café, restaurant, open front shop or the like has; (i) a 3 m deep un-conditioned zone between the main entrance, including an open front, and the conditioned space; and (ii) at all other entrances to the café, restaurant, open front shop or the like, self-closing doors. The café shall have a 3m deep unconditioned zone between the main entrance and the conditioned space and the door leading to the courtyard shall be self-closing. The entrance door to tenancies 2, 3 and 4 shall be self-closing.

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

1 Sch 2.2(a)(xi)

Sch 2.2(a)(xi)

Sch 2.2(a)(ii)

Sch 2.2(a)(xi)

STRUCTURAL DRAWINGS

REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES

UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604

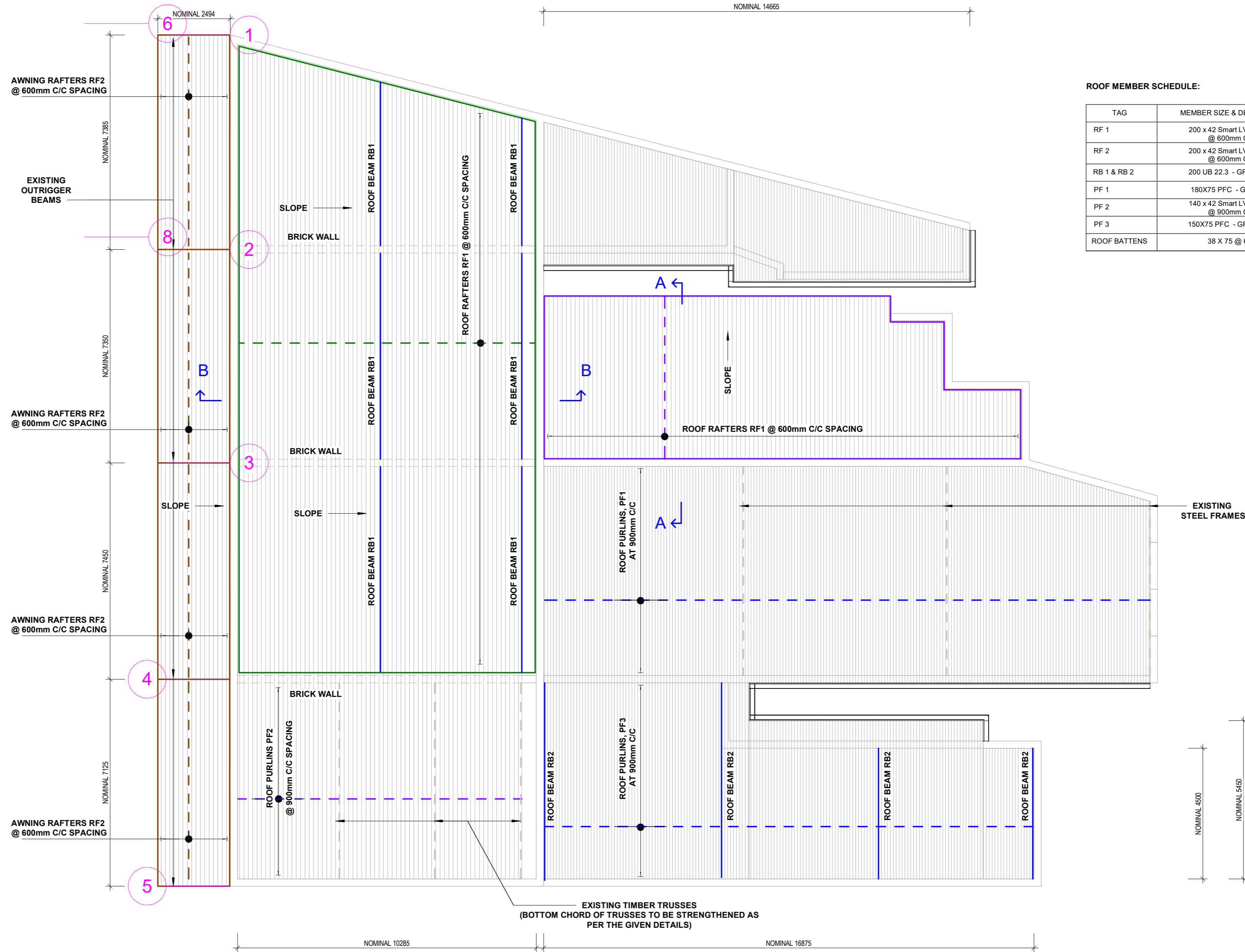
CLIENT:
SEDGWICK AUSTRALIA PTY LTD

SHEET LIST - STRUCTURAL			
SHEET NUMBER	SHEET NAME	REV	DATE
S01	COVER SHEET	C	19/02/2025
S02	CONSTRUCTION NOTES (SHEET 01 OF 02)	C	19/02/2025
S03	CONSTRUCTION NOTES (SHEET 02 OF 02)	C	19/02/2025
S04	GROUND FLOOR PLAN - LINTEL BEAM DETAILS	C	19/02/2025
S05	ROOF PLAN	C	19/02/2025
S06	ROOF DETAILS (SHEET 01 OF 02)	C	19/02/2025
S08	FOUNDATION DETAILS - UNIT 2 REAR SECTION	C	19/02/2025

ISSUED FOR CONSTRUCTION

				Sch 2.2(a)(xi)		CLIENT: Sch 2.2(a)(xi)		PROJECT PART STRUCTURAL DRAWINGS																																											
						PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES		DRAWING TITLE COVER SHEET																																											
				ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604		PROJECT NUMBER SWP 2302474		SCALE																																											
				<small>This drawing and the information contained therein have been created solely for a particular purpose and client. Silver Wolf Projects provides no warrant and accepts no liability arising from the use of this drawing and information shown thereon for any other purpose. This is protected by copyright and must not be used, reproduced or copied in any form without written permission of Silver Wolf Projects.</small>		DRG NUMBER SWP-DWG-2302474-S01		REV C																																											
				<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>DRAWN</th> <th>APPROVED</th> <th>APPROVED</th> <th>DATE</th> </tr> <tr> <td>C</td> <td>ISSUED FOR CONSTRUCTION</td> <td>19/02/2025</td> <td>RK</td> <td>DB</td> <td>DRAWN</td> <td>19/02/2025</td> </tr> <tr> <td>B</td> <td>ISSUED FOR CONSTRUCTION</td> <td>10/02/2025</td> <td>RK</td> <td>DB</td> <td>DESIGNED</td> <td>19/02/2025</td> </tr> <tr> <td>A</td> <td>ISSUED FOR TENDERING PURPOSES</td> <td>08/04/2024</td> <td>RK</td> <td>DB</td> <td>DRG CHECKED</td> <td>19/02/2025</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td>DESIGN CHECKED</td> <td>19/02/2025</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td>APPROVED</td> <td>19/02/2025</td> </tr> </table>		REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE	C	ISSUED FOR CONSTRUCTION	19/02/2025	RK	DB	DRAWN	19/02/2025	B	ISSUED FOR CONSTRUCTION	10/02/2025	RK	DB	DESIGNED	19/02/2025	A	ISSUED FOR TENDERING PURPOSES	08/04/2024	RK	DB	DRG CHECKED	19/02/2025						DESIGN CHECKED	19/02/2025						APPROVED	19/02/2025	HEIGHT DATUM: A.H.D		SIZE A2	
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					APPROVED	19/02/2025																																													

Sch 2.2(a)(xi)



ROOF MEMBER SCHEDULE:

TAG	MEMBER SIZE & DESCRIPTION
RF 1	200 x 42 Smart LVL 15, H2 Treated @ 600mm C/C spacing
RF 2	200 x 42 Smart LVL 15, H2 Treated @ 600mm C/C spacing
RB 1 & RB 2	200 UB 22.3 - GRADE 300 STEEL
PF 1	180X75 PFC - GRADE 300 STEEL
PF 2	140 x 42 Smart LVL 15, H2 Treated @ 900mm C/C spacing
PF 3	150X75 PFC - GRADE 300 STEEL
ROOF BATTENS	38 X 75 @ 600mm C/C

ISSUED FOR CONSTRUCTION

REV	DESCRIPTION	DATE	DRAWN	APPROVED	APPROVED	DATE
C	ISSUED FOR CONSTRUCTION	19/02/2025	RK	DB		19/02/2025
B	ISSUED FOR CONSTRUCTION	10/02/2025	RK	DB		19/02/2025
A	ISSUED FOR TENDERING PURPOSES	08/04/2024	RK	DB		19/02/2025

Sch 2.2(a)(xi)

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CLIENT: Sch 2.2(a)(xi)	PROJECT PART
PROJECT: REINSTATEMENT OF FIRE DAMAGED ATTACHED RETAIL TENANCIES	DRAWING TITLE ROOF PLAN
ADDRESS: UNIT 1 - 4, 56 GILES STREET, KINGSTON, ACT 2604	PROJECT NUMBER SWP 2302474
	DRG NUMBER SWP-DWG-2302474-S05
	HEIGHT DATUM: A.H.D

PROJECT NUMBER	SWP 2302474	SCALE	As indicated
DRG NUMBER	SWP-DWG-2302474-S05	REV	C
HEIGHT DATUM: A.H.D		SIZE	A2

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Sch 2.2(a)(xi)

Sch 2.2(a)(xi)