



FREEDOM OF INFORMATION COVERSHEET

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI reference: 24-051

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Schedule	Published
4. Documents	Published
5. Additional information identified	Not applicable
6. Fees	Waived or Not applicable
7. Processing time (in working days)	39 days
8. Decision made by Ombudsman	Not applicable
9. Additional information identified by Ombudsman	Not applicable
10. Decision made by ACAT	Not applicable
11. Additional information identified by ACAT	Not applicable



Freedom of Information - Access Application to Transport Canberra and City Services - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

Reference code

09 Apr 2024 1:54:03 PM

2FMRHM5K

Transport Canberra and City Services (TCCS)

GPO Box 158
Canberra ACT 2601

Phone: 02 6207 2987

Email: TCCS.FOI@act.gov.au

Applicant details

Title

Given name

Family name

[REDACTED]

[REDACTED]

[REDACTED]

Preferred name

[REDACTED]

Preferred method of contact

Phone

Email

Post

Contact phone number

Contact email address

Contact postal address

Address line 1

[REDACTED]

Address line 2

[REDACTED]

Suburb

State

Postcode

[REDACTED]

Preferred method to receive information *

Email

Post

Same as contact email address

Information request

Who are you making the request on behalf of?

Myself

What type of information are you requesting access to? *

Other information

What information are you requesting access to under the Act? *

- Any dilapidation reports regarding the demolition of block 4 Section 12 or 40 Allara Street Canberra City, including adjacent buildings and structures;
- Any dilapidation reports regarding the construction of the New Meriton Suites at 40 Allara street Canberra City or block 4 section 12 Canberra City including existing and adjacent structures;
- Any engineering reports (including Structural) and certifications regarding the demolition of buildings/structures on block 4 section 112 Canberra City or 40 Allara street Canberra city, including existing adjacent buildings and structures;
- Any engineering reports (including Structural) and certifications regarding the construction of buildings/structures on block 4 section 112 Canberra City or 40 Allara street Canberra city, including existing adjacent buildings and structures;
- Stamped DA and BA drawings for the demolition of block 4 section 12 Canberra city or 40 Allara Street Canberra City;
- Stamped DA and BA drawings for the construction of block 4 section 12 Canberra city or 40 Allara Street Canberra City;

Attach a description or additional details about the information you are requesting access to (optional)

Do you have a similar or identical request currently under review by another ACT Government Directorate?

Yes No

Are you enquiring as

Other

Do you wish to apply for a waiver of fees associated with processing your application?

Yes No

Provide a statement about how the release of information is in the public interest (optional)

The release of this information would appropriately allow the owners of 219 London Circuit alongside their engineers appropriately assess the Meriton's development impact on the structural integrity of the building. Essentially 219 London Circuit (previously attached to the demolished structure on block 4 section 12) has had visual damage to the building. Given 219 London Circuit building is over a public road and footpath, it is imperative an assessment is undertaken to ensure no member of the public is put at risk of catastrophic harm/injury.

Would you like to provide any additional information? (optional)

Attach additional documents to support your application (optional)



Freedom of Information Request - Reference 24-051

I refer to your application for access to government information received by Transport Canberra and City Services (TCCS) on 9 April 2024 seeking the following information under the *Freedom of Information Act 2016* (the Act):

- Any dilapidation reports regarding the demolition of block 4 Section 12 or 40 Allara Street Canberra City, including adjacent buildings and structures.
- Any dilapidation reports regarding the construction of the New Meriton Suites at 40 Allara street Canberra City or block 4 section 12 Canberra City including existing and adjacent structures.
- Any engineering reports (including Structural) and certifications regarding the demolition of buildings/structures on block 4 section 112 Canberra City or 40 Allara street Canberra city, including existing adjacent buildings and structures.
- Any engineering reports (including Structural) and certifications regarding the construction of buildings/structures on block 4 section 112 Canberra City or 40 Allara street Canberra city, including existing adjacent buildings and structures.
- Stamped DA and BA drawings for the demolition of block 4 section 12 Canberra city or 40 Allara Street Canberra City.
- Stamped DA and BA drawings for the construction of block 4 section 12 Canberra city or 40 Allara Street Canberra City.

Timeframes

A decision on your access application was due on 22 May 2024. I thank you for agreeing to an extension until 5 June 2024.

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the FOI Act.

Decision on access

In accordance with the FOI Act, a search of TCCS records has been completed and 14 records have been identified.

Upon reviewing the information within the records, and applying the public interest test under section 17 of the FOI Act, I have decided to provide you with:

- Full access to one record; and
- Partial access to 13 records.

The reasons for my decision are provided below under the heading 'statement of reasons'.

The documents are listed in the schedule at [Attachment A](#), and a copy of the records with deletions applied to the information that I have found to be contrary to the public interest is at [Attachment B](#).

Statement of Reasons

In making my decision on disclosing government information, I must identify all relevant factors in schedule 1 of the FOI Act. I must also identify all relevant factors in schedule 2 of the FOI Act and determine, on balance, where the public interest lies. In reaching my access decision, I have taken the following into account:

Schedule 1

- No relevant factors identified.

Factors favouring disclosure in the public interest (Schedule 2, Section 2.1)

- Schedule 2.1(a)(i) - promote open discussion of public affairs and enhance the government's accountability; and
- Schedule 2.1(a)(viii) - reveal the reason for a government decision and any background or contextual information that informed the decision.

Factors favouring non-disclosure (Schedule 2, Section 2.2)

- Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the *Human Rights Act 2016*.

In reviewing the records, personal information relating to a third party has been identified. I have considered that the third party personal information is not readily available to the public and the disclosure of this information is likely to prejudice the protection of an individual's right to privacy under the *Human Rights Act 2004*. I have allocated significant weight to this factor, and I have found the disclosure of personal information to be, on balance, contrary to the public interest.

I have found that the factors favouring disclosure can be satisfied by the deletion of information which is contrary to the public interest. I have attached a list of the records at [Attachment A](#) and a copy of the records with redactions enclosed at [Attachment B](#).

Charges

I have decided to waive the fees applicable to your application as the number of pages exceeding the fee-free threshold is not excessive.

Online publishing – disclosure log

Under section 28 of the Act, TCCS maintains an online record of access applications called a disclosure log. Your access application and this notice of decision will be published on the disclosure log within 3 – 10 business days. Your personal information will be removed from these documents prior to publication in the [TCCS Disclosure Log](#).

Ombudsman review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek an Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in TCCS' disclosure log or a longer period allowed by the Ombudsman.

If you wish to request a review of my decision, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) review

Under section 84 of the Act, if a decision is made under section 82 on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision.

Further information may be obtained from ACAT at:

ACT Civil and Administrative Tribunal
GPO Box 370
CANBERRA CITY ACT 2601
Telephone: (02) 6207 1740
www.acat.act.gov.au

If you have any queries concerning the directorate's processing of your request, or would like further information, please contact the TCCS FOI team on (02) 6207 2987 or email to tccs.foi@act.gov.au.

Yours sincerely



Lisa Johnson
Information Officer

5 June 2024

ATTACHMENT A - ACCESS APPLICATION SCHEDULE, FREEDOM OF INFORMATION

Reference Number: 24

Please be aware that under the *Freedom of Information Act 2016*, some of the information provided to you will be released to the public through the ACT Government's Open Access Scheme. The Open Access release status column of the table below indicates what documents are intended for release online through open access.

Personal information or business affairs information will not be made available under this policy. If you think the content of your request would contain such information, please inform the contact officer immediately.

Information about what is published on open access is available online at: https://www.cityservices.act.gov.au/about-us/freedom_of_information/disclosure-log

Factors favouring non-disclosure:

Schedule 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the *Human Rights Act 2016*.

Reference number	Page number	Description	Date	Status	Reason for non-release or deferral	Open Access release status
1	1 - 8	20200601 - CR193036-06_EC01-C-[1.0] Design Review Report	1 June 2020	Partial release	Schedule 2.2(a)(ii)	Decision to be published on the TCCS Disclosure Log .
2	9-15	20200721 - Notice of Determination - 202036770-S141A	21 July 2020	Full release		
3	16	20200721 - DA003-A - 202036770-S141A - Site Plan - Demolition	21 July 2020	Partial release	Schedule 2.2(a)(ii)	
4	17	20200721 - DA003-B - 202036770-S141A - Site Plan - Demolition	21 July 2020	Partial release	Schedule 2.2(a)(ii)	

5	18	2200721 - L100 - 202036770-S141A - Landscape Management & Protection Plan	21 July 2020	Partial release	Schedule 2.2(a)(ii)	
6	19	20201029 - CR193036-05_EC01V2 Dilapidation Report with Map	29 October 2020	Partial release	Schedule 2.2(a)(ii)	
7	48	20210601 - CR193036-06_EC01-B01 Design Review Certification	1 June 2021	Partial release	Schedule 2.2(a)(ii)	
8	49	20210601 - CR193036-06_EC01-D Dilapidation Report	1 June 2021	Partial release	Schedule 2.2(a)(ii)	
9	78	20211210 - CR193036-06_EC02-B01 Design Review Stage 2 Certification	10 December 2021	Partial release	Schedule 2.2(a)(ii)	
10	79	20230726 - CR193036-06_EC03 Operational Acceptance Report with Attachments	26 July 2023	Partial release	Schedule 2.2(a)(ii)	
11	208	20230808 - CR193036-06_EC04 Operational Acceptance Report - Stage 2	8 August 2023	Partial release	Schedule 2.2(a)(ii)	
12	228	20230831 - Appendix F.1 - Offsite Civil Inspection Report [rev 2]	31 August 2023	Partial release	Schedule 2.2(a)(ii)	
13	239	20230905 - Appendix D.1 - Civil Operational Acceptance Certification	5 September 2023	Partial release	Schedule 2.2(a)(ii)	
14	240	20230908 - Appendix D.2 - Landscape Works Certification for Operational Acceptance	8 September 2023	Partial release	Schedule 2.2(a)(ii)	

Total number of documents:



TCCS DESIGN REVIEW REPORT

City Section 12 Block 4

Meriton Allara Street Offsite Works

PREPARED FOR

Place Coordination and Planning
Transport Canberra and City Services
496 Northbourne Avenue
Dickson, ACT 2602

Ref: CR193036-06_EC01-C
Rev: 1.0
Date: 01 June 2020



Civil Engineering Report:

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
01.06.21	1.0	Design Review		

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

2-6 Shea Street, Phillip ACT 2606

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. Project Description

1.1 General

The following Design Review Report pertains to the off-site works associated with the redevelopment of Block 4, Section 12 City. Figure 1 shows the locality of Block 4, Section 12 City.



Figure 1 Locality Plan

The works requiring TCCS Design Review include:

- Removal of existing driveway to Block 4.
- Construction of a driveway to Block 4 from Rabaul Lane servicing the basement car park.
- Construction of a driveway to Block 4 from Rabaul Lane servicing the loading dock and waste facilities on the ground floor.
- Construction of a stormwater tie to Block 4 from the new manhole on Allara Street located between the 2 existing kerb inlet sumps.
- New paving including paving, concrete and asphalt in line with the intent of the Canberra Central Design Manual.
- Tree pits and planting to existing trees and associated granite paving works.
- Street furniture.

The proposed works are associated with DA Number 202037001.

Other works associated with the project not requiring TCCS Place Coordination and Planning approval include:

- Construction of a new sewer tie from Allara Street to Block 4 and construction of a new water tie from Nangari Street to Block 4 (subject to Icon Water Approval).
- Relocation of existing authority services through the verge to make allowance for new pavement and servicing of Block 4.

The submission to Icon Water is occurring simultaneously with this submission.

Authorities with services being relocated will be contacted as required in line with their standard service relocation procedures.

1.2 Letter of Authorisation

A letter of authorisation has been provided by Meriton Group which legally authorises Northrop Consulting Engineers to liaise with TCCS in regards to all matters relating to this project. Refer to document CR193036-06_EC01I.

1.3 Certification

Certification for the offsite works has been provided by Northrop Consulting Engineers and Meriton Group.

The design certifications confirm that the design of the offsite works has been carried out in conformity with the design intent of the TCCS Design Standards, the relevant Australian standards, the Notice of Decision and authority guidelines.

Refer to documents CR193036-06_EC01-B01 and CR193036-06_EC01-B02.

1.4 Project Description

1.4.1 Scope of Works

The scope of the offsite works include:

- Removal of existing driveway to Block 4.
- Construction of a driveway to Block 4 from Rabaul Lane servicing the basement car park.
- Construction of a driveway to Block 4 from Rabaul Lane servicing the loading dock and waste facilities on the ground floor.
- Construction of a stormwater tie to Block 4 from the new manhole on Allara Street located between the 2 existing KIS'.
- New paving including paving, concrete and asphalt in line with the intent of the Canberra Central Design Manual.
- Tree pits and planting to existing trees and associated granite paving works.
- Street furniture.

The Proposed works are in line with DA Number 202037001.

These works support the construction of the basement at Block 4 and allow for future provision for the construction of the building.

1.4.2 Site Plan

A site plan has been provided with the documentation (Drawing CR193036-06_C060 Rev1).

1.4.3 Works Title

For the purpose of these offsite works, the works title is “Meriton Allara Street”.

1.4.4 Key Parties to the Project

Developer:	Meriton Group
Developer Project Manager:	[REDACTED]
Builder:	Meriton Group
TCCS Coordinator:	[REDACTED], Northrop Consulting Engineers
Consultants:	
Civil:	Northrop Consulting Engineers
Landscape:	Meriton Group

1.5 Consultation

The Notice of Decision DA Number 202037001 determined that a Design Review (this submission) would be required prior to the works commencing.

1.6 Products

Pavers, seating, bicycle parking and waste bins are proposed and are as per the required pavers outlined in the ACT Planning & Land Authority’s Canberra Central Design Manual.

1.7 Exception Clauses

There are no exception clauses outlined for the civil nor landscaping works.

1.8 Drawings

Table 1: Drawings for Approval

Drawing No.	Drawing Title	Revision
C001	Standard Notes	2
C002	Standard Details	2
C060	General Arrangement Plan	1
C100	Proposed Offsite Works Sheet 1 of 3	3
C101	Proposed Offsite Works Sheet 2 of 3	2
C102	Proposed Offsite Works Sheet 3 of 3	2
C103	Stormwater Tie Long Section	2
C104	Pavement and Stormwater Notes	1
L100	Landscape Management and Protection Plan	C

LPD200	Landscape Public Domain Plan – DA4	C
LPD900	Landscape Public Domain Details	A

Table 2: Drawings for Information

Drawing No.	Drawing Title	Revision
C000	Cover Sheet	2

A drawing list has been provided in excel format. Refer to CR193036-06_EC01J

1.9 Dilapidation Report

Northrop Consulting Engineers have completed a dilapidation report prior to the submission of the Design Acceptance Submission. This report can be found in document CR193036-06_EC01-D.

1.10 Temporary Works

There are no temporary works proposed as part of these works.

1.11 Completion of Design Relevant Checklists

The Design Acceptance Submission Coversheet and Checklist has been completed and can be found in document CR193036-06_EC01-F.

1.12 Waste Management Plans

Waste Management Plans have been provided with this Design Review Submission.

The Development Application this Design Review submission is for refers to the Basement Construction. The Basement Construction generates minimal waste in line with Waste Management Report CR193036-EC03.

As part of this Design Review submission, we have also submitted the Waste Management Plan for the building construction – refer to Waste Management Plan CR193036-01-EC02. This Waste Management Plan outlines the operation of the building in regards to waste management practices.

1.13 Supplementary Submissions

This is not a supplementary submission and hence, this is not applicable.

1.14 Asset Specific Requirements

Refer to CR193036-06_EC01-F for the asset specific requirement checklist and the design drawings included as part of this submission.

1.15 Landscape Works

Landscape plans have been provided as part of the Design Review submission.

LPD100 outlines the landscape management and protection measures to be undertaken through the works.

LPD200 outlines the proposed planting works and street furniture to be installed by the developer.

LPD900 outlines the proposed planting details.

1.16 Risk Analysis

As the design of the offsite works for Meriton Allara Street generally are in line with the intent of the TCCS MIS and TCCS have not specifically requested a risk analysis, no risk analysis has been included with this submission.

1.17 Correspondence

There has been no correspondence with TCCS in regards to this Design Review submission other than the development application.



NOTICE OF DECISION

Made under part 7 of the *Planning and Development Act 2007*

I, Fawzia Majid, delegate of the planning and land authority, pursuant to section 162 of the *Planning and Development Act 2007*, **approve subject to conditions**, the proposal for **demolition of the existing 6 storey building and pedestrian sky bridge linking Block 4 Section 12 to Block 12 Section 11 over Nangari Street and associated site works**, in accordance with the plans, drawings and other documentation approved and endorsed as forming part of this approval.

DA Number: 202036770/S141A
Block: 4
Section: 12
Suburb: City
Application lodged: 18 March 2020/ 28 May 2020
Assessment track: Merit

This decision contains the following information:

- Part A – conditions of approval
- Part B– reasons for the Decision
- Part C – public notification & entity advice
- Attachment 1 – administrative information

A copy of the development application and this approval may be inspected at the planning and land authority's office from 8.30 am to 4.30 pm, Monday to Friday at 16 Challis Street, Dickson, ACT 2602

CONTACT / ENQUIRIES

Phone: (02) 6207 6383

Online Form:

https://www.accesscanberra.act.gov.au/app/forms/epd_feedback

Fawzia Majid
Delegate of the planning
and land authority
21 July 2020

NOTICE OF DECISION

DA 202036770

PART A – CONDITIONS OF APPROVAL

This application is approved subject to the following conditions being satisfied. Some conditions of the approval require attention before work commences or before approved drawings will be released.

1. COMMENCEMENT AND COMPLETION OF DEVELOPMENT

- a) This development must be started (commenced) within **three years** from the date when this approval take effect.
- b) This development must be finished (completed) within **three years** from the date when it started, or within such further time as approved in writing by the planning and land authority.

Note: The planning and land authority may only extend the time to finish the development if an application, to extend the time to finish the development, is made prior to when the development has to be finished – refer to section 184(3) of the Planning and Development Act 2007.

2. LAND CUSTODIAN AGREEMENT

Prior to the commencement of demolition works, the applicant/lessee shall obtain agreement from TCCS Roads and the lessees of Block 12 Section 11 to remove the pedestrian air bridge. The applicant / lessee shall comply with all conditions required by TCCS Roads.

3. PEDESTRIAN AIR BRIDGE

The lessee must take full responsibility to make good the portion of the building on Block 12 Section 11 City that is affected after the demolition of the bridge;

4. TRANSPORT CANBERRA AND CITY SERVICES (TCCS)

The development shall comply with the Standard TCCS conditions (attached to this Notice of Decision). Please refer to TCCS for further information.

5. COMPLIANCE WITH ENTITY REQUIREMENTS

The development must comply with all of the conditions imposed by each of the relevant entities as stated in each of their advice.

6. CITY RENEWAL AUTHORITY(CRA)

The development shall comply with the following conditions to the satisfaction of the CRA:

- (a) During the proposed demolition works the surrounding verge must be protected and made as safe as possible for pedestrian movements – Removing trip hazards created by truck movements etc and the continual protection of all verge trees from any damage.

NOTICE OF DECISION

DA 202036770

7. ENVIRONMENT PROTECTION AUTHORITY (EPA)

The development shall comply with the following conditions to the satisfaction of the EPA:

(a) CONTAMINATION ADVICE:

- (i) Environment Protection Authority (EPA) records indicate that underground fuel storage tanks are located or were located at the site.
- (ii) The ACT EPA Contaminated Sites Environment Protection Policy 2017 list fuel storage as past activities associated with land contamination which may pose a risk to human health and the environment.
- (iii) Other potentially contaminating activities may have also been undertaken at the site associated with past and current uses.

(b) CONDITIONS:

- (i) The underground fuel storage tank and related infrastructure must be decommissioned in accordance with the *Dangerous Substances Act 2004* and the *Dangerous Substances (General) Regulation 2004*.
- (ii) The whole site and any off-site impacted areas (including groundwater, if necessary) must be assessed and remediated (if required) by a suitably qualified environmental consultant in accordance with the ACT Environment Protection Authority (EPA) Contaminated Sites Environment Protection Policy 2017, and associated guidelines.
- (iii) A copy of the environmental site assessment report into the suitability of the site for its proposed and permitted uses must be provided to the EPA for review and endorsement within 15 working days of completion of the report.
- (iv) Any contaminated soil landfarmed on site must be approved by EPA prior to landfarming commencing.
- (v) Any soil disposed of from the site must be assessed in accordance with the requirements of EPA Information Sheet No.4 available at www.environment.act.gov.au.
- (vi) No soil is to be removed from site without EPA approval.
- (vii) A hazardous materials survey prepared by a suitably qualified consultant in accordance with section 8.1 of the Authority's Hazardous Materials Environment Protection Policy November 2010 must be submitted to and be endorsed by the Environmental Quality Unit prior to works commencing.
- (viii) Appropriately ACT licensed contractors must be engaged for the removal, transport and disposal of all hazardous materials found on the site.
- (ix) All hazardous materials found on the site must be disposed of at a facility suitably authorised/licensed to accept the waste.

NOTICE OF DECISION

DA 202036770

- (x) All works must be carried out in accordance with “*Environment Protection Guidelines for Construction and Land Development in the ACT, March 2011*”, available at www.environment.act.gov.au or by calling 132281.

8. WASTE MANAGEMENT

All building waste is to be stored on the site in suitable receptacles and collected regularly. The lessee is to take all reasonable steps to ensure that waste, particularly wind borne litter, does not affect adjoining or adjacent properties.

ADVISORY NOTES

PEDESTRIAN AIR BRIDGE

That the lessee of Block 4 Section 12 City provides a copy of this decision to the lessee of block 12 section 11 City. The Crown lease over Block 12 Section 11 City contains provisions relating to the support of the pedestrian air bridge. As this bridge is to be removed the lessee should consider the possibility of varying the Crown lease to remove these requirements.

EPA

For further information please contact Robin Brown, the Environment Protection Authority Planning Liaison, at EPAPlanningLiaison@act.gov.au or on 02 6207 5642.

SIGNAGE

All signage installed at the site, including advertising signage and hoarding, should comply with the Australian Association of National Advertisers (AANA) Code of Ethics and the ACT Government’s Hoarding Signage Advertising Guidelines available online at:

<https://www.planning.act.gov.au/build-buy-renovate/for-industry/industry-resources/hoarding-signage-guidelines>

NOTICE OF DECISION

DA 202036770

PART B – REASONS FOR THE DECISION

The application was approved because it was found to meet the relevant rules and criteria of the Territory Plan and section 120 of the *Planning and Development Act 2007*.

The subject development application is for demolition of an existing 6 storey building and pedestrian air bridge. Any future development proposal for this site is subject to lodgement of a separate development application and will be assessed against the relevant parts of the Territory Plan and the *Planning and Development Act 2007*.

EVIDENCE

The following evidence formed part of the assessment of this application:

Development Application:	202036770/S141A
Territory Plan Zones:	CZ1 Core Zone
Development Codes:	Commercial Zones Development Code
Precinct Code:	City Precinct Code
Crown Lease:	Volume 1576 and Folio 5
Legislative requirements:	Sections 119 and 120 of the <i>Planning and Development Act 2007</i>
Entity advice:	addressed in Part C of this Decision

PART C – PUBLIC NOTIFICATION AND ENTITY ADVICE

PUBLIC NOTIFICATION

Pursuant to Division 7.3.4 of the Act, the application was publicly notified from 26 March 2020 to 17 April 2020. Five written representations were received during public notification period and one representation was received after the notification period ended.

The issues raised in the representations were considered in the assessment and making of the decision for this development application.

ENTITY ADVICE

Pursuant to Division 7.3.3 of the *Planning and Development Act*, the application was referred to the below entities. Where an entity requested conditions to be imposed on this development, those conditions have been incorporated into Part A of this Decision. A summary of entity comments can be found below.

TRANSPORT CANBERRA AND CITY SERVICES (TCCS)

TCCS advised that the proposal was not initially supported. The applicant provided additional information under section 141 of the *Planning and Development Act 2007* which was referred to TCCS. TCCS provided advice stating that the S141 proposal is supported. Refer to Part A for conditions in regards to complying with entity advice. A copy of the TCCS standard condition is attached to this Notice of Decision.

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EVOENERGY (ELECTRICITY)

Evoenergy (Electricity) provided advice stating that the proposal is supported. Refer to Part A for conditions in regards to complying with entity advice. A copy of the Evoenergy advice is attached to this Notice of Decision.

JEMENA (GAS)

Jemena (Gas) provided advice stating that the proposal is supported. Refer to Part A for conditions in regards to complying with entity advice. A copy of the Jemena advice is attached to this Notice of Decision.

ICON WATER

Icon Water advised that the proposal was not initially supported. The applicant provided additional information under section 141 of the *Planning and Development Act 2007* which was referred to Icon Water. Icon Water provided advice stating that the S141 proposal is supported. Refer to Part A for conditions in regards to complying with entity advice. A copy of the Icon Water advice is attached to this Notice of Decision.

NATIONAL CAPITAL AUTHORITY (NCA)

NCA provided advice stating that the proposal is supported. The advice is noted.

CITY RENEWAL AUTHORITY(CRA)

The CRA provided advice stating that the proposal is supported subject to conditions. Recommended conditions and recommended advice have been imposed in this Notice of Decision - refer to Part A.

EPA

The EPA provided advice stating that the proposal is supported subject to conditions. Recommended conditions and recommended advice have been imposed in this Notice of Decision - refer to Part A.

ESA

The ACT Emergency Services Agency (ESA) advised the proposed development is supported with advice. A copy of the ESA advice is attached to this Notice of Decision.

NOTICE OF DECISION

DA 202036770

Translation and interpretation services

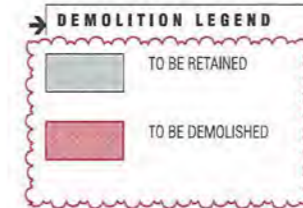
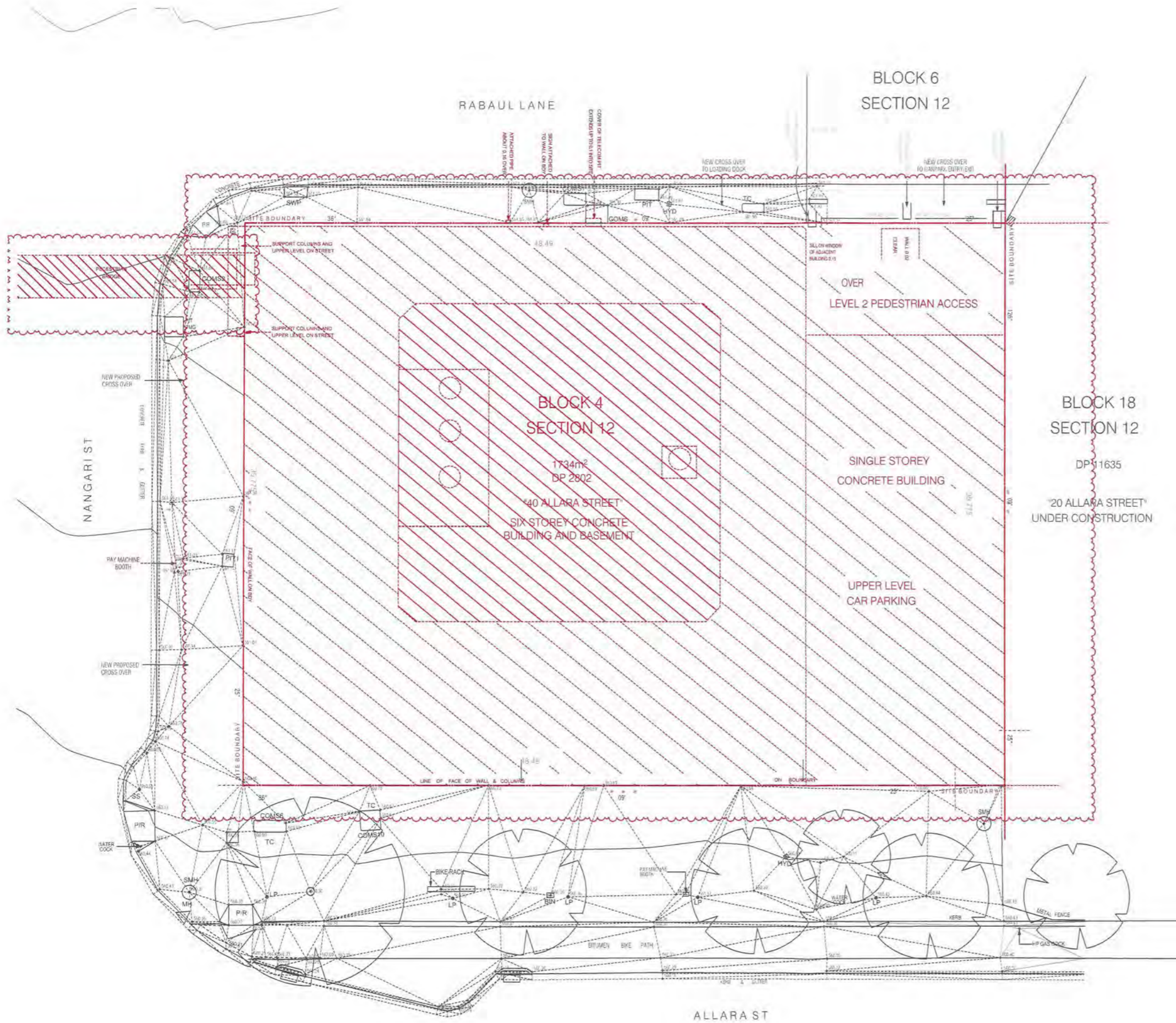
The ACT Government's translation and interpreter service runs 24 hours a day, every day of the week by calling 131 450.

ENGLISH	If you need interpreting help, telephone:
ARABIC	: إذا احتجت لمساعدة في الترجمة الشفوية ، إتصل برقم الهاتف :
CHINESE	如果你需要传译员的帮助，请打电话：
CROATIAN	Ako trebate pomoć tumača telefonirajte:
GREEK	Αν χρειάζεστε διερμηνέα τηλεφωνήσετε στο
ITALIAN	Se avete bisogno di un interprete, telefonate al numero:
MALTESE	Jekk għandek bżonn l-għajnuna t'interpretu, ċempel:
PERSIAN	: اگر به ترجمه شفاهی احتیاج دارید به این شماره تلفن کنید:
PORTUGUESE	Se você precisar da ajuda de um intérprete, telefone:
SERBIAN	Ако вам је потребна помоћ преводиоца телефонирајте:
SPANISH	Si necesita la asistencia de un intérprete, llame al:
TURKISH	Tercümana ihtiyacınız varsa lütfen telefon ediniz:
VIETNAMESE	Nếu bạn cần một người thông-ngôn hãy gọi điện-thoại:

TRANSLATING AND INTERPRETING SERVICE

131 450

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REVISION			
-	DEMOLITION DEVELOPMENT APPLICATION	BB	18.12.2019
01	PRE - DEVELOPMENT APPLICATION (DRAFT)	BB	20.12.2019
02	UPDATED PRE - DEVELOPMENT APPLICATION	BB	14.02.2020
03	UPDATED PRE - DEVELOPMENT APPLICATION	PM	18.02.2020

PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 162

Delegate name **Fawzia Majid**
 Date **21/7/2020**

NOT FOR CONSTRUCTION

FENDER KATSALIDIS
 WWW.FKAUSTRALIA.COM
 L21, 258 GEORGE STREET, SYDNEY
 NEW SOUTH WALES 2000 AUSTRALIA
 TELEPHONE: +61 2 9216 3500
 FENDER KATSALIDIS (AUSTRALIA) PTY LTD
 ACN 092 943 032



QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)
 THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- FENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

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 IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS. DO NOT SCALE DRAWINGS. USE FIGURED
 DIMENSIONS ONLY. SEEK CLARIFICATION OF INCONSISTENCIES / CONFLICTS.

DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.
	18.02.2020		18.02.2020	19125

PROJECT
 MERITON SUITES CANBERRA
 40 ALLARA ST
 CANBERRA ACT 2061

DRAWING TITLE
 SITE PLAN - DEMOLITION



ISSUE PURPOSE
 PRELIMINARY

SCALE
 1:250@A3

REV.
 03

DRAWING NO.
DA003

BIM Server: F:\02\2020\1 - BIM Server\21\19125 - 40 Allara St - Canberra\19125 - General

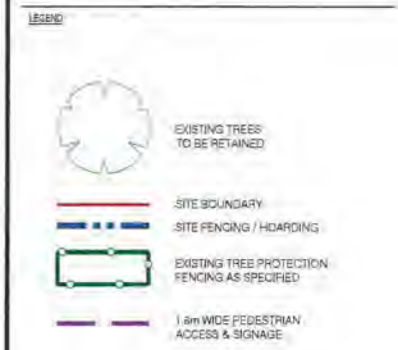
PLANNING AND DEVELOPMENT ACT 2007
APPROVAL GRANTED
 SUBJECT TO THE CONDITIONS SET OUT IN THE
 NOTICE OF DECISION
 PURSUANT TO SECTION 152
 Design name: **Fawzia Majid**
 Date: 21/7/2020

GENERAL NOTES

- 1 Site Establishment**
 - An initial 'A' Class hoarding will be installed along Allara St, Nangari St and Rabaul Lane and remain in place after demolition to maintain pedestrian safety, suppress dust and noise transmission. Aesthetic branding may be introduced as a means to mitigate unsightly graffiti, defacement and as a deterrent to unauthorised poster advertisement.
 - All works shall be contained within the authorised site except for approved service connections in the verge or other approved exceptions during the progress of the works.
 - All existing verge grass cover shall be maintained in its pre-existing condition. Protective measures shall include regular watering to maintain grass and trees in good condition.
- 2 Site Accommodation**
 - All site sheds and amenities will be provided by a reputable hire company and will be cleaned on a regular regime with all rubbish disposed of in a controlled and regular manner to control pests and vermin.
 - Site sheds are to be located above the 'B' Class gantry hoarding mostly along the southern boundary. Prior to loading and utilisation of the gantry an engineer is to provide signed off noting the structurally adequate and fit for purpose nature.
 - Site offices and amenities housed above the class 'B' gantry will remain until the basement car park structure is completed to a stage where sheds and amenities could possibly be relocated and accommodated internally.
- 3 Material Handling & Storage**
 - The use of on-site forklift and telehandlers to unload trucks will enable the expedient transfer of smaller supplies that are delivered to the basement and others parts of the site.
 - The location of material storage areas within the site will vary to suit the construction requirements. Upon the completion of the basement, areas on the ground podium level will be dedicated for the purpose of unloading all major loads within the site.
- 4 Stormwater & Sediment Control**
 - It is proposed that stormwater from the site will be prevented from entering the neighbouring residential properties during each construction phase.
 - This may include the need for temporary sediment ponding and filtration bins to capture suspended soils prior to discharge. Cattle grids and wheel wash areas will be installed at the egress point of trucks leaving the site.
- 5 Pedestrian Management**
 - Pedestrian access will be managed throughout all construction stages with the utmost importance to safety. A suitable construction hoarding and lockable gates will be installed along all site frontages to ensure pedestrian safety at all times. Additionally, the hoardings with relevant directional signage will prevent unlawful or mistaken entry into site. All existing footpaths fronting the site will be kept clear and clean from any construction debris and trip hazards at all times.
 - Footpath detours and/or closure permits may be requested from Council from time to time so as to enable construction staging activity such as service utility adjustments/ relocation works and any future footpath reserve restoration and/or future road widening activity.
 - Traffic controllers and signage will be employed to manage construction activities and deliveries accordingly. Additional traffic plans may be required for submission at a later date to account for the dynamic nature of the project.
 - One-off road closure permits may be required for mobile cranes to temporarily stand on the streets for installation & dismantling of on-site tower crane and the like - permit to be obtained from Council.
- 6 Existing Tree Protection**
 - All temporary protective fences erected to protect existing assets shall be in accordance with the approved Landscape Management Plan. Fencing shall be erected before the commencement of any site works and removed at the completion of all site construction activity.
 - All tree works in and around this site shall be under the direct supervision of the Project Arborist who holds ACF Level 5 (or above) in Horticulture (Arboriculture). Certification of compliance with this requirement shall be provided to the Private Certifier or consent authority, including photographic evidence.
 - Trunk protection: Use of temporary 1800mm tall continuous mesh fence supported by steel posts with concrete bases, or prefabricated fencing panels with concrete bases, is mandatory. As a minimum, extent of fencing to be located along tree drip-line. Fencing to only enter tree drip-line where pedestrian access is to be retained. Refer Tree Management Plan for locations.
 - If there is no constructed public footpath on the verge a fenced clearway of 1.8m in width shall be maintained to allow for cyclists and pedestrians. Clear signage directing pedestrians required. Refer Tree Management Plan for proposed pedestrian access.
 - Existing boundary fences or walls are to be retained shall constitute part of the tree protection fence where appropriate.
 - A sign is to be erected on the tree protection of the trees to be retained that the trees are covered by Council's tree preservation orders.
 - Tree Management Plan is prepared as part of the Construction Certificate by a consulting arborist who holds the Diploma in Horticulture (Arboriculture), Level 5 or above under the Australian Qualification Framework.

DO NOT SCALE
 USE FIGURED DIMENSIONS AT ALL TIMES. IF IN DOUBT CHECK WITH MERITON APARTMENTS PTY. LTD. CONTRACTORS TO CHECK AND VERIFY ALL LEVELS, DATUMS AND DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO MERITON APARTMENTS PTY. LTD. PRIOR TO COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE.

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1:200 @ A1 1:400 @ A3
 1 2 3 4 5 6 7 8 9 10 11 12

REV	DESCRIPTION	DWN	CHK	DATE
5	FOR APPROVAL	CG	CG	20.06.20
4	FOR APPROVAL	CG	CG	21.01.20

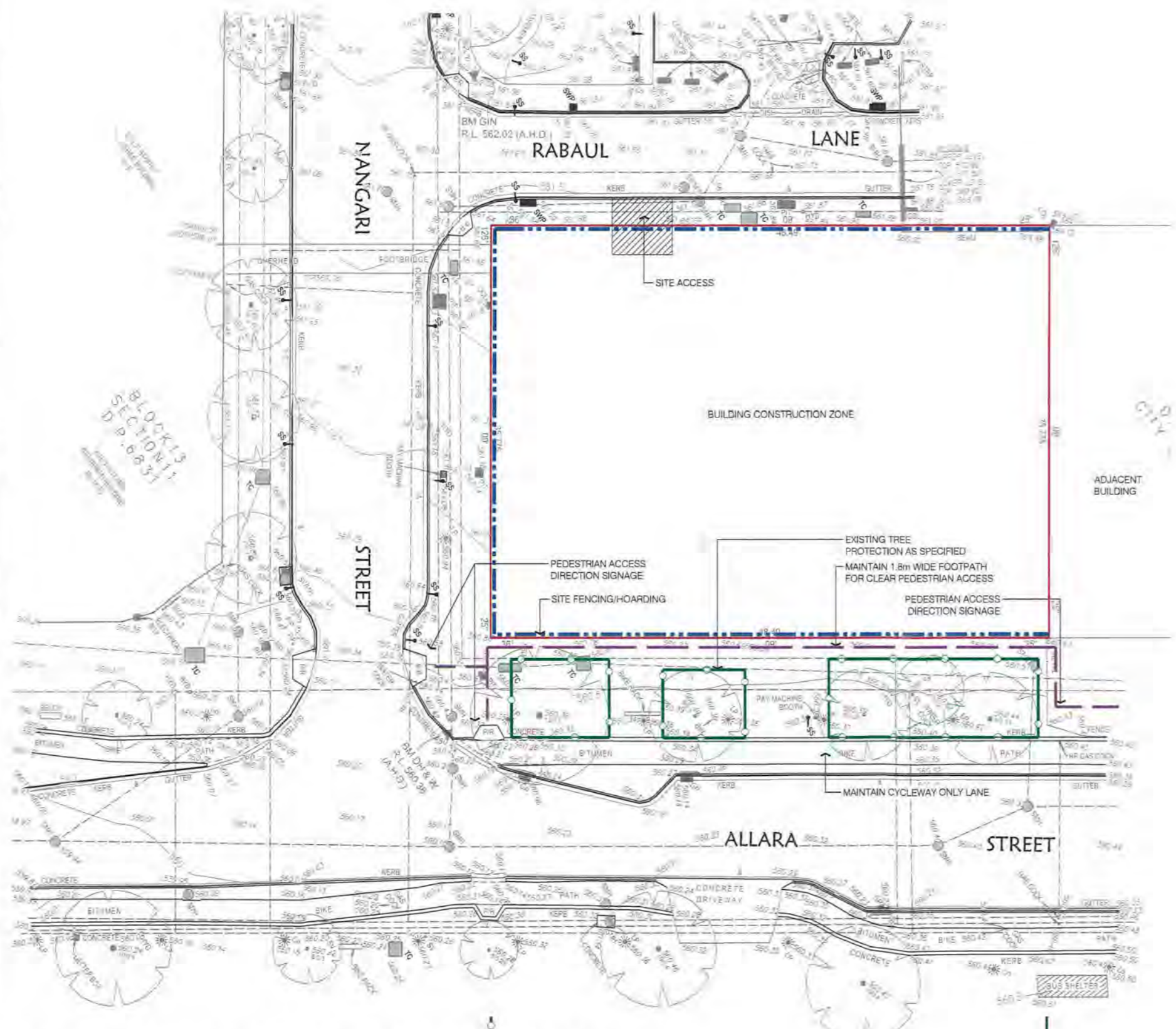
MERITON
 Builders & Developers
 Level 11, 528 Kent Street, Sydney NSW 2000
 Tel: (02) 9287 2888 Fax: (02) 9287 2777
 Email: enquiries@meriton.com.au
 Website: <http://www.meriton.com.au>

PROJECT
 40 ALLARA St,
 CANBERRA

DRAWING TITLE
 LANDSCAPE MANAGEMENT
 & PROTECTION PLAN

DATE	SCALE	DRAWING No.	REV.
	AS SHOWN	L100	A

APPROVED AND SIGNED ON BEHALF OF MERITON APARTMENTS PTY LTD



LANDSCAPE MANAGEMENT & PROTECTION PLAN



DILAPIDATION REPORT

Meriton 40 Allara Street Canberra

Preconstruction Asset Defect Inspection Works

PREPARED FOR
Senior Operations Project Manager
Meriton Group
Level 11, Meriton Tower
528 Kent Street
Sydney NSW 2000

Ref: CR193036-05_EC01
Rev: 2.0
Date: 29 October 2020



Civil Engineering Report:

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
26/10/2020	1.0	Preliminary Report		
29/10/2020	2.0	For Issue		

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

Level 6, 224 Bunda Street, City ACT 2600

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. Condition Inspection

Northrop Consulting Engineers have been engaged by Meriton Group to undertake an Asset Defect Inspection and complete a Preconstruction Asset Defect Inspection Report.

The asset defect inspection was to cover a section of:

- Rabaul Lane;
- Nangari Street; and
- Allara Street.

The bounds of the asset defect inspection are as per Figure 1.



Figure 1 Bounds of Asset Defect Inspection

Defects identified have been outlined below noting some defects were common amongst areas.

The asset defect inspection occurred 20 October, 2020. During the inspection, it was noted there was construction works occurring at Block 13, Section 11 City and Block 18, Section 12 City. These works had construction activities occurring within the verge adjacent the block and within close proximity to the block and hence, defects in these areas and up to 1m off the works fence are not covered in this report.

A selection of photos has been included in the report. Northrop Consulting Engineers have more photos available of the area. All photos are available in full size. Video footage of the area is also available at request.

Limitations to this report include:



- Internals to service pits, manholes and sumps have not been reviewed. Only conditions of the surface of pits, manholes and sumps have been reviewed;
- Surface areas available for view. As the area is open to traffic and parked cars, defects in these areas have not been captured;
- Defects beyond the inspection date and time (20 October, 2020 – 11:50am) have not been recorded;
- Defects are located as an approximate location on the defect locality plan only; and
- Defects have been noted in this report as identified by Northrop at the time of inspection. Photography and video footage have been supplied with this report.

2. Photos

2.1 Block 6, Section 12 City

Table 1 contains photos of defects from the structure at Block 6, Section 12 City.

Table 1 Block 6, Section 12 Structure

Location	Description	Photo
1	Chipped tile, tiles not flush with ground	
2	Discolouration of beam	

3 Discolouration of beam



4 Spalling of concrete at base and on edge of column



5 Cracking of concrete at base of column



2.2 Rabaul Lane

Table 2 contains photos of defects from Rabaul Lane (within the scope of the works) including the road and verge either side of the road.

Table 2 Rabaul Lane

Location	Description	Photo
6	<p>Crack in concrete pavement, cracking and damage to pavers and concrete surrounding the surround, cracked lids, spalling of lids, spalling of kerb either side of sump, cracking and spalling of kerb and gutter</p> <p>It is evident that cracking and spalling of the kerb and gutter is consistent along the extents of Rabaul Lane. Further photos will not be provided of this defect however they will be accessible if required</p>	
7	<p>Asphalt works inbetween surround and pavers</p>	
8	<p>Pot hole in asphalt, cracks in OCI, cracking of asphalt, finish between concrete and asphalt interfaces not flush in the horizontal plane</p>	

- 9 Pot hole on road (different to that identified in Location 8)



- 10 Cracking and spalling of concrete pavement (noted along extents of this section of footpath along Rabaul Lane)



- 11 Discolouration of kerb (noted along extents of Rabaul Lane in selected areas)



- 12 Sump surround cracked (it is noted the photo showing the front of the sump shows the sump in poor condition)



- 13 Subsidence of pavers, cracked pavers, infill in lieu of pavers



- 14 Line marking cracked (representative of line marking for whole extents of Rabaul Lane including stop line and TB1 line marking at entry from Nangari Street), RRPM's not conforming to Icon Water standard drawings



15 RRPMS removed from road (extents of road has had RRPMS removed)



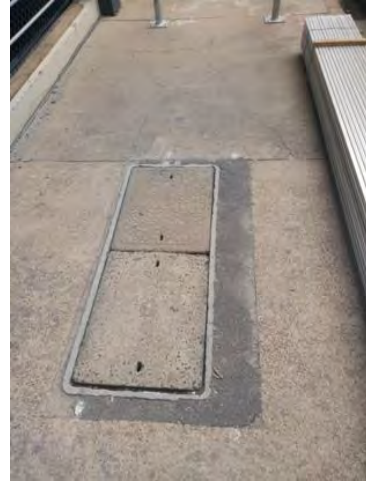
16 Saw cuts in road



17 Cracking and spalling of concrete



- 18 Cracked concrete footpath with spalling evident (noted to be along the length of Rabaul Lane's South Eastern verge), saw cuts beyond asphalt fill of surround, minor damage to pit lids on edges/corners



- 19 Possible existing concrete patching, FH marker on building rather than kerb, asphalt fill in place to address change in height between panels



- 20 Rusted Lids and surround, cracked lid



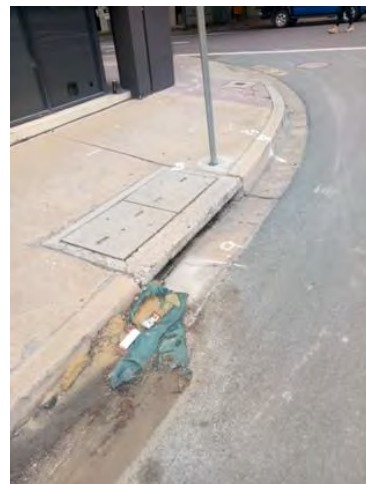
21 Kerb and gutter built around manhole, manhole side exposed



22 Patched concrete kerb



23 Cracks in sump lid and surround, cracking at throat of sump, damage to interface of sump surround and concrete footpath



24 Subsidence of pavers, damage to SV surround






2.3 Overhead Pedestrian Bridge between Block 4, Section 12 City and Block 12, Section 11 City

No defects were visibly identified from road level in relation to the overhead pedestrian bridge between Block 4, Section 12 City and Block 12, Section 11 City.

2.4 Nangari Street

Table 3 contains photos of defects from Nangari Street (within the scope of the works) including the road and verge either side of the road.

Table 3 Nangari Street

Location	Description	Photo
25	Cracked and spalling kerb and gutter with extensive damage in location shown (condition of kerb and gutter is consistent across Nangari Street with multiple locations showing cracking and spalling and damage, this photo is representative of those conditions), damage to edge of concrete lid	
26	Pavers not providing flush interfacing around tree, paver colour varies in location	
27	Cracking of asphalt noted to be along extents of road both in the direction of and perpendicular to the general path of by vehicles travel as well as around manhole lid	

- 28 Tyre markings on pram ramp, neat saw cut adjacent to kerb and gutter, worn "look" line marking, worn green bicycle line marking and TB1 line marking (consistent for extent of bicycle crossing)



- 29 Cracked and spalling pavers – it is noted this was consistent across all surfaces within the area of interest where this style of paver is used



- 30 Rusted manhole lid and surround



- 31 Cracking and deterioration of bicycle line marking which is consistent at any joints/cracking/other key features of line marking, general deterioration of TB1 line marking across Nangari Street



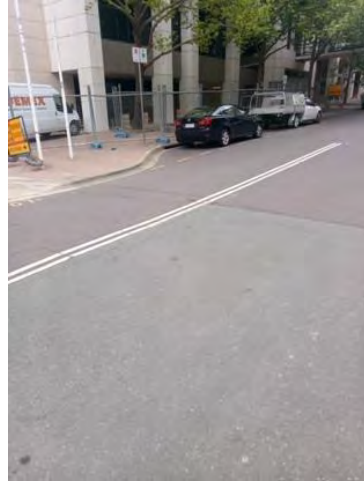
- 32 Saw cut and patched section of asphalt, asphalt relayed at kerb



- 33 Crocodile cracking present



34 Cracking at asphalt surfaces interface



35 RRPM missing



36 Icon water fire hydrant RRMPs missing



37 Lids damaged on edges and at lifting locations, subsidence of pavers



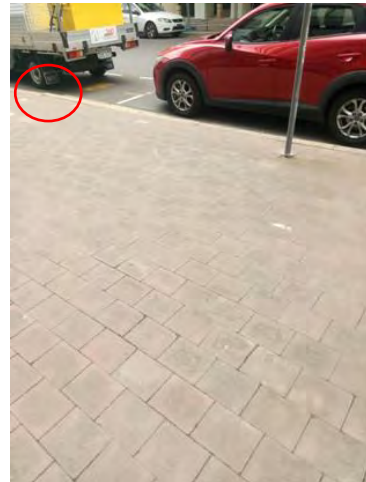
38 Lid rusted



39 Random clusters of pavers replaced, give way sign not aligned straight vertically



40 Kerb lifted



41 Fire Hydrant marker on top of kerb



42 Cracking and spalling of hydrant surround



- 43 Deterioration of line marking (assessed as consistent of line marking for parking space delineation along Nangari Street), graffiti on street light column, existing pole cut at base



- 44 Existing pole cut at base




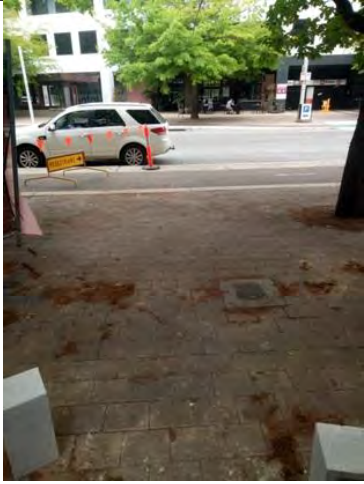
- 45 Dirty coloured paving suggesting subsidence, rusted manhole lid and surround, water marker on pram ramp, discolouration of selected pavers



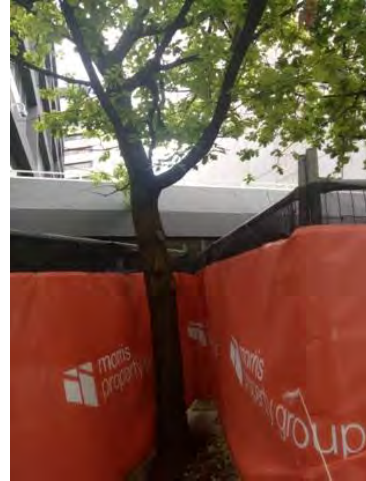
2.5 Allara Street

Table 4 contains photos of defects from Nangari Street (within the scope of the works) including the road and verge either side of the road.

Table 4 Allara Street

Location	Description	Photo
46	Pavers cracked and spalling, uneven different colour pavers visible (paver condition same for extents of paving), cracking of concrete surround for lid, damage to edges and lifting points of TranACT lids	
47	Condition of lid noting it is Class A	
48	Condition of hydrant and surround	

49 Extent of construction worksite (North side of tree)



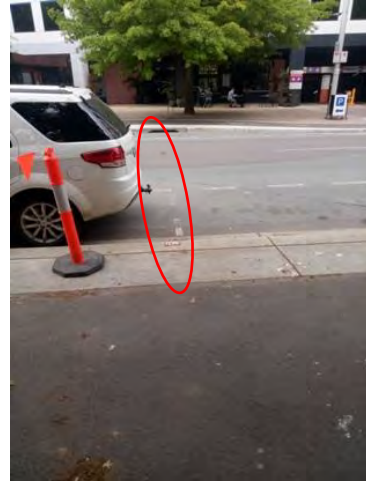
50 Metal cover not sitting flush, concrete surround showing damaged edges



51 Raised pavers around tree (noticeable at trees in verge either side of Allara Street)



52 General condition of line marking similar to the full extents of Allara Street, fire hydrant marker on top of kerb, RRPMs for hydrant missing



53 Sediment build up



54 Level difference between concrete and paver



55 Difference in level between pavers and flush kerb (same conditions seen across extents of flush kerb)



56 Edge of concrete base for bin holder damaged, concrete in tree surround cracked with edges damaged



57 Graffiti on streetlight column, sign brace not in line with sign



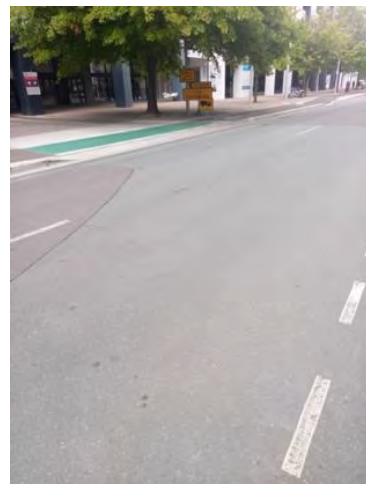
58 Crack in stormwater kerb inlet connection to kerb, asphalt interface from previous works, cracking in asphalt (noted to occur in multiple photos on file)



59 Irregular finish to edge of concrete and asphalt



60 Cracking of asphalt along Allara Street (noted in multiple locations other than photo shown)



61 Spalling concrete along edge of panel



62 Cracks in concrete



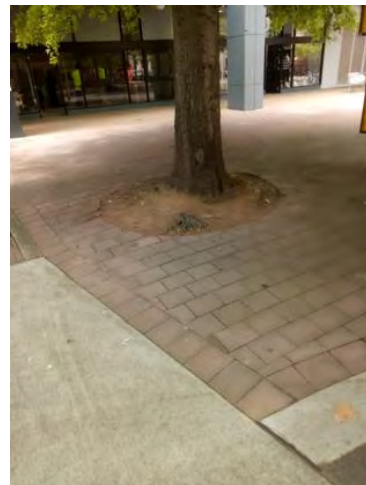
63 Spalling of concrete flush kerb, general condition of asphalt/concrete interface



64 Line marking worn, gap in green bicycle line marking, pot hole in asphalt



65 Extent of base of tree showing paving surround lifted and existing concrete



66 Damage to edge of sump lid, general damage and cracking to pavers which is common for the type of paver on the South Eastern side of Allara Street, spalling of flush kerb and manhole lid



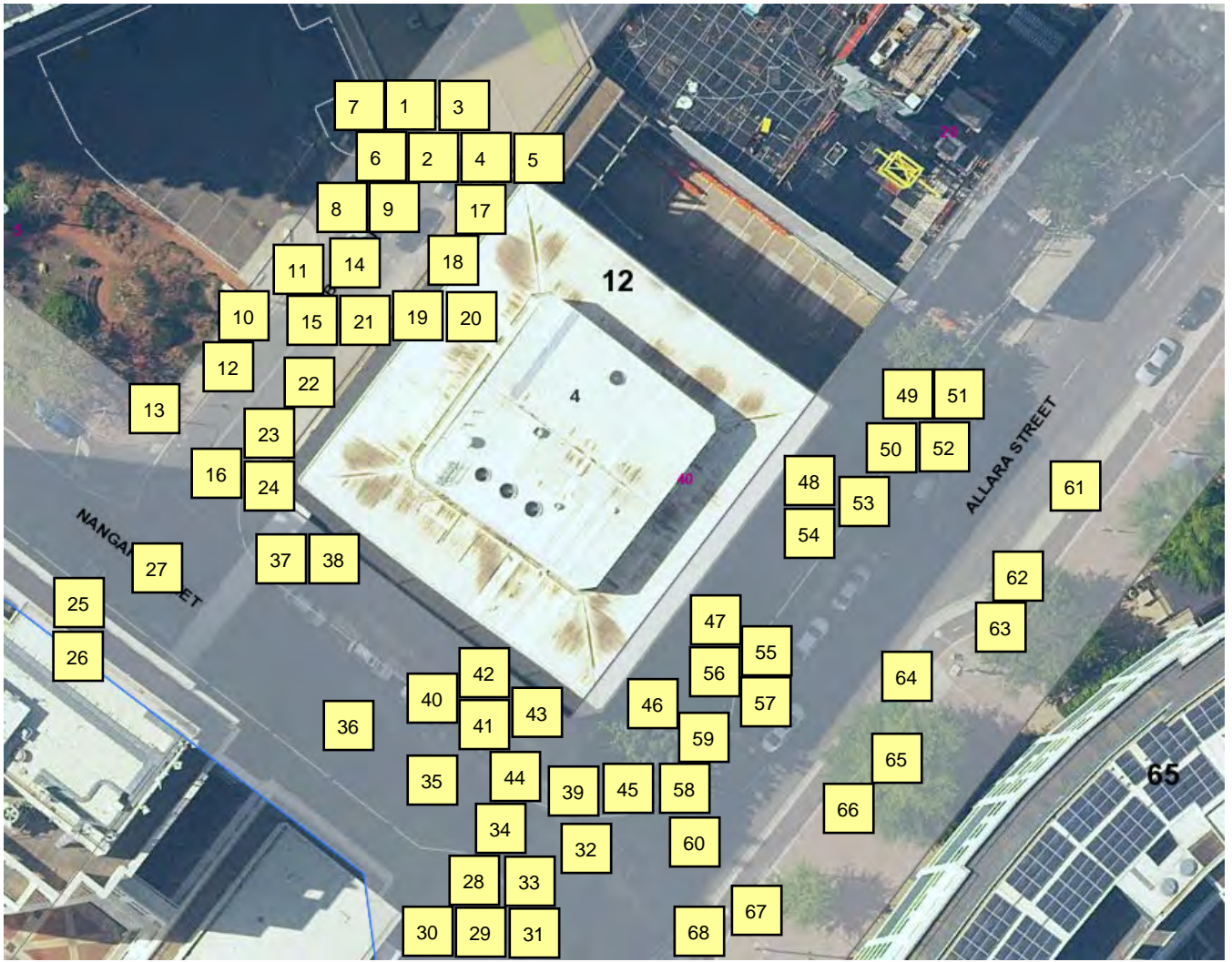
67 Crack in concrete flush kerb



68 Spalling of concrete



3. Defect Locality Map



CR193036-06_EC02B01

01 June 2021

Senior Manager
Development Review & Coordination
Transport Canberra and City Services
480 Northbourne Avenue
Dickson, ACT 2602

Dear Sir/Madam

**Re: Northrop Certification – Block 4 Section 12, City
Meriton Allara Offsite Works**

Northrop Consulting Engineers confirm that the design of the:

- Two driveways (outside of the boundary within the verge), one to Block 4 Basement and one to Block 4 Ground Level;
- Offsite pavements; and
- Stormwater tie to Block 4;

has been carried out in conformity with the design intent of the TCCS Design Standards, the relevant Australian standards, the Notice of Decision associated with DA Number 202037001 and authority guidelines including the ACT Government Planning and Land Authority Canberra Design Manual.

Refer to CR193036-06_ECB02 for certification for other offsite works.

Prepared by:

[Redacted signature]

[Redacted name]

Civil Engineer





DILAPIDATION REPORT

Meriton Allara Offsite Works

Preconstruction Asset Defect Inspection Works

PREPARED FOR

Place Coordination and Planning
Transport Canberra and City Services
496 Northbourne Avenue
Dickson, ACT 2602

Ref: CR193036-06_EC01-D
Rev: 1.0
Date: 01 June, 2021



Civil Engineering Report:

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
01.06.2021	1.0	Preliminary Report		

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

Level 6, 224 Bunda Street, City ACT 2600

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. Condition Inspection

The defects outlined below were observed and noted during defect inspections carried out on the 22 October 2020 and 19-23 November, 2020, for approval by TCCS prior to construction. These are the existing conditions prior to any construction commencing (including the demolition stage which has already been completed noting hoarding covers part of the verge) at Block 4 Section 12 City.

A selection of photos has been included in the report. Northrop Consulting Engineers have more photos available of the area.

Each defect/condition is referenced on the Defect Locality Plan, photos of each defect are included in the following sections.

Defects identified have been outlined in Section 2 of this report noting some defects were common amongst areas.

During the inspections, it was noted there was construction works occurring at Block 13, Section 11 City and Block 18, Section 12 City. These works had construction activities occurring within the verge adjacent the block and within close proximity to the block and hence, defects in these areas and up to 1m off the works fence may not be covered in this report.

A selection of photos has been included in the report. Northrop Consulting Engineers have more photos available of the area. All photos are available in full size. Video footage of the area is also available at request.

Limitations to this report include:



- Internals to service pits, manholes and sumps have not been reviewed. Only conditions of the surface of pits, manholes and sumps have been reviewed;
- Surface areas available for view. As the area is open to traffic and parked cars, defects in these areas have not been captured;
- Defects are located as an approximate location on the defect locality plan only; and
- Defects have been noted in this report as identified by Northrop at the time of inspections.

2. Photos

2.1 Block 6, Section 12 City

Table 1 contains photos of defects from the structure at Block 6, Section 12 City.

Table 1 Block 6, Section 12 Structure

Location	Description	Photo
1	Chipped tile, tiles not flush with ground	
2	Discolouration of beam	

3 Discolouration of beam



4 Spalling of concrete at base and on edge of column



5 Cracking of concrete at base of column



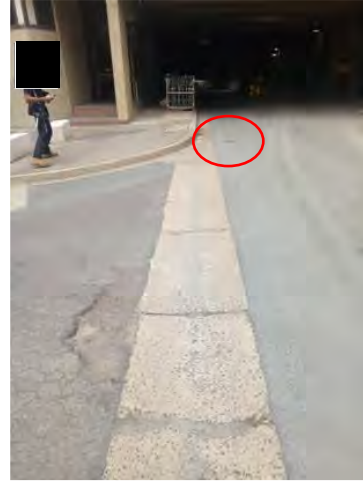
2.2 Rabaul Lane

Table 2 contains photos of defects from Rabaul Lane (within the scope of the works) including the road and verge either side of the road.

Table 2 Rabaul Lane

Location	Description	Photo
6	<p>Crack in concrete pavement, cracking and damage to pavers and concrete surrounding the surround, cracked lids, spalling of lids, spalling of kerb either side of sump, cracking and spalling of kerb and gutter</p> <p>It is evident that cracking and spalling of the kerb and gutter is consistent along the extents of Rabaul Lane. Further photos will not be provided of this defect however they will be accessible if required</p>	
7	<p>Asphalt works inbetween surround and pavers</p>	
8	<p>Pot hole in asphalt, cracks in OCI, cracking of asphalt, finish between concrete and asphalt interfaces not flush in the horizontal plane</p>	

- 9 Pot hole on road (different to that identified in Location 8)



- 10 Cracking and spalling of concrete pavement (noted along extents of this section of footpath along Rabaul Lane)



- 11 Discolouration of kerb (noted along extents of Rabaul Lane in selected areas)



- 12 Sump surround cracked (it is noted the photo showing the front of the sump shows the sump in poor condition)



- 13 Subsidence of pavers, cracked pavers, infill in lieu of pavers



- 14 Line marking cracked (representative of line marking for whole extents of Rabaul Lane including stop line and TB1 line marking at entry from Nangari Street), RRPM's not conforming to Icon Water standard drawings



15 RRPMS removed from road (extents of road has had RRPMS removed)



16 Saw cuts in road



17 Cracking and spalling of concrete



- 18 Cracked concrete footpath with spalling evident (noted to be along the length of Rabaul Lane's South Eastern verge), saw cuts beyond asphalt fill of surround, minor damage to pit lids on edges/corners



- 19 Possible existing concrete patching, FH marker on building rather than kerb, asphalt fill in place to address change in height between panels



- 20 Rusted Lids and surround, cracked lid



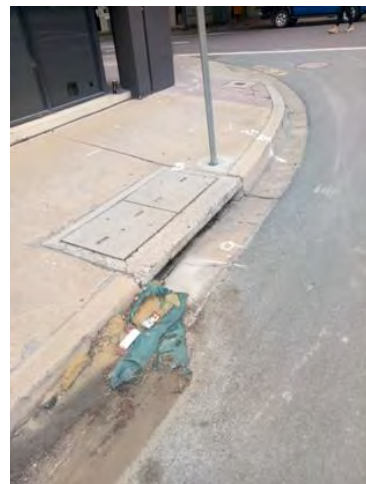
- 21 Kerb and gutter built around manhole, manhole side exposed



- 22 Patched concrete kerb



- 23 Cracks in sump lid and surround, cracking at throat of sump, damage to interface of sump surround and concrete footpath



24 Subsidence of pavers, damage to SV
surround






2.3 Overhead Pedestrian Bridge between Block 4, Section 12 City and Block 12, Section 11 City

No defects were visibly identified from road level in relation to the overhead pedestrian bridge between Block 4, Section 12 City and Block 12, Section 11 City.

2.4 Nangari Street

Table 3 contains photos of defects from Nangari Street (within the scope of the works) including the road and verge either side of the road.

Table 3 Nangari Street

Location	Description	Photo
25	Cracked and spalling kerb and gutter with extensive damage in location shown (condition of kerb and gutter is consistent across Nangari Street with multiple locations showing cracking and spalling and damage, this photo is representative of those conditions), damage to edge of concrete lid	
26	Pavers not providing flush interfacing around tree, paver colour varies in location	
27	Cracking of asphalt noted to be along extents of road both in the direction of and perpendicular to the general path of by vehicles travel as well as around manhole lid	

28 Tyre markings on pram ramp, neat saw cut adjacent to kerb and gutter, worn "look" line marking, worn green bicycle line marking and TB1 line marking (consistent for extent of bicycle crossing)



29 Cracked and spalling pavers – it is noted this was consistent across all surfaces within the area of interest where this style of paver is used



30 Rusted manhole lid and surround



- 31 Cracking and deterioration of bicycle line marking which is consistent at any joints/cracking/other key features of line marking, general deterioration of TB1 line marking across Nangari Street



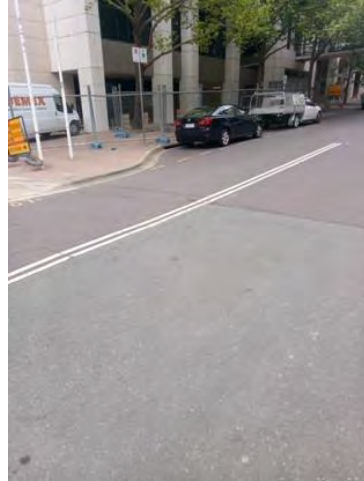
- 32 Saw cut and patched section of asphalt, asphalt relayed at kerb



- 33 Crocodile cracking present



34 Cracking at asphalt surfaces interface



35 RRPM missing



36 Icon water fire hydrant RRMPs missing



37 Lids damaged on edges and at lifting locations, subsidence of pavers



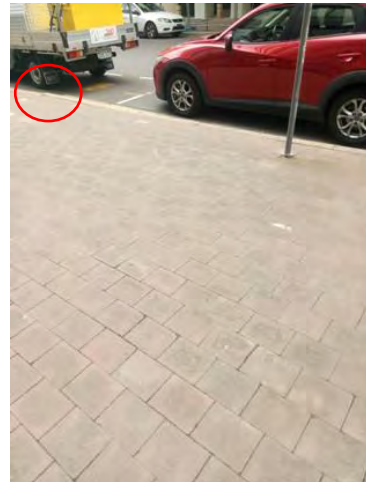
38 Lid rusted



39 Random clusters of pavers replaced, give way sign not aligned straight vertically



40 Kerb lifted



41 Fire Hydrant marker on top of kerb



42 Cracking and spalling of hydrant surround



- 43 Deterioration of line marking (assessed as consistent of line marking for parking space delineation along Nangari Street), graffiti on street light column, existing pole cut at base



- 44 Existing pole cut at base





- 45 Dirty coloured paving suggesting subsidence, rusted manhole lid and surround, water marker on pram ramp, discolouration of selected pavers



2.5 Allara Street

Table 4 contains photos of defects from Allara Street (within the scope of the works) including the road and verge either side of the road.

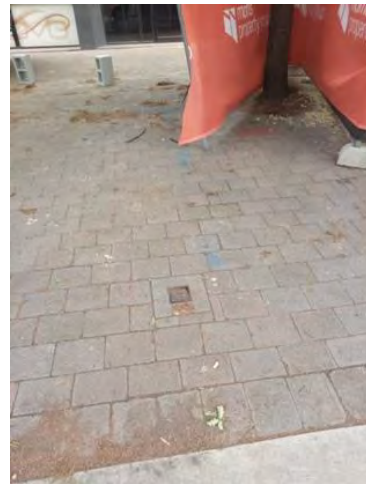
Table 4 Allara Street

Location	Description	Photo
46	Pavers cracked and spalling, uneven different colour pavers visible (paver condition same for extents of paving), cracking of concrete surround for lid, damage to edges and lifting points of TranACT lids	
47	Condition of lid noting it is Class A	
48	Condition of hydrant and surround	

49 Extent of construction worksite (North side of tree)



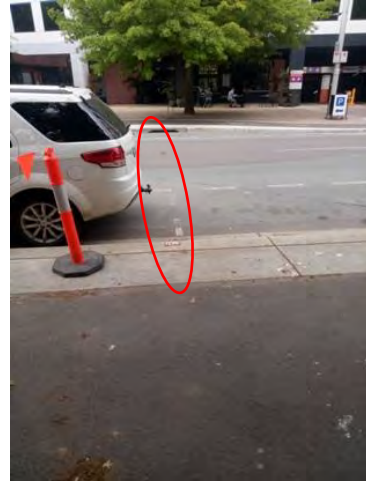
50 Metal cover not sitting flush, concrete surround showing damaged edges



51 Raised pavers around tree (noticeable at trees in verge either side of Allara Street)



52 General condition of line marking similar to the full extents of Allara Street, fire hydrant marker on top of kerb, RRPMs for hydrant missing



53 Sediment build up



54 Level difference between concrete and paver



55 Difference in level between pavers and flush kerb (same conditions seen across extents of flush kerb)



56 Edge of concrete base for bin holder damaged, concrete in tree surround cracked with edges damaged



57 Graffiti on streetlight column, sign brace not in line with sign



58 Crack in stormwater kerb inlet connection to kerb, asphalt interface from previous works, cracking in asphalt (noted to occur in multiple photos on file)



59 Irregular finish to edge of concrete and asphalt



60 Cracking of asphalt along Allara Street (noted in multiple locations other than photo shown)



61 Spalling concrete along edge of panel



62 Cracks in concrete



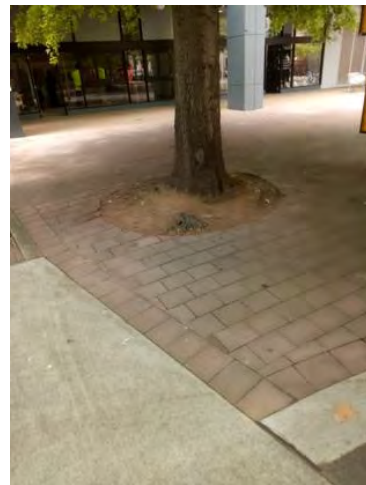
63 Spalling of concrete flush kerb, general condition of asphalt/concrete interface



64 Line marking worn, gap in green bicycle line marking, pot hole in asphalt



65 Extent of base of tree showing paving surround lifted and existing concrete



66 Damage to edge of sump lid, general damage and cracking to pavers which is common for the type of paver on the South Eastern side of Allara Street, spalling of flush kerb and manhole lid



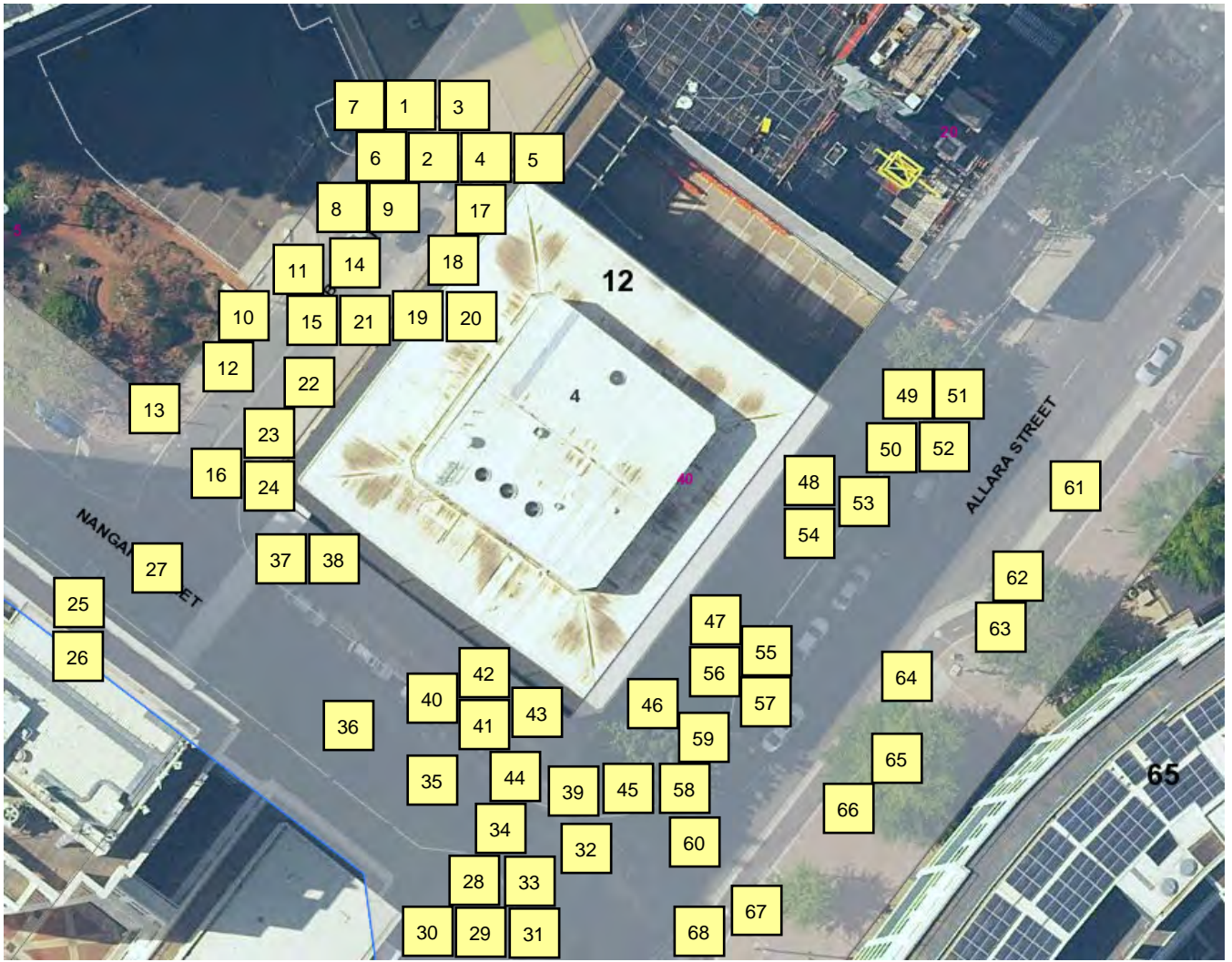
67 Crack in concrete flush kerb



68 Spalling of concrete



3. Defect Locality Map



CR193036-06_EC02-B01

10 December 2021

Senior Manager
Development Review & Coordination
Transport Canberra and City Services
480 Northbourne Avenue
Dickson, ACT 2602

Dear Sir/Madam

**Re: Northrop Civil Certification – Block 4 Section 12, City
Meriton Allara Offsite Works – Stage 2**

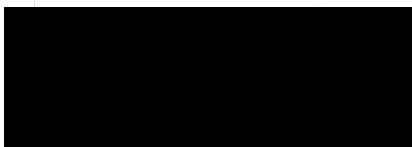
Northrop Consulting Engineers confirm that the civil design of the:

- Two driveways on Rabaul Lane one to Block 4 Basement and one to Block 4 Ground Level;
- Offsite pavements (other than the tree surrounds designed and certified by the Landscape Architect);
- New kerb ramps; and
- Stormwater tie to service Block 4;

has been carried out in conformity with the design intent of the TCCS Design Standards, the relevant Australian standards, the Notice of Decision associated with DA Number 202037001, DA Number 202037912 and authority guidelines including the ACT Government Planning and Land Authority Canberra Central Design Manual.

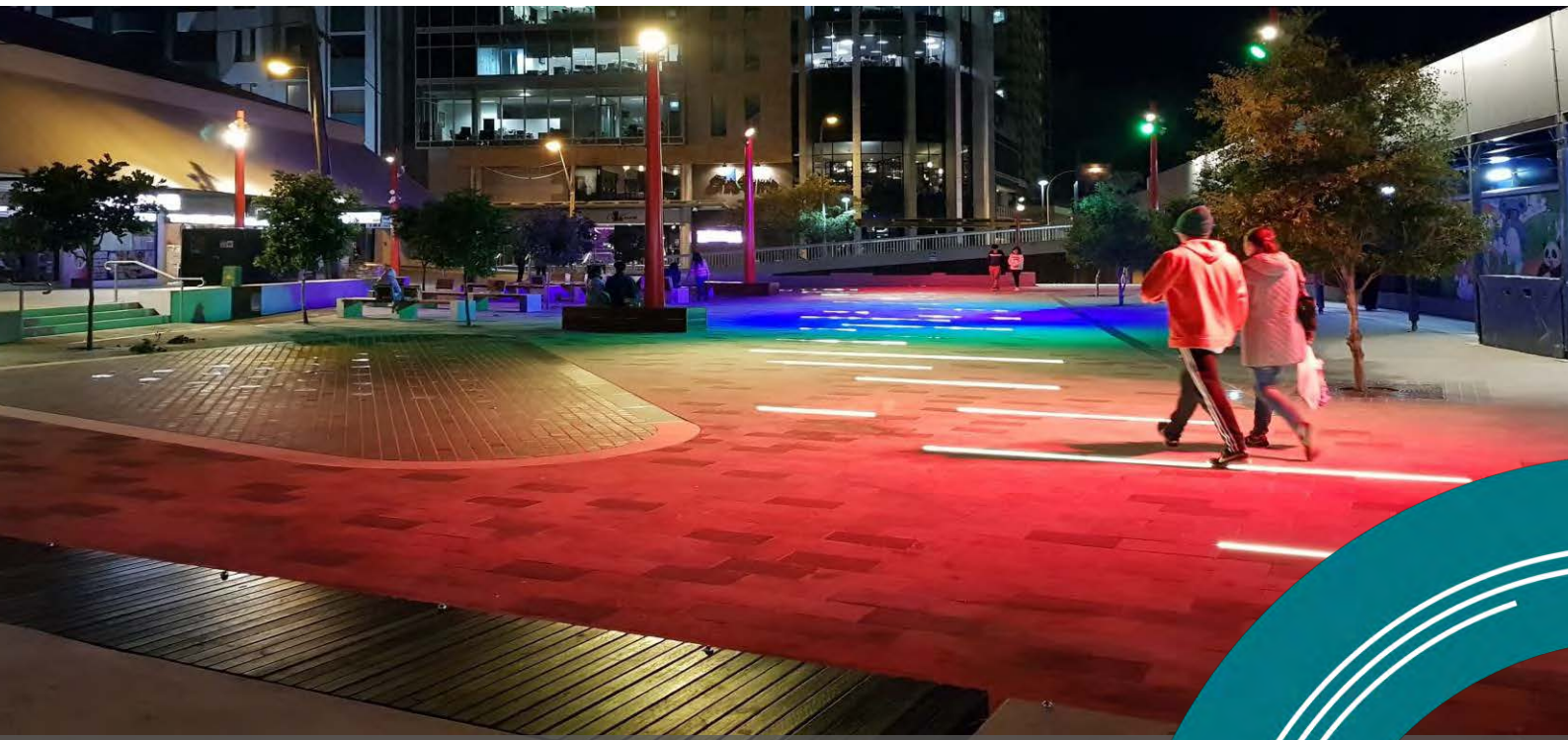
Refer to CR193036-06_EC02B02 for certification for other offsite works.

Prepared by:



Principal / EngExec NER





CIVIL ENGINEERING REPORT: OPERATIONAL ACCEPTANCE

City Block 4 Section 12

Meriton Allara Street Offsite Works

PREPARED FOR
Meriton Group
Address: 528 Kent Street
Sydney, NSW 2000

Ref: CR193036-06_EC03-C
Rev: 1.0
Date: 26 July 2023



Civil Engineering Report: Operational Acceptance

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
26.07.2023	1.0	Operational Acceptance	■	■

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

SAP House, Level 6, 224 Bunda Street (PO Box 213), Canberra ACT 2608

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. General

1.1 Introduction

Northrop Consulting Engineers Pty Ltd (Northrop) have been engaged by Meriton Group (Meriton) to prepare the Civil Engineering documentation in support of the Operational Acceptance (OA) for the off-site works associated with the development of Block 4, Section 12 City. A site locality plan is shown in Figure 1. This report has been prepared in accordance with Reference Document 7 – Requirements for Operational Acceptance Submission (Issue 2, Revision 3) and Reference Document 10 – Requirements for Soft Landscape Consolidation and Handover (Issue 2, Revision 2).

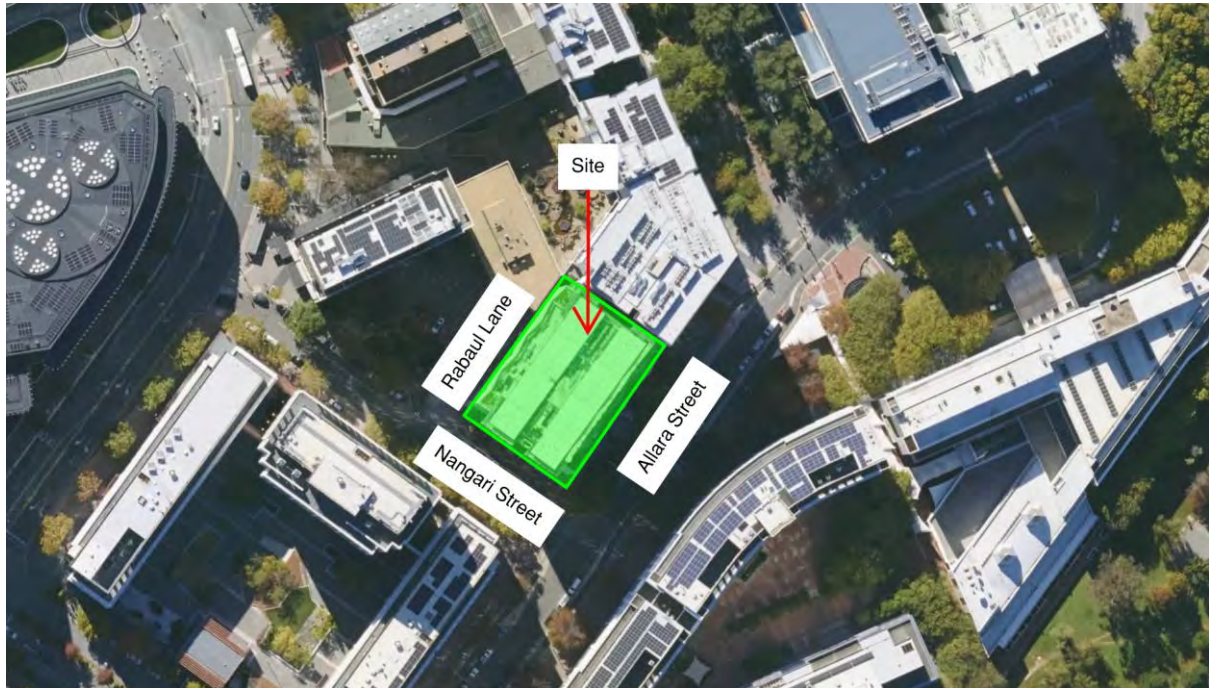


Figure 1 - Locality Plan (MetroMap, 2023)

1.2 Staging of the Works

The Operational Acceptance works are to be completed over two stages.

TCCS provided written confirmation of the stage submission approach on 26/04/2023. The written confirmation has been provided as part of Appendix K.

Appendix K also contains the developer signed TCCS Acknowledgement Of Fees form.

Stage 1 of the Operational Acceptance works is as per Figure 2.



Figure 2 Stage 1 of the Operational Acceptance Works

1.3 External Works

The following off-site works are included in the Stage One submission to TCCS and require approval for OA include:

- Construction of new paving along Allara Street in accordance with the Canberra Central Design Manual;
- Construction of two new 900x900 stormwater pits with heel safe covers within the verge of Allara Street;
- Installation of a new 300mm dia pipe from the block boundary to the new Western new stormwater pit (this is the stormwater tie for the development);
- Installation of four new 150mm dia pipe between the two new stormwater pits;
- Installation of a new 300mm dia pipe from the new Eastern new stormwater pit to the existing stormwater kerb inlet sump along Allara Street closest to the Eastern new stormwater pit;
- Installation of new bike racks conforming to the intent of the Canberra Central Design Manual;
- Construction of two new pram ramps to replace the existing pram ramps along Allara Street and Nangari Street East; and
- Installation of new Lomandra Tanika planting along Allara Street.

The completed works have been carried out in accordance with the conditions outlined in project's Design Review Certificates. The approved amendments to the original Design Review certificate are outlined in Section 2.6 of this report.

1.4 General Advisory Note GAN 08

The ACT Government has released General Advisory Note GAN 08 titled “Operational Acceptance and Final Acceptance requirements for infill developments”.

This Operational Acceptance has been completed in line with GAN 08 with the inclusion of the request for the commencement of the soft landscaping consolidation period.

A coversheet for the Operational Acceptance has been prepared requesting Operational acceptance for the project in addition to a separate coversheet requesting commencement of the consolidation period. Refer to Appendix A for these coversheets.

1.5 Key Parties to the Project

Key parties involved in the project are listed as below:

Developer:	Meriton Group
Principal Contractor:	Meriton Group
Civil Contractor	Complex Construction
TCCS Coordinator:	██████████ (Northrop)
Consultants:	
TCCS Coordinator	Northrop
Civil Consultant	Northrop
Landscape Architect	DSB Landscape Architects

2. Documentation

2.1 Request for Certificate of Operation Acceptance

A formal letter requesting for a Certificate of Operational Acceptance for the Stage 1 works is included in the attachment of Appendix C.

2.2 Certification

A letter of certification issued by Northrop for the civil works is included in the attachment of Appendix D.

A letter of certification issued by DSB Landscape Architects for the soft landscaping works is included in the attachment of Appendix D.

A letter of certification issued by DSB Landscape Architects for the soft landscaping works recommending the consolidation period commences is included in the attachment of Appendix D.

2.3 Certificate of Design Review

A copy of the Certificate of Design Review as issued by TCCS dated 01/02/2023 is included in the attachment of Appendix E.

2.4 Completed Audit Forms

The completed Audit forms for the Stage 1 works are included in the attachment of Appendix B.

2.5 Site Inspection Report (Defect Report)

A site inspection was conducted on the 27/07/23 by Northrop for the pavement, signage, street furniture and stormwater works for Stage 1 for the purpose of the Operational Acceptance.

A site inspection was conducted on the 24/07/2023 by DSB Landscape Architects for the soft landscaping works for Stage 1 for the purpose of the Operational Acceptance and the commencement of soft landscaping consolidation.

The reports are included in the attachment of Appendix F.

2.6 Approved Amendments

The following approved amendments have been made for the offsite works at Block 4, Section 12 City:

1. Staging of the TCCS Operational Acceptance (2 stages for handover);
2. The traffic control devices. There are no new traffic control devices proposed, the existing traffic control devices are being reinstated as per the latest TCCS TCD drawing;
3. The offsite works regarding the stormwater tie and the associated infrastructure;
4. The current arrangement for the margin paver at the development for the offsite works.

Correspondence relating to these items are included as part of Appendix K.

2.7 Non- Approved Amendments

There have been no non-approved amendments regarding the offsite works for the project.

2.8 Outstanding Works

Based on the site inspection report, the contractor is to rectify the defects as noted within Appendix F within a reasonable time period. The contractor is to maintain the verge during the consolidation period for the soft landscaping works.

2.9 Stormwater test information

The SMEC inspection and CCTV certificate for the proposed stormwater works are included in the attachment of Appendix G.

2.10 Asset Description Form

The asset description forms for the Stage 1 works are included in the attachment of Appendix H. A separate asset description form has been completed for each the civil works and the landscape works.

2.11 WAE Quality Records

A summary list of Construction records for Stage 1 is included in the attachment of Appendix I.

2.12 Operations and Maintenance Manuals

There were no operations and maintenance manuals to hand over for Operational Acceptance.

A maintenance plan for the Stage 1 soft landscape consolidation works has been included in the attachment of Appendix L.

2.13 Warranty Documents

There were no warranty documents to hand over for Operational Acceptance.

2.14 Keys and Locks

There were no keys and locks to hand over for Operational Acceptance and therefore not relevant for this submission.

2.15 List of Drawings and Revision Numbers

A list of drawings requiring approval for the Stage 1 OA submission are outlined in the excel documentation included in the attachment of Appendix J.

Appendices

Appendix A: Operational Acceptance Submission Cover Sheet



Project Title

Description

Developer's/ Client's details

Name of the entity

Address

Contact person

Tel. number

E-mail

Applicant's details

Company name

Contact person

Company address

Tel. number

E-mail

These documents are submitted for audit and comments or endorsement.

All Documents are in accordance with the design brief and have been prepared in accordance with the Requirements detailed in Reference Document AA-REF-07 Requirements for Submission Requesting Operational Acceptance (Ref-07) and Reference Document AA-REF-08 and Reference Document AA-REF-11 Requirements for Works as Executed Quality Records (Ref-08 and Ref-11).

Note: The Submission must be complete and include all the elements for the Works. TCCS will not accept incomplete Submissions or Submissions from individual consultants for separate elements of the Works. Where TCCS considers the Submission to be incomplete, the Applicant will be advised within five working days to this effect and will be requested to collect the Submission from TCCS offices. Assessment will not commence until a complete Submission has been received.

Privacy Statement: Transport Canberra and City Services adheres to the ACT Information Privacy Act 2014. As a general rule, the personal information that is provided to us is not passed on to other organisations or third parties without your written consent. However, your information may be provided to the ACT Civil and Administrative Tribunal or another court or tribunal if required by law. You can view our privacy policy on the About Us page of the Directorate's website (<https://www.tccs.act.gov.au/about-us/privacy-policy-statement>)

Prepared by

Date

	Yes	No	Office use
A formal request for Certificate of Operational Acceptance (Ref 07 clause 5.2.1)			
Relevant certification (Ref 07 clause 5.2.1 & 5.2.2)			
A copy of Design Acceptance certificate (Ref 07 clause 5.2.3)			
Completed Audit Forms (Ref 07 clause 5.2.10)			
Site inspection report (Ref 07 clause 5.2.4)			

	Yes	No	N/A	Office use
List of approved and non approved amendments (Ref 07 clause 5.2.6)				
List of all outstanding works (Ref 07 clause 5.2.7)				
Stormwater test incl. test certificates from SMEC (Ref 07 clause 5.2.8)				
Index (Ref 08 clause 4.1.1)				
Project description (Ref 08 clause 4.1.2)				
Parties to the project (Ref 08 clause 4.1.3)				
Asset Description Forms (Ref 08 clause 4.1.7)				
Works as Executed quality records (Ref 08 and Ref 11)				
Summary of construction quality records (Ref 08 clause 4.1.8)				
Operations and maintenance manuals (Ref 08 clause 4.1.9)				
Warranty documents (Ref 08 clause 4.2.16)				
Keys and locks (Ref 08 clause 4.1.10)				
List of all drawings and revision numbers in word or excel format				
Photos of assets (Ref clause 4.10.17)				
Cover letter for Suburban Land Agency projects only				

Elements of works and submission status

	1st submission	2nd submission	3rd or following submissions
Civil			
Landscape			
TCD			
Public lighting			

As per "Fees and charges Guideline to the Industry", fees apply for the assessment of the 3rd and the following submissions.

Office use only

Compliance with documentation requirements of Reference Document 07 and Reference Document 08

	Compliant	Not compliant
Submission		

Checked by

Date



Soft Landscape Consolidation Commencement Submission Cover Sheet

For submission lodgment requirements please refer to:
http://www.tams.act.gov.au/city-services/Development_Approval_and_Applications/soft_landscape_consolidation

Project Title

Description

Developer's/Client's details

Name of entity

Address

Contact person [REDACTED]

Tel. number [REDACTED]

E-mail [REDACTED]

Applicant details

Company

Address

Contact person [REDACTED]

Tel. number [REDACTED]

E-mail [REDACTED]

These documents are submitted for audit and comments or endorsement.

All Documents are in accordance with the design brief and have been prepared in accordance with the Requirements detailed in Reference Document AA-REF-10 Requirements for Submission Requesting Soft landscape Consolidation Commencement or Handover (Ref-10) and and Reference Document AA-REF-08 and Reference Document AA-REF-11 Requirements for Works as Executed Quality Records (Ref-08 and Ref-11).

Note:
The Submission must be complete and include all the elements for the Works. TAMS will not accept incomplete Submissions or Submissions from individual consultants for separate elements of the Works. Where TAMS considers the Submission to be incomplete, the Applicant will be advised within five working days to this effect and will be requested to collect the Submission from TAMS offices. Assessment will not commence until a complete Submission has been received.

**Applicants
signature**

Date

All documents to be submitted in hard and soft copy

	Yes	No	Office use
Certifications by Landscape Architects (Ref 10 clause 5.2.1)			
Site inspection report (Ref 10 clause 5.2.3)			
Copy of the Design Acceptance certificate (Ref 10 clause 5.2.2)			
A proposed maintenance programme (Ref 10 clause 5.2.4)			

	Yes	No	N/A	Office use
A list of all amendments to the design approved by TAMS (Ref 10 clause 5.2.7)				
A list of defects (Ref 10 clause 5.2.5)				
Asset Description forms (Ref 08 clause 6.2.4 and 6.2.5)				
Project description (Ref 08 clause 6.2.2)				
Parties to the project (Ref 08 clause 6.2.3)				
Summary of quality records (Ref 08 clause 6.2.9)				
List of all drawings and revision numbers				
Works as Executed Quality Records (Ref 08 and Ref 11)				
Warranty documents (Ref 08 clause 6.2.8)				
Keys and locks (Ref 08 clause 6.2.12)				
Cover letter from LDA coordinator (for LDA projects only)				

Submission status

	1st submission	2nd submission	3rd or following submission
Soft landscape			

As per "[Fees and charges Guideline to the Industry](#)", fees apply for the assessment of the 3rd and the following submissions.

Office use only

Compliance with documentation requirements of [Reference Document 10](#) and [Reference Document 08](#)

	compliant	not compliant
submission		

Checked by

Date

Appendix B: Asset Audit Forms

ATTACHMENT B: Road Asset Audit Form

Reference No: CR193036-06	Project Title: City Block 4 Section 12 49 Allara Street Verge Works
Certifier: [REDACTED]	Consultant: Northrop Consulting Engineers

CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable	CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable
<p>Roads Pavement Pavement defects</p> <ul style="list-style-type: none"> • cracking • pumping • roughness • rutting <p>Quality of asphalt Joints Surface drainage</p>				<p>Road Geometrics</p> <p>Built to plan</p> <p>Operational defects</p> <p>Crossfall</p> <p>Maximum slope 17%</p> <p>Intersection</p> <p>Design vehicle turning paths</p> <p>Edge details</p> <p>Super elevation</p>			
<p>Concrete Kerb</p> <p>Damage to kerb</p> <p>Expansion joints</p> <p>Built to line and level</p> <p>Correct profile</p> <p>No water ponding</p> <p>Continuity AC/Concrete</p>				<p>Road Design Criteria</p> <p>Design/posted speeds all roads</p> <p>Minimum horizontal geometry</p> <p>Maximum vertical grades</p> <p>Minimum vertical curve details</p> <p>Typical road/path cross sections</p> <p>Design vehicle</p> <p>Road clear zone dimensions</p> <p>Design criteria shown on plans</p>			
<p>Concrete/Asphalt paths</p> <p>Correct width</p> <p>Correct location</p> <p>Crossfall-general 2% to 5% - wheelchairs/prams<=2.5%</p> <p>Slope <= 10%</p> <p>Expansion joints</p> <p>Trip hazards</p> <p>Cracks in paths</p> <p>No ponding water</p> <p>No trapped low points</p> <p>Concrete finish</p> <p>Drainage correct</p> <p>Pavement transition details</p> <p>Asphalt layer thickness</p>				<p>Road Furniture</p> <p>Guideposts</p> <p>Barrier details</p> <p>Roadside Drainage</p> <p>Table drains</p> <p>Suitable flow paths</p> <p>Avoids depositing silt etc.on paths</p> <p>Kerb Crossings</p> <p>Correct location</p> <p>Correct dimensions</p> <p>Ramp suitable for sight impaired</p>			

↑
Tactiles to be installed as defect rectification

Certified as checked: Signature: [REDACTED] Date: 26/07/2023

ATTACHMENT B: Public Transport Audit Form

Reference No: CR193036-06	Project Title: City Block 4 Section 12 49 Allara Street Verge Works
Certifier: [REDACTED]	Consultant: Northrop Consulting Engineers

CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable	CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable																																																																		
<p>Bus Routes</p> <p>Road widths</p> <p>Pavement strength</p> <p>Bus stops on arterial roads</p> <p>Turning lanes</p> <p>Swept path</p> <p>Gradients</p> <p>Route efficiency</p>	<table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																											<p>Bus Priority Measures</p> <p>Transponders</p> <p>Advance detectors</p> <p>Bus lanes</p> <p>Bus signals</p> <p>Transit lanes</p> <p>Signage and line marking</p>	<table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																																												
<p>Bus Stops</p> <p>Peg</p> <p>Pole</p> <p>Timetable holder</p> <p>Sign</p> <p>Bench</p> <p>Disability access</p> <p>Lay-by</p> <p>Line marking</p> <p>Pedestrian hardstand</p> <p>Sight lines</p> <p>Safety</p> <p>Shelter</p> <p>Location</p>	<table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																																				<p>Intersections</p> <p>Turning lanes</p> <p>Turning circles</p> <p>Swept path</p> <p>Lane widths</p> <p>Sight lines</p> <p>Bus priority</p> <p>Transponders</p> <p>Bus lanes</p> <p>Bus signals</p>	<table border="1" style="width: 100%; height: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>																																			
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Certified as checked: Signature: [REDACTED] Date: 26/07/2023

ATTACHMENT B: Hard and Soft Landscape Works Asset Audit Form

Reference No: [REDACTED] Project Title: City B4 S12 40 Allora Street
 Certifier: [REDACTED] Consultant: vege works
dsb landscape Architects

CHECK ELEMENTS				CHECK ELEMENTS			
	Audit	Unsatisfactory	Satisfactory		Audit	Unsatisfactory	Satisfactory
Trees				Paving			
Condition				Construction details			
Species				Material details			
Spacing				Gradients			
Planting Details				Parking			
Root barriers				Retaining Walls			
Winter shade considered				Construction details			
Clearances				Material details			
• utilities				Safety rails			
• fencing				Earthworks			
• kerbs				Side slopes max. 1:4			
• footpaths				Cover material			
• buildings				Clearance from structures			
Planted Areas				Water Features			
Condition	✓		✓	Sewer connection			
Details	✓		✓	Landscape integration			
Species	✓		✓	Appropriate species			
Spacing	✓		✓	Planting clearances			
Surface treatment	✓		✓	Water pump			
Edges	✓		✓	Water supply			
Avoid driver sight lines				Backflow prevention			
Distance from structures				Water containment			
Lawns/Grass				Irrigation			
Condition				Commissioned			
Gradients				Performance			
Species				Meter pit detail			
Playgrounds				Backflow prevention			
Softfall materials				Pipe sizes			
Softfall containment				Sprinkler type			
Structures to Australian Standards				Sprinkler orientation			
Paint/coating				Controller			
Spacing of structures				Drainage			
Clearances				Contours			
				Overland flows			

Certified as checked:

Signature: [REDACTED]

Date: 24/7/2023

ATTACHMENT B: Stormwater Asset Audit Form

File No: CR193036-06	Title: City Block 4 Section 12 49 Allara Street Verge Works
Date of audit: 26/07/2023	Applicant: Northrop Consulting Engineers

CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable	CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable
Network Analysis				Pipes			
Catchment areas	X			Materials	X		
Design storm	X			Alignment	X		
Design flows	X			Joint type	X		
Pipe capacities	X			Flexible joints	X		
HGL analysis	X			Size	X		
Velocity/depth ratio	X			Class	X		
Retention/detention			X	Cover	X		
Velocity	X			Bedding	X		
Overland flow path	X			Clearances/services	X		
Recurrence intervals			X	Curvature	X		
• pipes	X			Gradient	X		
• open channels			X	Scour stops			X
Roughness coefficient			X	Road crossing angle			X
• pipes	X			Service ties	X		
• open channels			X	Velocity check	X		
Flow paths checked for flow depth	X						
Open Channels				Structures			
Gradient				Drop structures			X
Side slopes				Scour protection			X
Structures				Service ties	X		
Junction details				Manholes			
Back water effect				• flow path			
Location				• diameter			
Materials				• lid type			
Flood Plains				• ladders			
Flood levels				• offset			
Safe for errant vehicles/public				• depth			
Fenced where appropriate				• rail through			
On-site detention (OSD)				Sumps			
Above ground				• type			
Below ground				• flow path			
Calculations provided				• special benching			
Existing tie				• step irons			
New tie				• safety - workers			
GPTs				• safety - public			
Location				• low point			
Flow				• access			
Size				• water entry			
Maintenance							
Dewatering							

Certified as checked:

Signature: [Redacted]

Date: 26/07/2023

ATTACHMENT B: Structures Asset Audit Form

Reference No: Project Title: City Block 4 Section 12 49 Allara Street Verge Works
 Certifier: [Redacted] Consultant: Northrop Consulting Engineers

CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable	CHECK ELEMENTS	Complies - Yes	Complies - No	Not applicable
Design Factors				Retaining Walls			
Flood levels				Geometry			
Lanes				Material			
Design loads				Drainage			
Spans				Backfill			
Pedestrians				Footing stability			
Cycles				Geotechnical report			
Lighting				Soil bearing pressure			
Min. vertical clearance over roads				Rails for heights "x"m			
Bridges and large culverts				Safety Barriers			
Bridge number				Hazards			
Drainage				Type			
Cross fall				Length			
Long fall				Galvanising			
Barriers				Posts			
Type				Terminal treatments			
Height				Materials			
Length				Concrete			
Transitions/terminals (safety)				Workmanship			
Bolting arrangements				Cracks			
Structural system				Rust			
Joints				Surface finish			
Welding				Formwork removed			
Bearings				Steel			
Superstructure				Correct welds			
Slab				Weld treatments			
Beams				Member sizes			
Approach slabs				Rust			
Substructure				Fixtures			
Footings				Ponding at joints			
Piers				Paint			
Abutments				Layers			
Erosion protection				Thickness			
Stone pitching				Type			
				Bearings			
				Type			
				Orientation			

Certified as checked:

Signature: [Redacted]

Date: 26/07/2023

Appendix C: Request for Certificate of OA

CR193036-06_EC03 Appendix C

28th July, 2023

Senior Manager
Development Review & Coordination
Transport Canberra and City Services
480 Northbourne Avenue
Dickson, ACT 2602

Dear Sir/Madam

Re: Request for Certificate of Operational Acceptance (Stage 1) – Section 12 Block 4, City Meriton Allara Street Offsite Works

Please find attached the Operational Acceptance submission for the offsite works for the Stage 1 associated with the construction of the Meriton Allara Street at Block 4, Section 12 City.

This submission is in accordance with TAMS Reference Document 7: Requirements for Operational Acceptance Submission and TAMS Reference Document 10: Requirements for Soft Landscape Consolidation and Handover. The Work as Executed documentation included as part of this submission has been prepared in accordance with TCCS Reference Document 8: Requirements for Work As Executed Quality Records.

Prepared by:

[Redacted Name]

[Redacted Title]
Civil Engineer MIE Aust



Appendix D: Consultant Certification

CR193036-06_EC03_Appendix D

28/07/2023

Senior Manager
Development Review & Coordination
Transport Canberra and City Services
480 Northbourne Avenue
Dickson, ACT 2602

Dear Sir/Madam

Re: Certification of Offsite Works Stage 1 – Section 12 Block 4, City

Northrop Engineers confirm that the construction of the following site servicing works has been carried out in conformity with the design intent of TCCS MIS, MITS, Canberra Central Design Manual and the TCCS Letter of Design Review requirements for the Stage 1 Operational Acceptance Works at Block 4, Section 12 City except as agreed with TCCS (refer Appendix K of report CR193036-06_EC03 Rev 1.0):

- New paving along Allara Street in accordance with the Canberra Central Design Manual;
- Two new 900x900 stormwater pits with heel proof lids along the verge of Allara Street;
- Installation of a new 300mm dia pipe from the block boundary to the new Western new stormwater pit;
- Installation of four new 150mm dia pipe between the two new stormwater pits;
- Installation of a new 300mm dia pipe from the new Eastern new stormwater pit to the existing stormwater kerb inlet sump along Allara Street closest to the Eastern new stormwater pit;
- Installation of new bike racks conforming to the intent of the Canberra Central Design Manual;
- Construction of two new pram ramps to replace the existing pram ramps along Allara Street and Nangari Street East;

Soft landscaping works have been certified by DSB Landscape Architects as part of a separate certification.

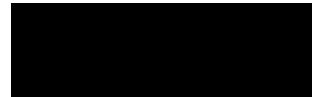
This certificate is to be read in conjunction with report CR193036-06_EC03

Prepared by,



Civil Engineer
MIE Aust

Reviewed by,



Civil Manager
MIE Aust



Company	Northrop	Date	24 July 2023
Attention	[REDACTED]	This Page +	2
From	[REDACTED]	Project No.	4734
Project	City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street City		
Subject	Landscape Works Certification for Operational Acceptance Stage 1 Works		

2
dsb Landscape Architects

1.34 Level 1, 33 Allara Street, Canberra City, ACT, 2601
02 6285 1955 dsb@dsbla.com.au www.dsbla.com.au

Landscape Works Certification

I am [REDACTED] Director of DSB Partners Pty Ltd trading as dsb Landscape Architects, 1.34 Level 1 33 Allara Street Canberra City ACT 2601.

Phone Number [REDACTED] and [REDACTED] Email [REDACTED]@dsbla.com.au

I am a Director of dsb Landscape Architects. dsb Landscape Architects is a firm specialising in the provision of professional arborist and landscape architect related services.

I have prepared this landscape certification for Operational Acceptance of the Stage 1 Verge Works at 40 Allara Street Canberra City.

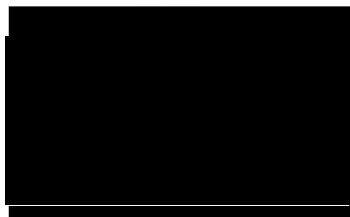
I have worked in Canberra and New South Wales in private practice and landscape construction as a professional Registered Landscape Architect for thirty-nine years.

I am a Member of the Australian Institute of Landscape Architects. I have been a Registered Landscape Architect #486 since January 7, 1990.

As Director of dsb Landscape Architects, I am responsible for and authorise release of arborist and landscape architecture reports and services.

Any opinions expressed by me in this statement are my own opinions. They have not been prescribed or prepared by any other person.

The landscape works associated with the City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street for which Operational Acceptance is requested has been constructed according to the approved design requirements and that the Works complies with ACT Municipal Infrastructure Design Standards and the requirements of MITS09.



24 July 2023



If we can be of any further assistance to you in regard to the project, please do not hesitate to contact me.

Regards,

[Redacted Signature]

[Redacted Title]

Director dsb Landscape Architects

Registered Landscape Architect AILA #486



1. QUALITY ASSURANCE

Contact information:

DSB Partners Pty Ltd
Trading as dsb Landscape Architects
ABN 94 052 528 293

Directors: [REDACTED] and [REDACTED]

Canberra

1.34 Level 1
33 Allara Street
Canberra City ACT 2601

Melbourne

331/173 City Road
Southbank, VIC 3006

Phone: (02) 6285 1955

Email: dsb@dsbla.com.au

Web: www.dsbla.com.au

Quality assurance information

Report title: Landscape Certification for Operational Acceptance _____

Job number: 4734 _____

Date: 24 July 2023 _____

Prepared by: [REDACTED] _____

Reviewed by: [REDACTED] _____

Issue history

Issue Number	Issue Date	Details	Authorised by
1	24 July 2023	OA Landscape Certification	[REDACTED]



Company	Northrop	Date	24 July 2023
Attention	[REDACTED]	This Page +	2
From	[REDACTED]	Project No.	4793
Project	City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street City		
Subject	Landscape Works Certification for Commence Consolidation Stage 1 Works		

dsb Landscape Architects

1.34 Level 1, 33 Allara Street, Canberra City, ACT, 2601
02 6285 1955 dsb@dsbla.com.au www.dsbla.com.au

Landscape Works Certification

I am [REDACTED] Director of DSB Partners Pty Ltd trading as dsb Landscape Architects, 1.34 Level 1 33 Allara Street Canberra City ACT 2601.

Phone Number [REDACTED] and [REDACTED] Email [REDACTED]@dsbla.com.au

I am a Director of dsb Landscape Architects. dsb Landscape Architects is a firm specialising in the provision of professional arborist and landscape architect related services.

I have prepared this landscape certification for Commence Consolidation of the Stage 1 Verge Works at 40 Allara Street Canberra City.

I have worked in Canberra and New South Wales in private practice and landscape construction as a professional Registered Landscape Architect for thirty-nine years.

I am a Member of the Australian Institute of Landscape Architects. I have been a Registered Landscape Architect #486 since January 7, 1990.

As Director of dsb Landscape Architects, I am responsible for and authorise release of arborist and landscape architecture reports and services.

Any opinions expressed by me in this statement are my own opinions. They have not been prescribed or prepared by any other person.

The landscape works associated with the Stage 1 Verge Works at 40 Allara Street Canberra City for which Commence Consolidation is requested has been constructed according to the approved design requirements and that the Works complies with ACT Municipal Infrastructure Design Standards and the requirements of MITS09.

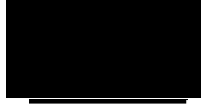
[REDACTED]

24 July 2023



If we can be of any further assistance to you in regard to the project, please do not hesitate to contact me.

Regards,



Director dsb Landscape Architects

Registered Landscape Architect AILA #486



1. QUALITY ASSURANCE

Contact information:

DSB Partners Pty Ltd
Trading as dsb Landscape Architects
ABN 94 052 528 293

Directors: [REDACTED]

Canberra

1.34 Level 1
33 Allara Street
Canberra City ACT 2601

Melbourne

331/173 City Road
Southbank, VIC 3006

Phone: (02) 6285 1955
Email: dsb@dsbla.com.au
Web: www.dsbla.com.au

Quality assurance information

Report title: Landscape Certification for Commence Consolidation _____
Job number: 4734 _____
Date: 24 July 2023 _____
Prepared by: [REDACTED] _____
Reviewed by: [REDACTED] _____

Issue history

Issue Number	Issue Date	Details	Authorised by
1	24 July 2023	CC Landscape Certification	[REDACTED]

Appendix E: Letter of Design Review



LETTER OF DESIGN REVIEW

Developer/Client: Meriton Group
Address: 528 Kent Street, Sydney NSW 2000
Contact: [REDACTED]
Project Title: **CITY BLOCK 4 SECTION 12**
[DA 202037912] Tower Stage 2 Off-Site Works.
Applicant: Northrop Consulting Engineers
Address: Level 6, 224 Bunda Street, City ACT 2601
Contact: [REDACTED]
TCCS Project Lead: Antony Motha

Dear [REDACTED]

Date: 01/02/2022

On behalf of the Transport Canberra and City Services (TCCS) Directorate, this Letter of Design Review is issued in accordance with Notice of Decision 202037912 to confirm acceptance of the Drawings and Documents listed in Attachment A.

TCCS has carried out selective audits of certain elements of the design only from the documentation submitted. This letter of design review is therefore issued based on the Consultant's certification that each design element prepared by the Consultant complies with the design criteria and the standards. This letter addresses the following design components:

Stormwater	X	Road Geometry		Parking	
Footpath	X	TCD's		Verge Works	X
Driveway	X	Landscape	X	Is SMEC inspection required?	Yes X
LMPP	X	Street Lighting			No



This Letter is issued with the following conditions:

1. The issue of this Letter does not waive or diminish the continuing responsibilities of the Consultant with respect to the suitability and integrity of the design; nor does it absolve the Consultant of continuing obligations under the Standards.
2. The developer is responsible for any damage done to Territory infrastructure as a result of service installation for this development by third party.
3. Should any road closure be proposed, this will be subject to a separate design approval from Roads ACT of a Temporary Traffic Management Plan.
4. Any proposed amendments, that impact on the integrity of the design, shall be resubmitted for assessment by TCCS - Design Review and Asset Acceptance prior to the implementation of such changes.
5. On the satisfactory completion of all design and construction activities, a Certificate of Operational Acceptance will be issued for the project on receipt of all relevant documents as specified in TCCS *Reference 07 - Requirements for Operational Acceptance Submission*.



Lingam Jatheendran | Senior Director

Design Review and Asset Acceptance | Transport Canberra and City Services | ACT Government

Note that the definition of the terms 'Consultant', 'Works' and 'Standards' shall be the same as that given in TCCS Reference Document 6.

Attachments:

Attachment A: Drawings and Documentation included in the Letter of Design Review

DRAWINGS AND DOCUMENTS INCLUDED IN THE LETTER OF DESIGN REVIEW

Civil Drawings

Drawing Number	Drawing Title	Revision at TCCS submission
CR193036-06-C000	Cover Sheet, Drawing List and Locality Plan	3
CR193036-06-C001	Standard Notes	4
CR193036-06-C002	Standard Notes & Details	3
CR193036-06-C060	General Arrangement Plan	4
CR193036-06-C100	Proposed Offsite Plan 1 of 3	5
CR193036-06-C101	Proposed Offsite Plan 2 of 3	5
CR193036-06-C102	Proposed Offsite Plan 3 of 3	5
CR193036-06-C103	Stormwater Tie Long Section and Details	4
CR193036-06-C104	Pavement and Stormwater Notes	2

Landscape Drawings

Drawing Number	Drawing Title	Revision at TCCS submission
L100	Landscape Management & Protection Plan	D
LPD000	Landscape Public Domain Plan Cover Page	F
LPD001	Landscape Public Domain Plan Specification	D
LPD002	Landscape Public Domain Plan Details	D
LPD003	Landscape Public Domain Plan Details	C
LPD200	Landscape Public Domain Plan	F

Report

Report Number	Report Title	Revision/Date at TCCS submission
CR193036-06_EC02-C	TCCS Design Review Stage 2 Report	1.0; 10/12/2021

Appendix F: Defect Report



CIVIL ENGINEERING REPORT: OFFSITE DEFECTS REPORT

Meriton Allara Street

Block 4, Section 12 City

PREPARED FOR
Meriton Group
528 Kent Street
Sydney, NSW 2000

Ref: CR193036-06_EC03-F
Rev: 1.0
Date: 27/07/2023



Civil Engineering Report:

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
27/07/2023	1.0	Operational Acceptance Stage 1	██████	██████

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

SAP House, Level 6, 224 Bunda Street (PO Box 213), Canberra ACT 2608

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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This document has been prepared on behalf of and for the exclusive use of Meriton Group, and is subject to and issued in accordance with the agreement between Meriton Group and Northrop Consulting Engineers. Northrop Consulting Engineers accepts no liability or responsibility whatsoever for it in respect of any use of or reliance upon this document by any third party. Copying this document without the permission of Meriton Group or Northrop Consulting Engineers is not permitted.

1. Defect Inspection

Northrop Consulting Engineers have undertaken a Defect Inspection and completed a Defect Report for the offsite works associated with the Meriton Allara Street development located at Block 4, Section 12 City for the purpose of the TCCS Operational Acceptance submission.

This report identifies defects observed related to the civil engineering offsite works during the inspection undertaken at approximately 1:30pm on Thursday 27/07/2023 at the project site.

It is noted:

- This defect has outlined the defects for Stage 1 of the TCCS Operational Acceptance works only (refer Figure 1 grey area along Allara Street).
- This report details civil defects as observed at the time of inspection.
- The defects identified were based on the works aligning to the latest set of Northrop Consulting Engineers Civil drawings.
- This defect report is not an exhaustive list of all defects. Meriton Group are to review the offsite works and rectify all other defects not noted in this report as applicable.
- Works were being undertaken within the vicinity of the Stage 1 works at the time of this inspection. Defects caused by these works have not been captured by this defect report.

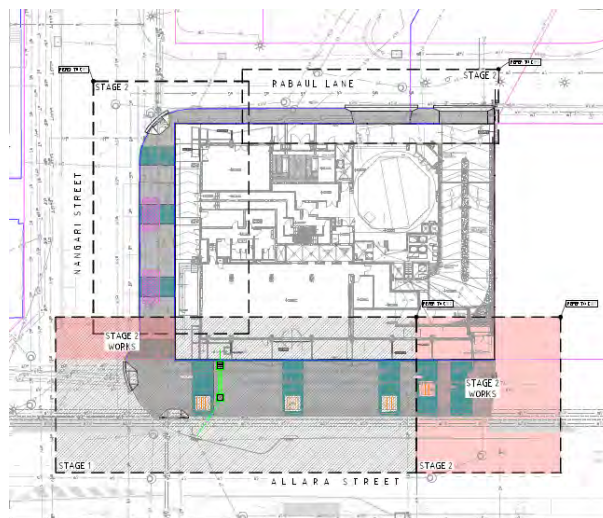


Figure 1 TCCS Operational Acceptance Stage 1 Area

Defects (and general comments) from the works undertaken to date have been outlined in Table 1, noting some defects were consistent throughout the site.

Note all photos are available in full size.



Limitations to this report include:

- Internals to service pits other than stormwater pits have not been reviewed. Only conditions of the surface of pits, manholes and sumps have been reviewed and commented on if required;
- Defects beyond the inspection date and time have not been recorded;
- Construction materials were present across the site obscuring vision to civil elements;
- Defects are located as an approximate location on the defect locality plan only;
- Defects have been noted in this report as identified by Northrop at the time of inspection.

2. Photos

Table 1 contains photos of defects from the Project.

Table 1 Defects

Location	Description	Photo
1	<p><u>Defect:</u></p> <p>New kerb in poor condition.</p> <p>Road pavement not reinstated.</p> <p><u>Rectification:</u></p> <p>Meriton Group to rectify as part of Stage 2 works.</p>	
2	<p><u>Defect:</u></p> <p>Crack in kerb.</p> <p><u>Rectification:</u></p> <p>To be monitored over defect liability period.</p>	

- 3
- Defect:
Spalling of concrete.
- Rectification:
Meriton Group to rectify spalling.



-
- 4
- Defect:
Communications pit lid not flush with surrounding pavement.
Crack in surround for communications pit.
- Rectification:
Meriton Group to ensure surrounding pavement is flush with communications pit lid.
Meriton Group to repair surround.
Meriton Group to replace lid.



-
- 5
- Defect:
Construction materials present.
We note this is a typical defect across the Stage 1 area.
- Rectification:
Meriton Group to clear all construction materials from the stage 1 area.



- 6
- Defect:
- Reported corkjoint within concrete slab with untidy finish.
- Rectification:
- Meriton Group to rectify joint.



- 7
- Defect:
- Non-flush pavement finish between offsite paving band and onsite pavers.
- This is a typical defect across the offsite stage 1 works.
- Rectification:
- Meriton Group to address to ensure trip hazards are removed.



- 8
- Defect:
- Spalling of paver.
- Rectification:
- Meriton Group to replace paver.



Defect:

Filling between pavers removed. This is a typical defect identified.

9

Rectification:

Meriton Group to ensure pavers are installed as per the Canberra Central Design Manual.



Defect:

Stop valve cover not flush with surrounding pavement.

10

Rectification:

Meriton Group to ensure the stop valve cover is flush with the surrounding pavement.



Defect:

Communications pit lid not flush with surrounding pavement.

11

Rectification:

Meriton Group to ensure surrounding pavement is flush with communications pit lid.



Defect:

Manhole lid has concrete waste on it.

12

Rectification:

Meriton Group to clean lid or replace with new class D lid representative of the correct service.



Defect:

Concrete waste on kerb.

13

Rectification:

Meriton Group to remove concrete waste.



Defect:

Infill around street light column base not flush with surrounding concrete surface.

14

Rectification:

Meriton Group to fill surround to be flush with surrounding concrete surface.



Defect:

Verge not cleaned from construction works.

15

Rectification:

Meriton Group to clean offsite works area.



Defect:

Infill around parking ticket machine not backfilled.

16

Rectification:

Meriton Group to infill area around parking ticket machine to TCCS requirements.



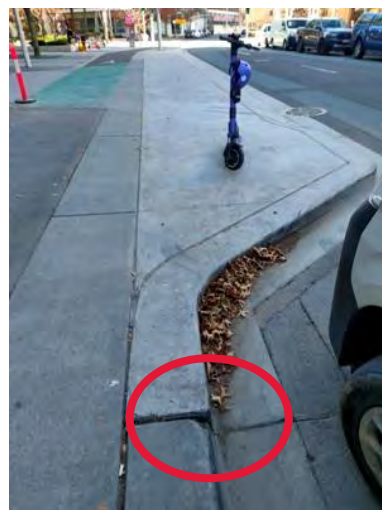
Defect:

Spalling of concrete kerb.

17

Rectification:

Meriton Group are to rectify the damaged concrete kerb.



Defect:

Cracking of concrete kerb.

18

Rectification:

Meriton Group are patch the concrete kerb.



Defect:

Stop valve and fire hydrant markers faded.

19

Rectification:

Meriton Group are to replace markers.



Defect:

Damaged communications pit lid.

20

Rectification:

Meriton Group are to replace the damaged lids.



Defect:

Damaged communications pit lid.

21

Rectification:

Meriton Group are to replace the damaged lids.



Defect:

Tactile ground surface indicators missing from pram ramp.

“Look” line marking faded.

22

Rectification:

Meriton Group are to install the tactile ground surface indicators.

Meriton Group are to replace the line marking.



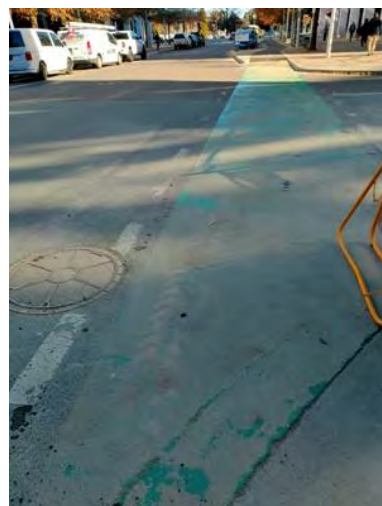
Defect:

Cycle path and road line marking condition deteriorated.

23

Rectification:

Meriton Group are to address the cycle path and road line marking condition as part of the Stage 2 TCCS Operational Acceptance submission.



Defect:

Tactile ground surface indicators missing from pram ramp.

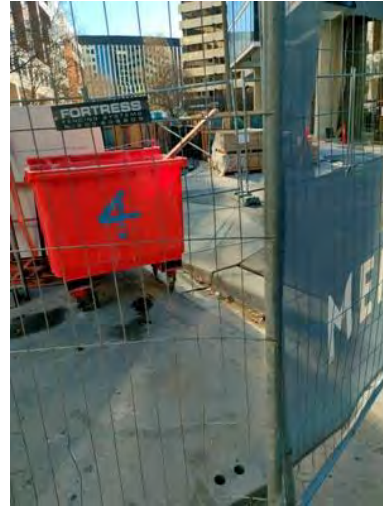
Construction materials in the Stage 1 TCCS Operational Acceptance area.

24

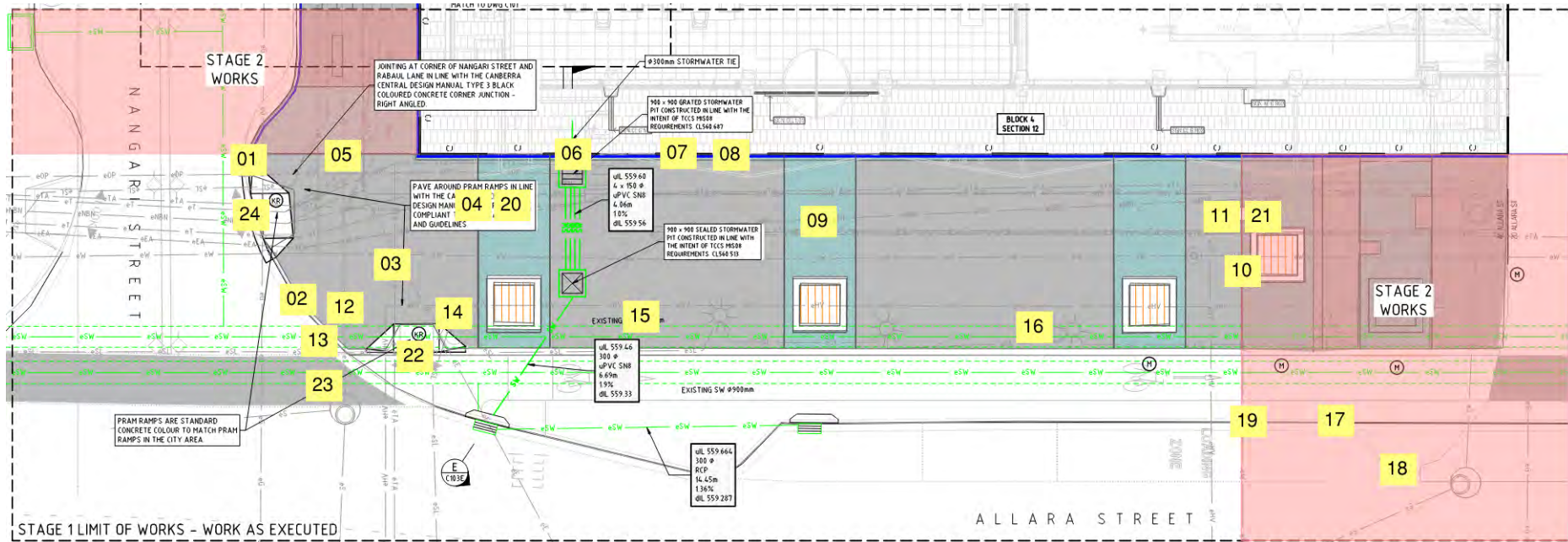
Rectification:

Meriton Group are to install the tactile ground surface indicators.

Meriton Group are to remove all construction materials from the Stage 1 TCCS Operational Acceptance area.



3. Defect Locality Maps



Company	Northrop	Date	24 July 2023
Attention	[REDACTED]	This Page +	3
From	[REDACTED]	Project No.	4734
Project	City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street City		
Subject	Landscape Works Site Inspection Report for Operational Acceptance Stage 1 Works		

dsb Landscape Architects

1.34 Level 1, 33 Allara Street, Canberra City, ACT, 2601
02 6285 1955 dsb@dsbla.com.au www.dsbla.com.au

Landscape Works Site Inspection Report

I am [REDACTED] Director of DSB Partners Pty Ltd trading as dsb Landscape Architects, 1.34 Level 1 33 Allara Street Canberra City ACT 2601.

Phone Number [REDACTED] and [REDACTED] Email [REDACTED]@dsbla.com.au

I am a director of dsb Landscape Architects. dsb Landscape Architects is a firm specialising in the provision of professional arborist and landscape architect related services.

I have prepared this site inspection report for Operational Acceptance of the Stage 1 Verge Works at 40 Allara Street Canberra City.

I have worked in Canberra and New South Wales in private practice and landscape construction as a professional Registered Landscape Architect for thirty-nine years.

I am a Member of the Australian Institute of Landscape Architects. I have been a Registered Landscape Architect #486 since January 7, 1990.

As Director of dsb Landscape Architects, I am responsible for and authorise release of arborist and landscape architecture reports and services.

Any opinions expressed by me in this statement are my own opinions. They have not been prescribed or prepared by any other person.

Project Title: City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works

Extent of Work: New shrub beds

Contractor: Complex Civil

Inspection Date: 24 July 2023

Inspection Purpose: Landscape Works Operational Acceptance

Attendees: [REDACTED] Northrop and [REDACTED] dsb Landscape Architects.

Elements Inspected: New shrub beds at the base of street trees and Lomandra planting at each (24No)

Compliance: The shrub bed and planting inspected comply with ACT Municipal Infrastructure Design Standards and MITS09. There are no outstanding works or defects.





24 July 2023

If we can be of any further assistance to you in regard to the project, please do not hesitate to contact me.

Regards,



Director dsb Landscape Architects

Registered Landscape Architect AILA #486



1. QUALITY ASSURANCE

Contact information:

DSB Partners Pty Ltd
Trading as dsb Landscape Architects
ABN 94 052 528 293

Directors: [REDACTED]

Canberra

1.34 Level 1
33 Allara Street
Canberra City ACT 2601

Melbourne

331/173 City Road
Southbank, VIC 3006

Phone: (02) 6285 1955

Email: dsb@dsbla.com.au

Web: www.dsbla.com.au

Quality assurance information

Report title: Landscape Site Inspection Report for Operational Acceptance _____

Job number: 4734 _____

Date: 24 July 2023 _____

Prepared by: [REDACTED] _____

Reviewed by: [REDACTED] _____

Issue history

Issue Number	Issue Date	Details	Authorised by
1	24 July 2023	OA Landscape Site Inspection	[REDACTED]



Appendix G: SMEC Inspection

Project Site:	City B4 S12	Date CCTV recording was made:	05/07/2023	Date CCTV was provided for assessment	20/07/2023
Name of Assessing Officer:	[REDACTED]				
CCTV was prepared by:	Digitin				
Consultant's name:	Northrop				
Contractor's Name:	Complex Civil				

Picture quality of CCTV information GOOD		Type of defects identified from the DVD	Location of defects	Anomalies and/or incorrect information in the report	Recommended Action	Name of recommending Officer	Time spent on assessment hours	Remarks
PIT No.	PIT No.							
Grated Pit 1	Gatic lid	Nil	Nil	Nil	Nil	[REDACTED]	2.0	
Grated Pit 3	Gatic lid	Nil	Nil	Nil	Nil			
Grated Pit 4	Gatic lid	Nil	Nil	Nil	Nil			
Gatic lid	Grated Pit 2	Nil	Nil	Nil	Nil			
Gatic lid	Grated Side Pit	Nil	Nil	Nil	Nil			



Inspection and Assessment Report - Site Inspection Report

26/07/2023

Project Site:	City B4 S12
Inspected by:	[REDACTED]
Developer:	Meriton Group
Consultant:	Northrop
Contractor:	Complex Civil

Date of Inspection:	Inspection by:
25/07/2023	[REDACTED]

Inspection						
SW Asset Type Inspected with location	Drawing Numbers	Criteria Assessed as per Attachment 2	Conformation Status Yes: Conformance No: non-conformance	Comments / Recommended Action	Recommending officer	Inspection hours*
1	Grated Sump	CR193036-06	Yes		[REDACTED]	3.0
2	Sealed Pit		Yes			

Appendix H: Asset Description Form

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4
Location (Street No/Name)	40 Allara Street
Consultant:	Northrop Consulting Engineers
Consultant Contact Person:	[REDACTED]
Developer:	Meriton Group
Contractor:	Complex Constructions
Gov. agency (if applicable)	N/A

List of Attached Asset Description Forms

Form No.	Description	No. of ADFsheets	Total \$
RD 1	Road Assets		\$0
RD 2	Path and Paving Assets	1	\$92,300
RD 3	Carpark Assets		\$0
RD 4	Street Lighting Assets		\$0
RD 5	Bridges & other Structural Assets		\$0
RD 6	Stormwater Assets	1	\$10,300
RD 7	Traffic Assets		\$0
RD 8	Bus Assets		\$0
LS 1	Soft Landscape Assets		\$0
LS 2	Fences and Landscape Barriers		\$0
LS 3	Landscape Structures		\$0
LS 4	Street and Park Furniture	1	\$6,000
LS 5	Landscape Signage		\$0
LS 6	Irrigation Assets		\$0
LS 7	Water Feature Assets		\$0
PG 1	Playground and fitness Assets		\$0
WSUD	Water Sensitive Urban Design		\$0
	Total		\$108,600

Other Attached Documentation

Documentation	No. of Sets
CCTV Report	1
CCTV DVD	N/A
Tie Books	1
WAE Drawings in Hardcopy Format	N/A
WAE Drawings in PDF Format	1
WAE Drawings in AutoCAD Format	1
Summary dwgs in autocad, pdf and in hard copy	1
Guide Sign Inventory Forms. Completed with Photos, Dwgs and Installation Details	N/A
Operation & Maintenance Manual	N/A
Locks and Keys	N/A
Summary of Construction Quality Records	1

Project:	Meriton Allara Street				
Suburb/section/block:	City/12/4				

surface types: concrete blocks, concrete, bitumen, pavers, wood, gravel, other

Carpark Assets (RD3) Total \$0

	Ground	Level 1	Level 2	Level 3	Level 4
Area (m ²)					

Access Type Subtotal \$0

Unrestricted					
Boom Gate					
Locked Gate					
Hours of Operation					
No of Parking Spaces Provided					

No of parking spaces provided Subtotal \$0

Car					
Motorcycle					
Disabled					
Taxi					
Loading Zone					
Bus					
Government Vehicles					
Diplomat					
Doctor					
Private					

Pay Parking Subtotal \$0

No. of Meters					
No. of Voucher Machines					
No. of Attendant Booths					
No. of Auto Pay Machines					
Lighting					

Lighting Subtotal \$0

Area Lighting					
---------------	--	--	--	--	--

Car park surface Subtotal \$0

Concrete					
Bitumen					
Gravel					
Pavers					
Grass					
Dirt					

Smart Parking Subtotal \$0

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
	New	Removed	Replaced	Modified
In ground indicators (qty)				
Overhead sensors (qty)				
Smartspot gateways (qty)				
LED signs (qty)				

On Road Street Lighting Assets (Form No RD4)

Total

\$0

No. of Street lights	Column Outreach arm (type, height, make)	Luminaire (type, make)	Globe (type, make, wattage)	Main Purpose for Lighting*
----------------------	--	------------------------	-----------------------------	----------------------------

New

Asset Numbers:				
Asset Numbers				
Asset Numbers				
Asset Numbers:				
Asset Numbers				

Modified

Asset Numbers				
Asset Numbers				
Asset Numbers				

Removed

Asset Numbers				
Asset Numbers				

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
Asset Numbers				

Off Road Street Lighting Assets (Form No RD4A)

Total

\$0

No. of Street lights	Column Outreach arm (type, height, make)	Luminaire (type, make)	Globe (type, make, wattage)	Main Purpose for Lighting*
----------------------	--	------------------------	-----------------------------	----------------------------

New

Asset Numbers				
Asset Numbers				
Asset Numbers				
Asset Numbers				
Asset Numbers				

Modified

Asset Numbers				
Asset Numbers				
Asset Numbers				

Removed

Asset Numbers				

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
Asset Numbers				
Asset Numbers				

Bridges, Structures and Road Safety Barriers (Form No. RD5) Total \$0

Bridges and other Structural Assets

Asset Type	New	Removed	Replaced	Modified
Bridges	Subtotal			\$0
No. of Bridges (see definitions below)				
Structures	Subtotal			\$0
Retaining Wall (m)				
Culverts	Subtotal			\$0
No. of Culverts (see definitions below)				

Bridge and Culvert Definitions: Only include bridges or culverts on this form with a clear span equal or greater than 1.8m or a waterway area greater than 3m². All others not meeting this definition are to be included on Form No. RD6 – Stormwater Assets Form.

Road Safety Barrier Assets

Asset Type	New	Removed	Replaced	Modified
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Barrier End Terminals Subtotal \$0

Type (include Brand and Model for Proprietary Systems)	New	Removed	Replaced	Modified

Barriers Subtotal \$0

Box Beam – Bridge Handrail (m)				
Wire Rope Fence (m)				

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
Pipe Over Concrete (m)				
Pipe Crash Barrier (m)				
Reinforced Concrete (m)				
Steel W Section (m)				
Box Steel Barrier (m)				
Timber Barrier (m)				
Other Barrier (m)				

Stormwater Assets (Form No. RD6)

Total

\$10,300

Asset type	New	Removed	Replaced	Modified
No. of Manholes	Subtotal			\$0
1050				
1050 > 3m depth				
1200				
1200 > 3m depth				
Special				
No. of Sumps	Subtotal			\$4,500
R				1
QS				
Plantation				
Special				
Other * (Grated)	2			

Bridge and Culvert Definitions: Only include bridges or culverts on this form with a clear span equal or smaller than 1.8m or a waterway area greater than 3m².

Type and Length of SW Pipes (m)	Subtotal			\$5,800
Stormwater Pipes				
225mm				
300mm	8			
Other Size	17			

Type and Length of Bridges and Culverts (m)	Subtotal			\$0
RCBC				

Length of Ties (m)	Subtotal			\$0

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
100mm Ties				
150mm Ties				
Other Size Ties				

No. of End Walls	Subtotal			\$0
End Walls				

No. of Intake Structures	Subtotal			\$0
Intake Structure				

Stormwater Assets (Form No. RD6) continue

Asset type	New	Removed	Replaced	Modified
-------------------	------------	----------------	-----------------	-----------------

Length of Cut-off Drains (m)	Subtotal			\$0
Open Concrete Invert				
Concrete Lined				
Stone Pitched				
Grout Mat				
Geotextiles				
Rock filled wire mattress				
Grassed				
other				

No. of Gross Pollutant Traps	Subtotal			\$0
Major GPT				
Minor GPT				
Other				

Other S\W assets	Subtotal			\$0
Dam, Weir, Pond				

Embankment Details

* Grated sump = size of grate and supplier/manufacturer.

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4

Traffic Assets (Form No. RD7)

Total

\$0

Approved TCD No.:

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

No. of Regulatory signs

Subtotal

\$0

Stop (R1-1)				
Give Way (R1-2)				
Roundabout (R1-3)				
Keep Left (Right) (R2-3)				
Parking				
Speed Limit (R4-1)				
No Entry				
No Exit				
One Way				
Other				

Warning Signs

Subtotal

\$0

Warning Signs				
---------------	--	--	--	--

Guide signs

Subtotal

\$0

Guide Sign Asset Numbers				
Street name signs				
Others				

Signalised Intersections

Subtotal

\$0

No. of Signalised Intersections				
---------------------------------	--	--	--	--

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
No. of Roundabout Metering Signals				

No. of Pedestrian and cycle priority Crossings	Subtotal			\$0
Zebra Crossing				
Zebra Crossing With Flashing Amber				
Pedestrian Actuated Traffic Lights – (mid-block only)				
Raised Platform				
School Crossing				
Cycle priority crossings				

Linemarking	Subtotal			\$0
Length of Linemarking				

Bus Assets (Form No. RD8)	Total			\$0
Asset type	New	Removed	Modified	
Bus Stops with Shelters				
Bus Stops without Shelters				

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4

Soft Landscape Assets (Form No. LS1)

Total

\$0

Asset type	planted/ installed	removed
------------	--------------------	---------

Trees (& Related Infrastructure)

Subtotal

\$0

Exotic Trees planted as detailed * (No.)		
Native Trees planted as detailed * (No.)		
Watering Coils (No.)		
Tree Grate/Guard (No.)		
Root barriers (m)		
Permeable Paving Tree Surrounds (No.)		
* including top soil preparation, staking/tying, root director		

Planting Beds

Subtotal

\$0

Plants (unit/No.)		
Top soil / growing media (m ²)		
Organic mulch (m ²)		
In organic mulch (m ²)		
Water Meter Asset (unit/No.)		
Length of timber Edging (m)		
Length of concrete Edging (m)		
Length of plastic Edging (m)		
Length of metal edging (m)		
Length of Other Edging (m)		

Water plants

Subtotal

\$0

Edge zone (m ²)		
Margin zone (m ²)		
Water zone (m ²)		

Mulch other than planting beds

Subtotal

\$0

Organic mulch (m ²)		
In organic mulch (m ²)		

Grassing

Subtotal

\$0

Open space Irrigated Grassing (m ²)		
Open space Dryland Grassing (m ²)		
Open space Native Grassland (m ²)		
Verge Irrigated Grassing (m ²)		

Project:	Meriton Allara Street		
Suburb/section/block:	City/12/4		
Verge Dryland Grassing (m ²)			
Verge Native Grassland (m ²)			

Soft Landscape Assets (Form No. LS1) continue

Granite Areas	Subtotal	\$0
Rocks/boulders (m2)		
Decomposed Granite Gravel Areas (m ²)		
Timber Edging (m)		
Concrete Edging (m)		
Plastic Edging (m)		
Other Edging (m)		

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4

Fences & Landscape Barriers (Form No. LS2) Total \$0

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Fences Subtotal \$0

Mesh (m)				
Pipe Railing (m)				
Stock Proof Fence (m)				
Timber (m)				
Steel Balustrade (m)				
Sheet metal (m)				
Other (m)				

No. of Gates Subtotal \$0

Agricultural				
Ranger Gate				
Heavy Duty Vehicle Access				
Cavalletti				
Automatic				
Boom Gate				
Other				

Bollards/Barriers Subtotal \$0

Log Barriers				
Log Bollards				
Metal Bollards				
Plastic Bollards				
Concrete Bollards				
Other				

Walls Within Parks (Structural) Subtotal \$0

Concrete Walls (lm) or (m2)				
Brick Walls (m)				
Other Walls (m)				

Walls Within Parks (Non-structural) Subtotal \$0

Concrete Walls (m)				
Brick Walls (m)				
Other Walls (m)				

Screens Subtotal \$0

Project:	Meriton Allara Street			
Suburb/section/block:	City/12/4			
No. of Screens (specify material)				

Landscape Structures (Form No. LS3)

Total

\$0

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Automatic Toilets – Unisex Facility

Subtotal

\$0

Model Name				
No. of Units				
Water Meter Asset No. for Toilets				

Toilet Block – Standard Public Facility

Subtotal

\$0

No. of Female Cubicles				
No. of Male Cubicles				
No. of Urinals				
No. of Disabled Cubicles				
Water Meter Asset No. for Toilets				

Park Shelters

Subtotal

\$0

No. of Concrete Shelters				
No. of Brick shelters				
No. of Metal Shelters				
No. of Other shelters				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Sails

Subtotal

\$0

No. of Sails (specify material)				
---------------------------------	--	--	--	--

Waste Enclosures

Subtotal

\$0

No. of Concrete Waste Enclosures				
No. of Brick Waste Enclosures				
No. of Timber Waste Enclosures				
No. of Metal Waste Enclosures				

Artworks

Subtotal

\$0

No. of Sculptures				
No. of Murals				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4

Other (incl stairs, lake structures, boardwalks, stages and decks) Subtotal \$0

Description				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Landscape Street & Park Furniture (Form No. LS4) Total \$6,000

Asset type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Gas Barbecues Subtotal \$0

No. of Single Hotplates				
No. of Double Hotplates				
Meter Identification No.				

Electric Barbecues Subtotal \$0

No. of Single Hotplates				
No. of Double Hotplates				
Meter Identification No.				

Seats Subtotal \$0

No. of all Ability Seats				
No. of Metal Seats				
No. of Timber Seats				
No. of Plastic Seats				
No. of Concrete Seats				

Benches (no back-rest) Subtotal \$0

No. of all Ability Benches				
No. of Metal Benches				
No. of Timber Benches				
No. of Concrete Benches				
No. of Plastic Benches				

Tables settings Subtotal \$0

No. of all Ability Table setting				
No. of Metal Table settings				
No. of Timber Table settings				
No. of Concrete Table settings				
No. of Plastic Table settings				

Waste Receptacles Subtotal \$0

No. of 120L Wheelie Bins				
No. of 240L Wheelie Bins				
No. of Bin Stands				
No. of Hand-bins				
No of bin shrouds				

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4

Rails	Subtotal	\$0
No. of Metal Handrails		
No. of Timber Handrails		

Bike racks (description and No.)	Subtotal	\$6,000
As per the Canberra Central Design Manual		4

Landscape Signage (Form No. LS5) Total **\$0**

Asset type	New	Removed	Replaced	Modified
No. of Identificational				
No. of Directional				
No. of Information				
No. of Poster Silos				
No of community notice boards				

Irrigation Assets (Form No. LS6) Total **\$0**

Controller	Subtotal	\$0
Model		
Manufacture		

Sprinkler Heads	Subtotal	\$0
Manufacturer		
Total No. of Sprinkler Heads		

Zones	Subtotal	\$0
No. of Zones		
No. of Valves		

Water supply	Subtotal	\$0
potable		
non potable		

Pump	Subtotal	\$0
Model		
Manufacture		

Project:	Meriton Allara Street
Suburb/section/block:	City/12/4
Water meter	Subtotal \$0
Asset number	

Pipe (type and length in m)	Subtotal \$0

Water Feature Assets (Form No. LS7) Total \$0

Ponds	Subtotal \$0
Perimeter (m)	
Area (m ²)	
Pump Model (if applicable)	

Wetlands	Subtotal \$0
Perimeter (m)	
Area (m ²)	
Pump Model (if applicable)	
Water meter number	

Fountains	Subtotal \$0
Name/description of Fountain	
Water meter number	

Drinking Fountain	Subtotal \$0
No. of All Ability drinking fountains	
No. of other Drinking Fountains	

Water Sensitive Urban Design	Subtotal \$0
Raingardens (m ²)	
Sediment basins (m ²)	
Bio retention swales (m ²)	
Sand filters (m ²)	
Swale/buffer systems (m ²)	

Project:	Meriton Allara Street				
Suburb/section/block:	City/12/4				
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
				Total cost	\$0

Bioretention

Total

\$0

Asset type	Unit	New	Removed	Replaced	Modified
------------	------	-----	---------	----------	----------

Material		Subtotal			\$0
Basin footprint	m2				
Filter media	m2				
Filter media depth	m				
Transition layer	m2				
Transition layer depth	m				
Drainage layer	m2				
Drainage layer depth	m				
Geosynthetic clay liner	m2				
Clay liner	m2				
Topsoil	m2				
Topsoil depth	m				

Pipes		Subtotal			\$0
Ag Pipe	m				
Ag Pipe	dia				
Inlet pipe	m				
Inlet pipe	dia				
Outlet pipe	m				
Outlet pipe	dia				
Overflow pipe	m				
Overflow pipe	dia				
Irrigation rising main	m				
Irrigation rising main	dia				
Other pipe	m				
Other pipe	dia				

Structures		Subtotal			\$0
Outlet strucutres	no.				
Outlet strucutres	type				
Inlet structures	no.				
Inlet structures	type				
Diversion structures	no.				
Diversion structures	type				
Manholes	no.				
Manholes	dia				

Project:	Meriton Allara Street				
Suburb/section/block:	City/12/4				
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Other structures	no.				
Other structures	type				

Pumps		Subtotal			\$0
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				

Planting		Subtotal			\$0
Filter media plants	no.				
Basin plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Wetlands			Total		\$0
Asset type	Unit	New	Removed	Replaced	Modified

Wetland		Subtotal			\$0
Sediment forebay	m2				
Edge zone	m2				
Shallow marsh	m2				
Deep marsh	m2				
Submerged zone	m2				
Deep water zone	m2				

Material		Subtotal			\$0
Geosynthetic clay liner	m2				
Clay liner	m2				
Topsoil	m2				
Topsoil depth	m				
Rock weir	m2				
Rock weir depth	m				

Pipes		Subtotal			\$0
Inlet pipe	m				
Inlet pipe	dia				
Outlet pipe	m				
Outlet pipe	dia				
Overflow pipe	m				
Overflow pipe	dia				
Irrigation rising main	m				
Irrigation rising main	dia				
Other pipe	m				
Other pipe	dia				

Structures		Subtotal			\$0
Outlet strucutres	no.				
Outlet strucutres	type				
Inlet structures	no.				
Inlet structures	type				
Diversion structures	no.				
Diversion structures	type				
Manholes	no.				
Manholes	dia				

Project:	Meriton Allara Street				
Suburb/section/block:	City/12/4				
Overflow weir	m				
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Sediment dewatering area	m2				
Other structures	no.				
Other structures	type				

Pumps		Subtotal			\$0
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				

Planting		Subtotal			\$0
Edge zone plants	no.				
Shallow marsh plants	no.				
Deep march plants	no.				
Submerged zone plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Pond		Total			\$0
Asset type	Unit	New	Removed	Replaced	Modified

Pond		Subtotal			\$0
Inlet zone	m2				
Deep water zone	m2				
Edge zone	m2				
Litoral zone	m2				

Material		Subtotal			\$0
Geosynthetic clay liner	m2				
Clay liner	m2				
Topsoil	m2				
Topsoil depth	m				

Pipes		Subtotal			\$0
Inlet pipe	m				
Inlet pipe	dia				
Outlet pipe	m				
Outlet pipe	dia				
Overflow pipe	m				
Overflow pipe	dia				
Irrigation rising main	m				
Irrigation rising main	dia				
Other pipe	m				
Other pipe	dia				

Structures		Subtotal			\$0
Outlet strucutres	no.				
Outlet strucutres	type				
Inlet structures	no.				
Inlet structures	type				
Diversion structures	no.				
Diversion structures	type				
Manholes	no.				
Manholes	dia				

Project:	Meriton Allara Street				
Suburb/section/block:	City/12/4				
Overflow weir	m				
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Sediment dewatering area	m2				
Gabion blocks	no.				
Gabion block wall length	m				
Gabion block wall height	m				
Other structures	no.				
Other structures	type				
Pumps		Subtotal		\$0	
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				
Planting		Subtotal		\$0	
Edge zone plants	no.				
Litoral zone plants	no.				
Aquatic plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Project:	City Block 4 Section 12 DA 20203/7912 Tower Stage 1 Off Site Works 40 Allara Street City
Suburb/section/block:	
Location (Street No/Name)	40 Allara Street City
Consultant:	dsb Landscape Architects
Consultant Contact Person:	
Developer:	
Contractor:	Complex Civil
Gov. agency (if applicable)	

List of Attached Asset Description Forms

Form No.	Description	No. of ADFsheets	Total \$
RD 1	Road Assets		\$0
RD 2	Path and Paving Assets		\$0
RD 3	Carpark Assets		\$0
RD 4	Street Lighting Assets		\$0
RD 5	Bridges & other Structural Assets		\$0
RD 6	Stormwater Assets		\$0
RD 7	Traffic Assets		\$0
RD 8	Bus Assets		\$0
LS 1	Soft Landscape Assets	1	\$20,000
LS 2	Fences and Landscape Barriers		\$0
LS 3	Landscape Structures		\$0
LS 4	Street and Park Furniture		\$0
LS 5	Landscape Signage		\$0
LS 6	Irrigation Assets		\$0
LS 7	Water Feature Assets		\$0
PG 1	Playground and fitness Assets		\$0
WSUD	Water Sensitive Urban Design		\$0
	Total		\$20,000

Other Attached Documentation

Documentation	No. of Sets
CCTV Report	
CCTV DVD	
Tie Books	
WAE Drawings in Hardcopy Format	1
WAE Drawings in PDF Format	1
WAE Drawings in AutoCAD Format	1
Summary dwgs in autocad, pdf and in hard copy	1
Guide Sign Inventory Forms. Completed with Photos, Dwgs and Installation Details	
Operation & Maintenance Manual	
Locks and Keys	
Summary of Construction Quality Records	

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40				
Suburb/section/block:	Allara Street City				

Path and Paving Assets (Form No. RD2)

Total cost \$

\$0

Path Area By Surface Type

Subtotal

\$0

Location	Surface Type*	Width (m)	Length (m)

Paving Area By Surface Type

Subtotal

\$0

Location	Surface Type*	Area (m ²)

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40				
Suburb/section/block:	Allara Street City				

surface types: concrete blocks, concrete, bitumen, pavers, wood, gravel, other

Carpark Assets (RD3) Total \$0

	Ground	Level 1	Level 2	Level 3	Level 4
Area (m ²)					

Access Type Subtotal \$0

Unrestricted					
Boom Gate					
Locked Gate					
Hours of Operation					
No of Parking Spaces Provided					

No of parking spaces provided Subtotal \$0

Car					
Motorcycle					
Disabled					
Taxi					
Loading Zone					
Bus					
Government Vehicles					
Diplomat					
Doctor					
Private					

Pay Parking Subtotal \$0

No. of Meters					
No. of Voucher Machines					
No. of Attendant Booths					
No. of Auto Pay Machines					
Lighting					

Lighting Subtotal \$0

Area Lighting					
---------------	--	--	--	--	--

Car park surface Subtotal \$0

Concrete					
Bitumen					
Gravel					
Pavers					
Grass					
Dirt					

Smart Parking Subtotal \$0

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
Suburb/section/block:	Allara Street City			

	New	Removed	Replaced	Modified
In ground indicators (qty)				
Overhead sensors (qty)				
Smartspot gateways (qty)				
LED signs (qty)				

On Road Street Lighting Assets (Form No RD4)

Total

\$0

No. of Street lights	Column Outreach arm (type, height, make)	Luminaire (type, make)	Globe (type, make, wattage)	Main Purpose for Lighting*
----------------------	--	------------------------	-----------------------------	----------------------------

New

Asset Numbers:				
Asset Numbers				
Asset Numbers				
Asset Numbers				
Asset Numbers:				
Asset Numbers				

Modified

Asset Numbers				
Asset Numbers				
Asset Numbers				

Removed

Asset Numbers				
Asset Numbers				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
	Allara Street City			
Suburb/section/block:				
Asset Numbers				

Off Road Street Lighting Assets (Form No RD4A)

Total

\$0

No. of Street lights	Column Outreach arm (type, height, make)	Luminaire (type, make)	Globe (type, make, wattage)	Main Purpose for Lighting*
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New

Asset Numbers				
Asset Numbers				
Asset Numbers				
Asset Numbers				
Asset Numbers				

Modified

Asset Numbers				
Asset Numbers				
Asset Numbers				

Removed

Asset Numbers				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
	Allara Street City			
Suburb/section/block:				
Asset Numbers				
Asset Numbers				

Bridges, Structures and Road Safety Barriers (Form No. RD5) Total \$0

Bridges and other Structural Assets

Asset Type	New	Removed	Replaced	Modified
Bridges	Subtotal			\$0
No. of Bridges (see definitions below)				
Structures	Subtotal			\$0
Retaining Wall (m)				
Culverts	Subtotal			\$0
No. of Culverts (see definitions below)				

Bridge and Culvert Definitions: Only include bridges or culverts on this form with a clear span equal or greater than 1.8m or a waterway area greater than 3m². All others not meeting this definition are to be included on Form No. RD6 – Stormwater Assets Form.

Road Safety Barrier Assets

Asset Type	New	Removed	Replaced	Modified
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Barrier End Terminals Subtotal \$0

Type (include Brand and Model for Proprietary Systems)	New	Removed	Replaced	Modified

Barriers Subtotal \$0

Box Beam – Bridge Handrail (m)				
Wire Rope Fence (m)				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
Suburb/section/block:	Allara Street City			
Pipe Over Concrete (m)				
Pipe Crash Barrier (m)				
Reinforced Concrete (m)				
Steel W Section (m)				
Box Steel Barrier (m)				
Timber Barrier (m)				
Other Barrier (m)				

Stormwater Assets (Form No. RD6)

Total

\$0

Asset type	New	Removed	Replaced	Modified
No. of Manholes	Subtotal			\$0
1050				
1050 > 3m depth				
1200				
1200 > 3m depth				
Special				
No. of Sumps	Subtotal			\$0
R				
QS				
Plantation				
Special				
Other * (Grated)				

Bridge and Culvert Definitions: Only include bridges or culverts on this form with a clear span equal or smaller than 1.8m or a waterway area greater than 3m².

Type and Length of SW Pipes (m)	Subtotal			\$0
Stormwater Pipes				
225mm				
300mm				
Other Size				

Type and Length of Bridges and Culverts (m)	Subtotal			\$0
RCBC				

Length of Ties (m)	Subtotal			\$0
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Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
Suburb/section/block:	Allara Street City			
100mm Ties				
150mm Ties				
Other Size Ties				

No. of End Walls	Subtotal			\$0
End Walls				

No. of Intake Structures	Subtotal			\$0
Intake Structure				

Stormwater Assets (Form No. RD6) continue

Asset type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Length of Cut-off Drains (m)	Subtotal			\$0
Open Concrete Invert				
Concrete Lined				
Stone Pitched				
Grout Mat				
Geotextiles				
Rock filled wire mattress				
Grassed				
other				

No. of Gross Pollutant Traps	Subtotal			\$0
Major GPT				
Minor GPT				
Other				

Other S\W assets	Subtotal			\$0
Dam, Weir, Pond				

Embankment Details

* Grated sump = size of grate and supplier/manufacturer.

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Traffic Assets (Form No. RD7)

Total

\$0

Approved TCD No.:

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

No. of Regulatory signs

Subtotal

\$0

Stop (R1-1)				
Give Way (R1-2)				
Roundabout (R1-3)				
Keep Left (Right) (R2-3)				
Parking				
Speed Limit (R4-1)				
No Entry				
No Exit				
One Way				
Other				

Warning Signs

Subtotal

\$0

Warning Signs				
---------------	--	--	--	--

Guide signs

Subtotal

\$0

Guide Sign Asset Numbers				
Street name signs				
Others				

Signalised Intersections

Subtotal

\$0

No. of Signalised Intersections				
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Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
Suburb/section/block:	Allara Street City			
No. of Roundabout Metering Signals				

No. of Pedestrian and cycle priority Crossings	Subtotal			\$0
Zebra Crossing				
Zebra Crossing With Flashing Amber				
Pedestrian Actuated Traffic Lights – (mid-block only)				
Raised Platform				
School Crossing				
Cycle priority crossings				

Linemarking	Subtotal			\$0
Length of Linemarking				

Bus Assets (Form No. RD8)	Total			\$0
Asset type	New	Removed	Modified	
Bus Stops with Shelters				
Bus Stops without Shelters				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Soft Landscape Assets (Form No. LS1) Total \$20,000

Asset type	planted/ installed	removed
------------	--------------------	---------

Trees (& Related Infrastructure)

Subtotal

\$0

Exotic Trees planted as detailed * (No.)		
Native Trees planted as detailed * (No.)		
Watering Coils (No.)		
Tree Grate/Guard (No.)		
Root barriers (m)		
Permeable Paving Tree Surrounds (No.)		
* including top soil preparation, staking/tying, root director		

Planting Beds

Subtotal

\$20,000

Plants (unit/No.)	72	
Top soil / growing media (m ²)	17	
Organic mulch (m ²)	2	
In organic mulch (m ²)		
Water Meter Asset (unit/No.)		
Length of timber Edging (m)		
Length of concrete Edging (m)		
Length of plastic Edging (m)		
Length of metal edging (m)		
Length of Other Edging (m)		

Water plants

Subtotal

\$0

Edge zone (m ²)		
Margin zone (m ²)		
Water zone (m ²)		

Mulch other than planting beds

Subtotal

\$0

Organic mulch (m ²)		
In organic mulch (m ²)		

Grassing

Subtotal

\$0

Open space Irrigated Grassing (m ²)		
Open space Dryland Grassing (m ²)		
Open space Native Grassland (m ²)		
Verge Irrigated Grassing (m ²)		

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40		
Suburb/section/block:	Allara Street City		
Verge Dryland Grassing (m ²)			
Verge Native Grassland (m ²)			

Soft Landscape Assets (Form No. LS1) continue

Granite Areas	Subtotal	\$0
Rocks/boulders (m2)		
Decomposed Granite Gravel Areas (m ²)		
Timber Edging (m)		
Concrete Edging (m)		
Plastic Edging (m)		
Other Edging (m)		

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Fences & Landscape Barriers (Form No. LS2) Total \$0

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Fences Subtotal \$0

Mesh (m)				
Pipe Railing (m)				
Stock Proof Fence (m)				
Timber (m)				
Steel Balustrade (m)				
Sheet metal (m)				
Other (m)				

No. of Gates Subtotal \$0

Agricultural				
Ranger Gate				
Heavy Duty Vehicle Access				
Cavalletti				
Automatic				
Boom Gate				
Other				

Bollards/Barriers Subtotal \$0

Log Barriers				
Log Bollards				
Metal Bollards				
Plastic Bollards				
Concrete Bollards				
Other				

Walls Within Parks (Structural) Subtotal \$0

Concrete Walls (lm) or (m2)				
Brick Walls (m)				
Other Walls (m)				

Walls Within Parks (Non-structural) Subtotal \$0

Concrete Walls (m)				
Brick Walls (m)				
Other Walls (m)				

Screens Subtotal \$0

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40			
Suburb/section/block:	Allara Street City			
No. of Screens (specify material)				

Landscape Structures (Form No. LS3)

Total

\$0

Asset Type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Automatic Toilets – Unisex Facility

Subtotal

\$0

Model Name				
No. of Units				
Water Meter Asset No. for Toilets				

Toilet Block – Standard Public Facility

Subtotal

\$0

No. of Female Cubicles				
No. of Male Cubicles				
No. of Urinals				
No. of Disabled Cubicles				
Water Meter Asset No. for Toilets				

Park Shelters

Subtotal

\$0

No. of Concrete Shelters				
No. of Brick shelters				
No. of Metal Shelters				
No. of Other shelters				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Sails

Subtotal

\$0

No. of Sails (specify material)				
---------------------------------	--	--	--	--

Waste Enclosures

Subtotal

\$0

No. of Concrete Waste Enclosures				
No. of Brick Waste Enclosures				
No. of Timber Waste Enclosures				
No. of Metal Waste Enclosures				

Artworks

Subtotal

\$0

No. of Sculptures				
No. of Murals				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Other (incl stairs, lake structures, boardwalks, stages and decks) Subtotal \$0

Description				
Value (\$)	\$0.00	\$0.00	\$0.00	\$0.00

Landscape Street & Park Furniture (Form No. LS4) Total \$0

Asset type	New	Removed	Replaced	Modified
------------	-----	---------	----------	----------

Gas Barbecues Subtotal \$0

No. of Single Hotplates				
No. of Double Hotplates				
Meter Identification No.				

Electric Barbecues Subtotal \$0

No. of Single Hotplates				
No. of Double Hotplates				
Meter Identification No.				

Seats Subtotal \$0

No. of all Ability Seats				
No. of Metal Seats				
No. of Timber Seats				
No. of Plastic Seats				
No. of Concrete Seats				

Benches (no back-rest) Subtotal \$0

No. of all Ability Benches				
No. of Metal Benches				
No. of Timber Benches				
No. of Concrete Benches				
No. of Plastic Benches				

Tables settings Subtotal \$0

No. of all Ability Table setting				
No. of Metal Table settings				
No. of Timber Table settings				
No. of Concrete Table settings				
No. of Plastic Table settings				

Waste Receptacles Subtotal \$0

No. of 120L Wheelie Bins				
No. of 240L Wheelie Bins				
No. of Bin Stands				
No. of Hand-bins				
No of bin shrouds				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Rails	Subtotal	\$0
No. of Metal Handrails		
No. of Timber Handrails		

Bike racks (description and No.)	Subtotal	\$0

Landscape Signage (Form No. LS5) Total **\$0**

Asset type	New	Removed	Replaced	Modified
No. of Identificational				
No. of Directional				
No. of Information				
No. of Poster Silos				
No of community notice boards				

Irrigation Assets (Form No. LS6) Total **\$0**

Controller	Subtotal	\$0
Model		
Manufacture		

Sprinkler Heads	Subtotal	\$0
Manufacturer		
Total No. of Sprinkler Heads		

Zones	Subtotal	\$0
No. of Zones		
No. of Valves		

Water supply	Subtotal	\$0
potable		
non potable		

Pump	Subtotal	\$0
Model		
Manufacture		

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40
Suburb/section/block:	Allara Street City

Water meter	Subtotal	\$0
Asset number		

Pipe (type and length in m)	Subtotal	\$0

Water Feature Assets (Form No. LS7) Total \$0

Ponds	Subtotal	\$0
Perimeter (m)		
Area (m ²)		
Pump Model (if applicable)		

Wetlands	Subtotal	\$0
Perimeter (m)		
Area (m ²)		
Pump Model (if applicable)		
Water meter number		

Fountains	Subtotal	\$0
Name/description of Fountain		
Water meter number		

Drinking Fountain	Subtotal	\$0
No. of All Ability drinking fountains		
No. of other Drinking Fountains		

Water Sensitive Urban Design	Subtotal	\$0
Raingardens (m ²)		
Sediment basins (m ²)		
Bio retention swales (m ²)		
Sand filters (m ²)		
Swale/buffer systems (m ²)		

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40				
	Allara Street City				
Suburb/section/block:					
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Other structures	no.				
Other structures	type				

Pumps		Subtotal			\$0
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				

Planting		Subtotal			\$0
Filter media plants	no.				
Basin plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Wetlands		Total			\$0
Asset type	Unit	New	Removed	Replaced	Modified

Wetland		Subtotal			\$0
Sediment forebay	m2				
Edge zone	m2				
Shallow marsh	m2				
Deep marsh	m2				
Submerged zone	m2				
Deep water zone	m2				

Material		Subtotal			\$0
Geosynthetic clay liner	m2				
Clay liner	m2				
Topsoil	m2				
Topsoil depth	m				
Rock weir	m2				
Rock weir depth	m				

Pipes		Subtotal			\$0
Inlet pipe	m				
Inlet pipe	dia				
Outlet pipe	m				
Outlet pipe	dia				
Overflow pipe	m				
Overflow pipe	dia				
Irrigation rising main	m				
Irrigation rising main	dia				
Other pipe	m				
Other pipe	dia				

Structures		Subtotal			\$0
Outlet strucutres	no.				
Outlet strucutres	type				
Inlet structures	no.				
Inlet structures	type				
Diversion structures	no.				
Diversion structures	type				
Manholes	no.				
Manholes	dia				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40				
Suburb/section/block:	Allara Street City				
Overflow weir	m				
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Sediment dewatering area	m2				
Other structures	no.				
Other structures	type				

Pumps		Subtotal			\$0
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				

Planting		Subtotal			\$0
Edge zone plants	no.				
Shallow marsh plants	no.				
Deep march plants	no.				
Submerged zone plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Pond		Total			\$0
Asset type	Unit	New	Removed	Replaced	Modified

Pond		Subtotal			\$0
Inlet zone	m2				
Deep water zone	m2				
Edge zone	m2				
Litoral zone	m2				

Material		Subtotal			\$0
Geosynthetic clay liner	m2				
Clay liner	m2				
Topsoil	m2				
Topsoil depth	m				

Pipes		Subtotal			\$0
Inlet pipe	m				
Inlet pipe	dia				
Outlet pipe	m				
Outlet pipe	dia				
Overflow pipe	m				
Overflow pipe	dia				
Irrigation rising main	m				
Irrigation rising main	dia				
Other pipe	m				
Other pipe	dia				

Structures		Subtotal			\$0
Outlet strucutres	no.				
Outlet strucutres	type				
Inlet structures	no.				
Inlet structures	type				
Diversion structures	no.				
Diversion structures	type				
Manholes	no.				
Manholes	dia				

Project:	City Block 4 Section 12 DA 202037912 Tower Stage 1 Off Site Works 40				
Suburb/section/block:	Allara Street City				
Overflow weir	m				
GPTs	no.				
GPTs	type				
Storage tanks	no.				
Storage tanks	size				
Sediment dewatering area	m2				
Gabion blocks	no.				
Gabion block wall length	m				
Gabion block wall height	m				
Other structures	no.				
Other structures	type				
Pumps		Subtotal			\$0
Irrigation pumps	no.				
Irrigation pumps	model				
Irrigation pumps	manufacturer				
Planting		Subtotal			\$0
Edge zone plants	no.				
Litoral zone plants	no.				
Aquatic plants	no.				
Organic mulch	m2				
Inorganic mulch	m2				

Appendix I: Construction Quality Records

Summary of Construction Quality Records

Re: Operational Acceptance Submission (Stage 1) – Section 12 Block 4, City

Being the coordinator of the documentation for the abovementioned project, Northrop confirm that the following information are available upon request:

- Northrop site photos during construction;
- Contractor site photos during construction;
- Stormwater tie CCTV,
- SMEC Inspection report;
- Compaction test reports;
- Concrete mix specification;
- Concrete delivery dockets;
- Pre-pour inspection records;
- Concrete strength testing records;
- Work as executed survey;
- Contractor's hold points release forms; and
- Email correspondence.



Appendix J: List of Drawings and revision numbers

CR193036-06_EC03 Appendix J Operational Acceptance Drawing list

List of drawings included in OA submission

Block 4, Section 12 City

Stage 1

Drawing No.	Drawing Title	Revision
C000	Cover Sheet	5
C001	Notes	6
C002	Details	5
C060	General Arrangement Plan	B
C102	Offsite Plan 3 of 3 Allara Street	B
C103E	Stormwater Long Section	B
C104	Pavement and Stormwater Notes	4
C200	Summary Drawing	A
-	Tie & Depths Plan	A
LPD000	Cover Page	H
LPD001	Specification	F
LPD002	Details	F
LPD003	Details	E
LPD200	Landscape Public Domain Plan	H
4743-WAE	40 Allara Street WAE Summary	A

Appendix K: Correspondence



ACT
Government

Transport Canberra and
City Services

ACKNOWLEDGEMENT OF FEES

Project Title: **Process Variation for - Block 4 Section 12 City**
40 Allara Street Canberra
Project Description: **Staging of Public Domain Works**

We Karimbla Properties (No.57) Pty Ltd acknowledge the fee of \$3,715.20 for Process Variation for **Block 4 Section 12 City** as per Submissions and Inspections Guideline Principles and Related Fees and Charges for TCCS and Industry.

Contact name



On behalf of

Karimbla Properties (No.57) Pty Ltd

Signature



Date

26/4/23

Invoice details;

- Customer billing contact; 
- Customer phone; 
- Customer email; @meriton.com.au
- Address ; Level 11, 528 Kent Street Sydney 2000
- ABN number; 80 604 350 898

From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Sent: Wednesday, 26 April 2023 8:50 AM
To: [REDACTED]
Cc: TCCS_PC POSTDACOORD
Subject: CR193036 Meriton Allara Street Block 4, Section 12 City Enquiry.
Attachments: CR193036-06-C060 General Arrangement Plan [8].pdf; Acknowledgement of fees - Staging.doc

OFFICIAL

CR193036 Meriton Allara Street Block 4, Section 12 City Enquiry.

This staging proposal is OK. Thus you can stage the OA as per proposal below and attached plan, however if you want to proceed with the two separate, staged Operational Acceptance submissions as proposed, this will incur fees. TCCS Fees and Charges fee is \$3715.20 and fill up and return the attached Acknowledgement of fees – Staging document.

Processing developer requested staged (approval/submission) residential, industrial and commercial developments

Description of matter for which fee is payable	Previous fees payable in 2021-2022	Fees payable from 1 July 2022
Each request	\$3,598.25	\$3,715.20

Regards
Lingam Jatheendran
& Matti Kovalainen

From: [REDACTED] <[REDACTED]@northrop.com.au>
Sent: Thursday, 20 April 2023 3:39 PM
To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Subject: CR193036 Meriton Allara Street Block 4, Section 12 City

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Hi Matti,

Following on from our phone call 18/04/2023, see attached the staging plan for the offsite works at Block 4, Section 12 City.

Stage 1 works will include:

1. Paving works as illustrated on the sketch drawing of C060.
2. All street furniture works in the area as illustrated on the sketch drawing of C060.
3. The stormwater tie for the block.

Stage 1 works are due to be completed and signed off by TCCS (pending the approval of the Operational Acceptance documentation) to allow for guests who have already booked into the site in July.

Stage 2 works will include:

1. The balance of the verge works around the block including the driveways.
2. Road rectification works along Nangari Street.
3. Road and footpath rectification works along Rabaul Lane due to the Icon Water main relocation.

Stage 2 works are due to be completed by the timing of building occupancy, however the submission of the staged Operational Acceptance works will be provided to TCCS after building occupancy.

The reason behind the proposed staging is due to unforeseen delays on site, delays with material deliveries and to allow for the bookings already taken by Meriton Group to go ahead.

Meriton Group have confirmed they are able to provide a security/bank guarantee for the stage 2 works to ensure they are completed.

Could you confirm if the staged approach is acceptable to proceed with.

If you have any questions or would like to discuss, please do not hesitate to contact me.

Kind regards,

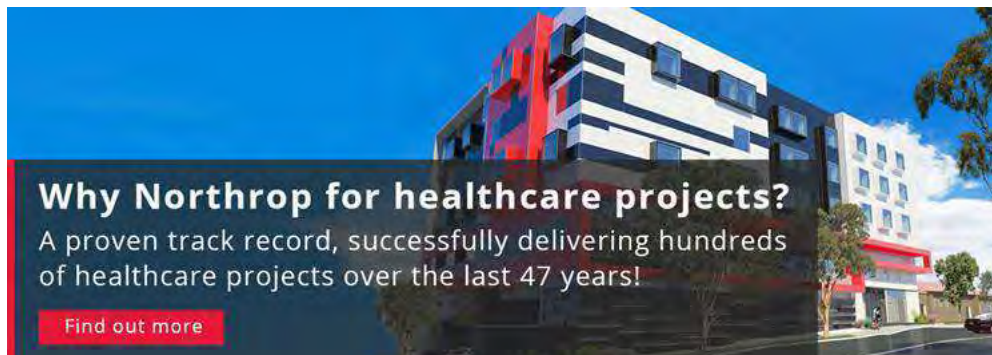
[Redacted]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [Redacted]
D [Redacted]

SAP House, Level 6, 224 Bunda Street (GPO Box 142)
Canberra ACT 2608

www.northrop.com.au



From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Sent: Tuesday, 4 April 2023 2:30 PM
To: [REDACTED] <[\[REDACTED\]@northrop.com.au](mailto:[REDACTED]@northrop.com.au)>
Subject: RE: CR193036 Meriton Allara Street Block 4, Section 12 City

OFFICIAL

[REDACTED]

RE: CR193036 Meriton Allara Street Block 4, Section 12 City.

From TCCS processing position this project is already under staged processing i.e. stage 1 DA-Basement work and stage 2 DA-Tower and above ground works. Please note any further staging is not possible as there are existing two EPSDD DA's.

Regards
Matti Kovalainen

From: [REDACTED] <[\[REDACTED\]@northrop.com.au](mailto:[REDACTED]@northrop.com.au)>
Sent: Thursday, 30 March 2023 3:31 PM
To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Subject: CR193036 Meriton Allara Street Block 4, Section 12 City

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Hi Matti,

Speaking with the client today, we have been informed that they are currently looking for a staged submission for the Operational Acceptance works.

Could you let us know if there are any forms and procedures to allow this to move forward.

Kind regards,

[REDACTED]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [REDACTED]
D [REDACTED]
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Canberra ACT 2608
www.northrop.com.au





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[REDACTED]

From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Sent: Thursday, 6 July 2023 9:31 AM
To: [REDACTED]@meriton.com.au
Subject: RE: CR193036 Block 4 Section 12 City TCD and TGSi Enquiry

OFFICIAL

[REDACTED]

RE: CR193036 Block 4 Section 12 City TCD and TGSi Enquiry.

1. As discussed, the existing TCD's removed for construction period, are to be reinstalled in the original position\locations as shown in the TCCS latest TCD's drawing. If there is any reposition\relocation required for the existing TCD's then please provide the revised TCD drawing according to TCCS standards for TCD's, for TCCS endorsement.
2. Please follow the TCCS EAN-09, note the installation of stainless steel and other metal TGSi are Not Supported to be used on public open space. Please select alternative TGSi that complement the Canberra City Central Manual material style\pallet and provides the colour difference visually to comply with Access Mobility Code.

Regards
Matti Kovalainen

From: [REDACTED]@northrop.com.au
Sent: Wednesday, 5 July 2023 12:44 PM
To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Cc: TCCS_DC DevelopmentCoordination <TCCS.DCDevelopmentCoordination@act.gov.au>; [REDACTED]
[REDACTED]k@meriton.com.au
Subject: RE: CR193036 Block 4 Section 12 City TCD and TGSi Enquiry

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Hi Matti,

Thanks for your time discussing the below.

As discussed, could you follow this up as soon as possible.

Kind regards,

[REDACTED]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [REDACTED]
D [REDACTED]

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Canberra ACT 2608
www.northrop.com.au

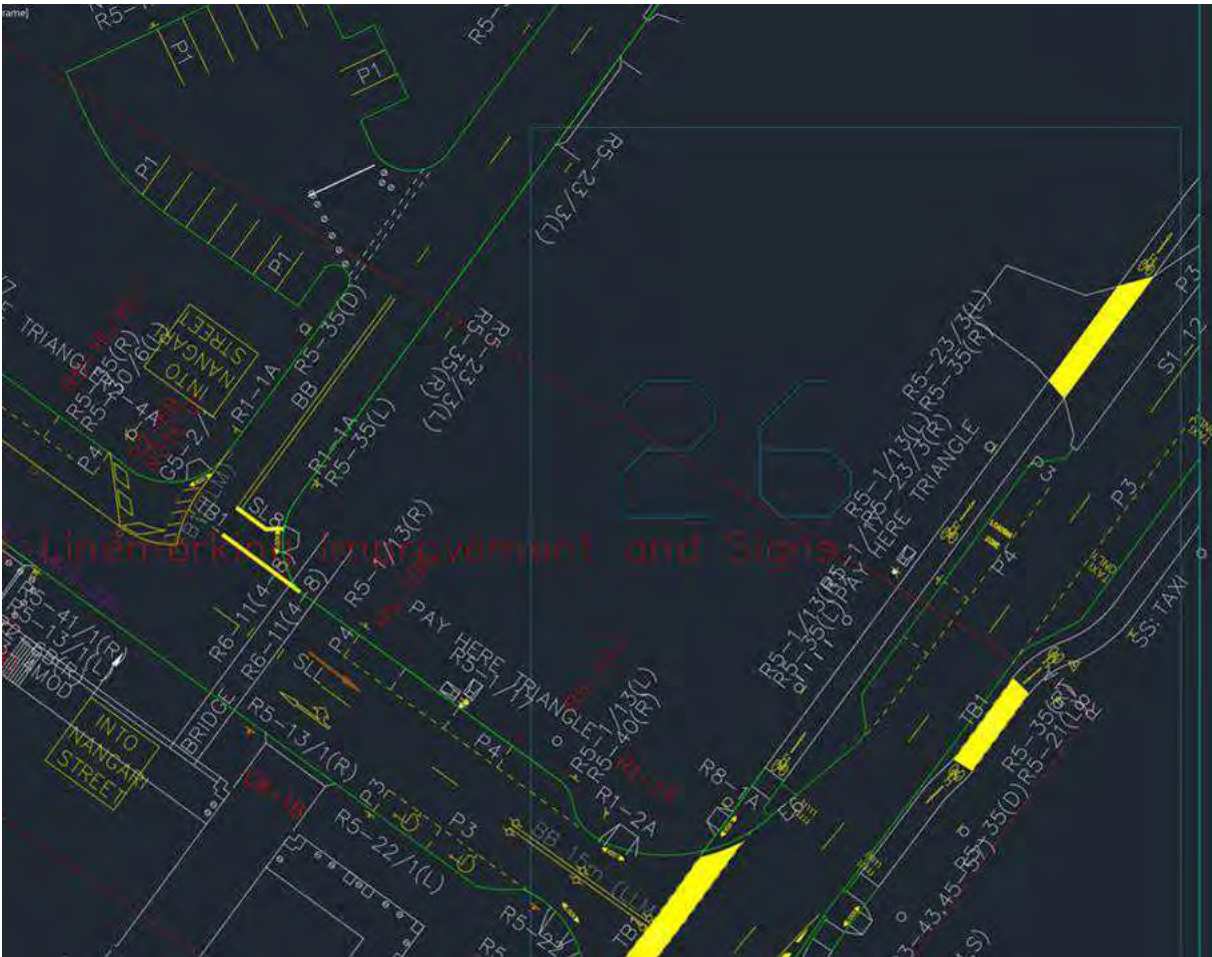


From: [REDACTED]
Sent: Tuesday, 4 July 2023 2:25 PM
To: Matti Kovalainen (Matti.Kovalainen@act.gov.au) <Matti.Kovalainen@act.gov.au>
Cc: #TCCS - DC - Development Co-ordination - Generic Mailbox <TCCS.DCDevelopmentCoordination@act.gov.au>; [REDACTED] <[\[REDACTED\]@meriton.com.au](mailto:[REDACTED]@meriton.com.au)>
Subject: CR193036 Block 4 Section 12 City TCD and TGSI Enquiry

Hi Matti,

I tried calling today in relation to Block 4, Section 12 City and could not get through to you.

TCD:
For the design review submission undertaken for the works, it was completed without the inclusion of Block 12, Section 18 City's driveway. Could you confirm that the reinstatement works for the Meriton works are completed in line with the latest TCD available on Projectwise.



Tactiles:

The Canberra Central Design Manual calls up stainless steel tactile indicators to be installed within the City Center.

Engineering Advisory Note EAN 9 calls up that stainless steel tactile indicators are not to be used.

We note that both stainless steel tactile indicators (as installed at the intersection of Bunda Street and Akuna Street) and integrated tactile indicators (not steel and as installed at the intersection of City Walk and Binara Street) have been used across the City Center.

Could TCCS please confirm which to use.

If you have any questions or would like to discuss, please do not hesitate to contact me.

Kind regards,

[Redacted Name]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [Redacted]
D [Redacted]

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[REDACTED]

From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Sent: Thursday, 2 March 2023 2:16 PM
To: [REDACTED]
Subject: FW: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.
Attachments: image022.emz; image025.emz; CR193036-06-C060 General Arrangement Plan [8].pdf; CR193036-06-C102 Off Site Works Plan Sheet 3 of 3 [8].pdf; CR193036-06-C103E Stormwater Tie Long Section [3].pdf; 2019 CR193036-06_Transmittal V2.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

OFFICIAL

[REDACTED]

FW: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

The proposed street furniture, paver and stormwater connection tie installations are acceptable. For the proposed stormwater connection tie, please consult the affected utilities and have their agreements before commencing the works and provide copies of the utilities agreements to TCCS.

Regards
Matti Kovalainen

From: [REDACTED]@northrop.com.au>
Sent: Monday, 27 February 2023 5:11 PM
To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>
Cc: [REDACTED]@meriton.com.au>; [REDACTED]@northrop.com.au>
Subject: RE: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

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Hi Matti,

Apologies the incorrect drawing was previously issued.

Please see attached drawing for approval in line with the below.

Kind regards,

██████████
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T ██████████
D ██████████

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Canberra ACT 2608

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From: ██████████

Sent: Monday, 27 February 2023 4:58 PM

To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>

Cc: ██████████ <@meriton.com.au>; ██████████ <@northrop.com.au>

Subject: RE: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

Hi Matti,

Please see the revised drawings attached.

We have revised the stormwater connection tie drawing to incorporate TCCS' comments.

We have shown the margin paver in line with the Canberra Central Design Manual.

Where a margin paver is not installed, the contractor will install an isolation joint between the kerb and concrete paving.

We will upload the drawings to Projectwise for TCCS' information as well.

If you have any questions or would like to discuss, please do not hesitate to contact me.

Kind regards,

██████████
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T ██████████
D ██████████



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From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>

Sent: Friday, 24 February 2023 1:30 PM

To: [REDACTED] <[\[REDACTED\]@northrop.com.au](mailto:[REDACTED]@northrop.com.au)>

Subject: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

OFFICIAL

City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

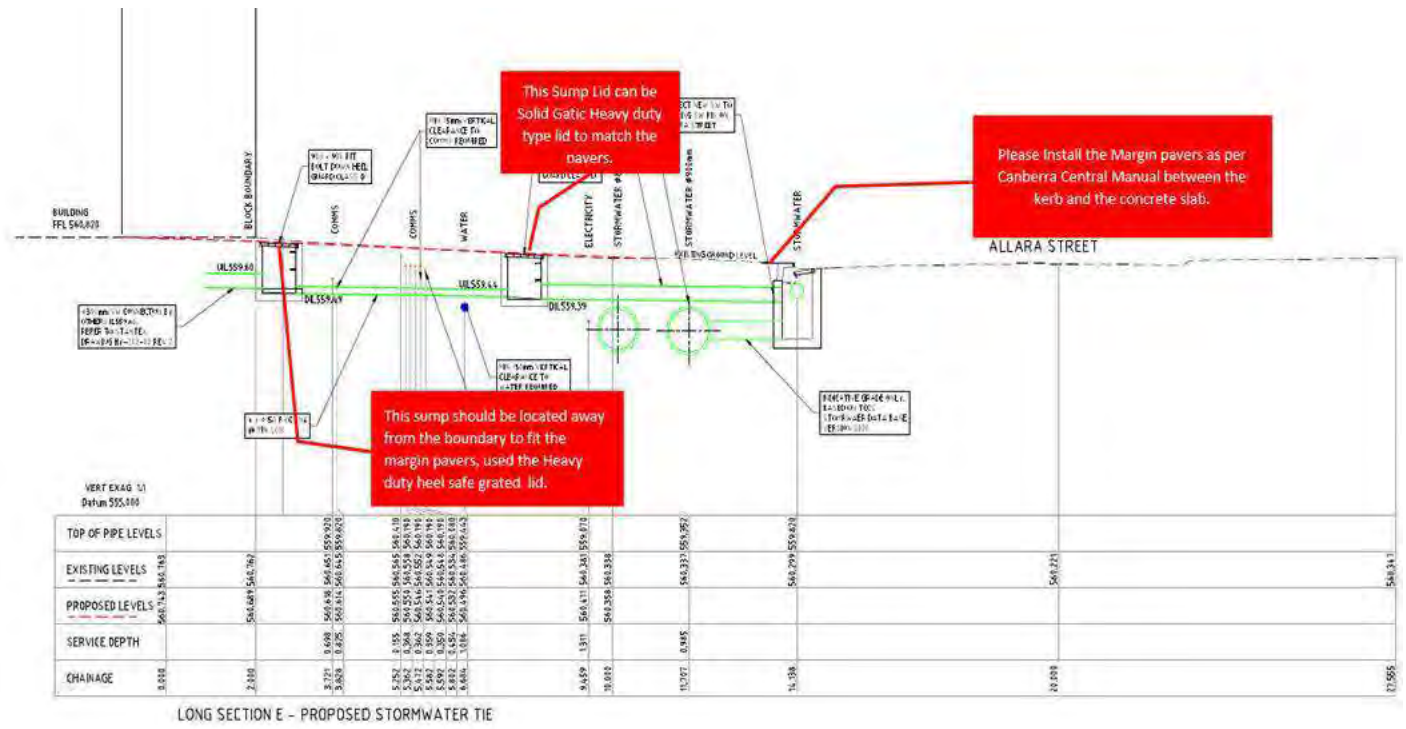
The TCCS comments are below Image-4 for some adjustments to be done to the proposed stormwater connection tie drawing. Please provided revised drawing.

Also the Canberra Central Manual margin pavers are to be used between the kerb and the concrete slab.

Where there is constraints of space for the margin paver between the concrete slab and the kerb, the slab must have a expansion\isolation joint between.

For the typical transition between the 150mm and 300mm wide top kerbs see the Image-5 below as example where to place the transition between the kerbs.

Image-4.



A typical transition done at crossing point or driveway between the 150mm and 300mm wide top kerbs. **Image-5.**



Regards
Matti Kovalainen

From: [REDACTED]@northrop.com.au>
Sent: Friday, 17 February 2023 11:35 AM
To: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>; [REDACTED]@meriton.com.au
Subject: RE: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

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Hi Matti,

Thanks for the below. I have put comments in red as required below.

In addition, see attached Northrop drawings C103E and SK100 to show the intention for the stormwater tie. Note the 300mm dia will be either class 4 FRC or BlackMax pipe.

The contractor has proposed to use the attached precast pits. Could you advise if TCCS approve the use of the pits or provide comments as required.

If you have any questions or would like to discuss, please do not hesitate to contact me.

Kind regards,

[REDACTED]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [REDACTED]
D [REDACTED]

SAP House, Level 6, 224 Bunda Street (GPO Box 142)
Canberra ACT 2608
www.northrop.com.au





From: Kovalainen, Matti <Matti.Kovalainen@act.gov.au>

Sent: Monday, 6 February 2023 9:30 AM

To: [REDACTED] <[\[REDACTED\]@northrop.com.au](mailto:[REDACTED]@northrop.com.au)>; [REDACTED] <[\[REDACTED\]@meriton.com.au](mailto:[REDACTED]@meriton.com.au)>

Subject: City S-12 B-4 [LoDR] Letter of Design Review Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

OFFICIAL

[REDACTED]
City S-12 B-4 [LoDR] Letter of Design Review DA-202037912 Amendment Enquiry-2.1.2 Street Furniture and Paving, TCCS Comment.

The TCCS response to your enquiries is in **Green Text** below.

1. The Contractor at the Meriton Allara Street site are proposing to use the following street furniture. There are minor differences from the bin and seat street furniture submitted with the design review.
Could you please review the attached and provide approval from TCCS on the street furniture available from suppliers at this time which are similar to those recommended/approved by TCCS. **The proposed seat, bike rack and bin street furniture from HUB is acceptable, please provide plans, manufactures specification and maintenance documentation via TCCS Project Wise Submission Transfer Folder. Noted**
2. The contractor would like to know if they could get approval to either use bolt down bike racks or to be able to chem set the bike racks for the installation. Northrop and Complex have sighted the bike racks installed by both of these methods across the City.
This is due to the lead time to obtain the bike racks.
Could you please advise if TCCS would approve either of these options in lieu of the bike rack configuration in line with the Canberra Design Manual. **The bike racks used in the Canberra City Central Manual can be installed by the two methods. However the selection of the installation method is subject to location issues such as what frequency of access to the underground services by the utility services is required, the location of the bike racks on the pavement type and its base.**
Please check the bike rack are installed is location that also allow free pedestrian access, once the bike is placed at the bike rack i.e. there is enough open space for pedestrian access from the bike overhangs. Noted
3. We have reviewed the paving around the Meriton Allara Street works at Block 4, Section 12 City.
The Canberra Central Design Manual specifies that for pavement type 3, a margin is required at the site boundary and along the kerb.
Northrop and Complex have sighted the works at Block 18, Section 12 City and have noted a margin has only been provided at the site boundary.

For consistency in the area, would TCCS advise if they would like a margin only around the site boundary at Block 4, Section 12 City. The Canberra Central Manual B-1 & C-1 requires the use of the Margin Pavers along the kerb and the block boundaries. The Manuals guide intention is to provide the protection from the concrete pavement saw cuts from damaging and weakening the kerb profile or other concrete structures and at the block boundary building structure. placing the margin pavers between the elements is to make the saw cutting process easier. The granite margin adjacent the kerb for Paving Type 3 has not been completed along Bunda Street and 20 Allara Street (next to 40 Allara Street). For consistency across the city, the project team will be continuing this unless noted otherwise by TCCS.

Hence also the 300mm wide kerb top and 600mm gutter has been included in the Manual to be used at the City area streets marked inside the red boundary line as shown in the Image-1 below to provide strengthening onto the kerb profile. The blue, orange and red color to provide the street paving classification & style guide.

Note in the Canberra Central Manual area below image-1 streets or laneway are not marked with the listed color, however the Manual C1 item 1.4.3. provides Laneway Junction treatment and possible need to transition to use the standard TCCS 150mm wide top kerb & gutter profile. Thus there needs to be careful proposed design location of the transition point between the different kerb top widths types to avoid abrupt visual kerb profile change. Manual C1 Item 1.3.5 indicates there should be a 300mm kerb and 600mm gutter along Asphalt paving. TCCS to confirm required finish. The project team will request TCCS approval of the kerb transition from 40 Allara Street to 20 Allara Street along Rabaul Lane if TCCS advise a 300mm kerb is required along Rabaul Lane.

Please provide via TCCS Project Wise Submission Transfer Folder mark-up plans for records to show where the changes are proposed and these changes details can be picked up at Operational Acceptance Off-site works WAE plans which must have the details shown and documented.

Ps how is the proposed stormwater connection tie from the site to the kerb sump design progressing?

Kind regards,

[Redacted]
Civil Engineer

Northrop Consulting Engineers Pty Ltd

T [Redacted]
D [Redacted]

SAP House, Level 6, 224 Bunda Street (GPO Box 142)
Canberra ACT 2608
www.northrop.com.au



Image-1.

What is the City's paving hierarchy?

Legend

Paving type 1—individual designs for public places of special significance, gathering places, special points of interest

Paving type 2—granite (austral black), to be used on main streets, avenues and major pedestrian routes

Paving type 3—black coloured reinforced concrete with decorative saw cuts in a stretcher bond pattern with granite (austral black)-margins, to be used as the main paving type and on secondary streets

Paving type 4—asphalt to be used in back lanes where footpath widths are very narrow



Canberra Central Paving Design Palette

Paving type legend

- Type 1 Special Design
- Type 2 Granite Paving (Austral Black)
- Type 3 Coloured Concrete with Decorative Saw Cut
- Type 4 Asphalt Paving



Image-2.

Standard Paving type 3

Material—Infill

- > 150mm depth reinforced coloured broom finished concrete equal to Boral Concrete PP32-20-BS—strength grade N32, gravel 20mm, oxide 3.0% CCS Black
- > broom finish at right angles to the kerb
- > 3mm saw cut stretcher bond pattern on an 800 x 1200 grid set with long edge perpendicular to the kerb
- > incorporate expansion joints in grid pattern at right angles to the kerb
- > lids to in ground service pits to match the colour and pattern of Type 3 pavement
- > apply two coats of a concrete sealant equal to *Interact Satin-Seal (Low Sheen)*.

Material—edges and margins

- > 300 x 600 x 60 thick extolated finish granite pavers similar to Austral Black.

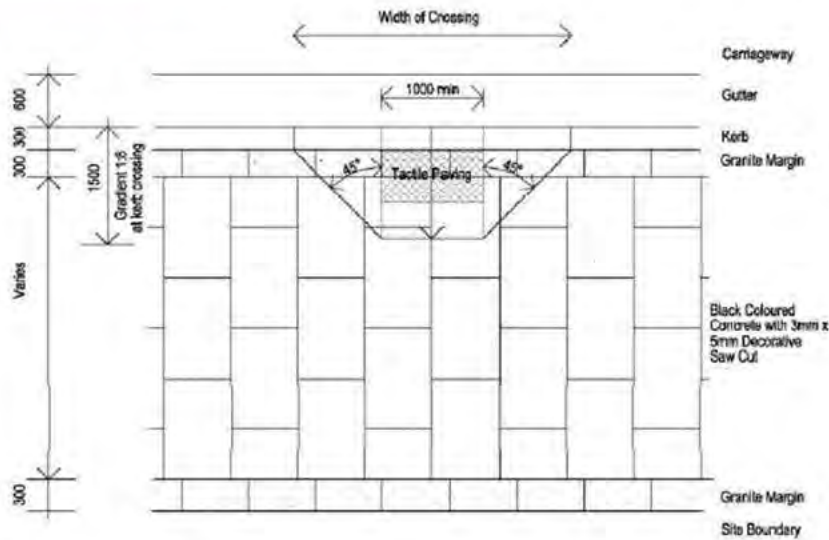
Granite margins

- > place a row of 300 x 600 granite pavers forming a margin against the kerb and against the site boundary.
- > where granite margins exist, start granite layout work from ends
- > all margins must be straight
- > accommodate variation of kerb width or unevenness of building wall by separation joints
- > saw cut straight
- > neatly lay the edges of completed paving against margins

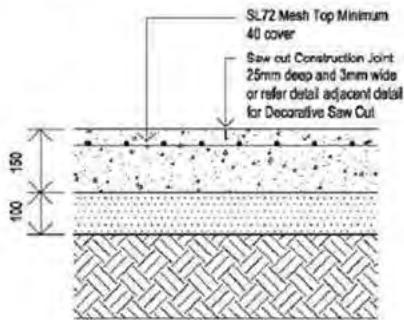


Image-3.

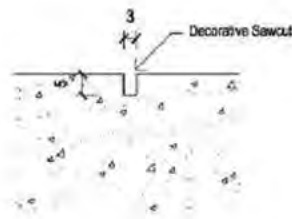
Standard Paving type 3



PAVING - TYPE 3
PLAN 1:50



CONSTRUCTION JOINT
PLAN 1:10



DECORATIVE SAW CUT
PLAN 1:5

CANBERRA CENTRAL DESIGN MANUAL > PART B1 > 33
CADM: Design Standards for Urban Infrastructure

Regards

Matti Kovalainen | Senior Engineer | Quality Unit

Phone 02 6207 5321 | Email: matti.kovalainen@act.gov.au

Development Coordination Branch | Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave, Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

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Appendix L: Landscape Consolidation Period Maintenance Plan



LANDSCAPE MAINTENANCE PROGRAM

PROJECT: Meriton Suites Public Domain Works

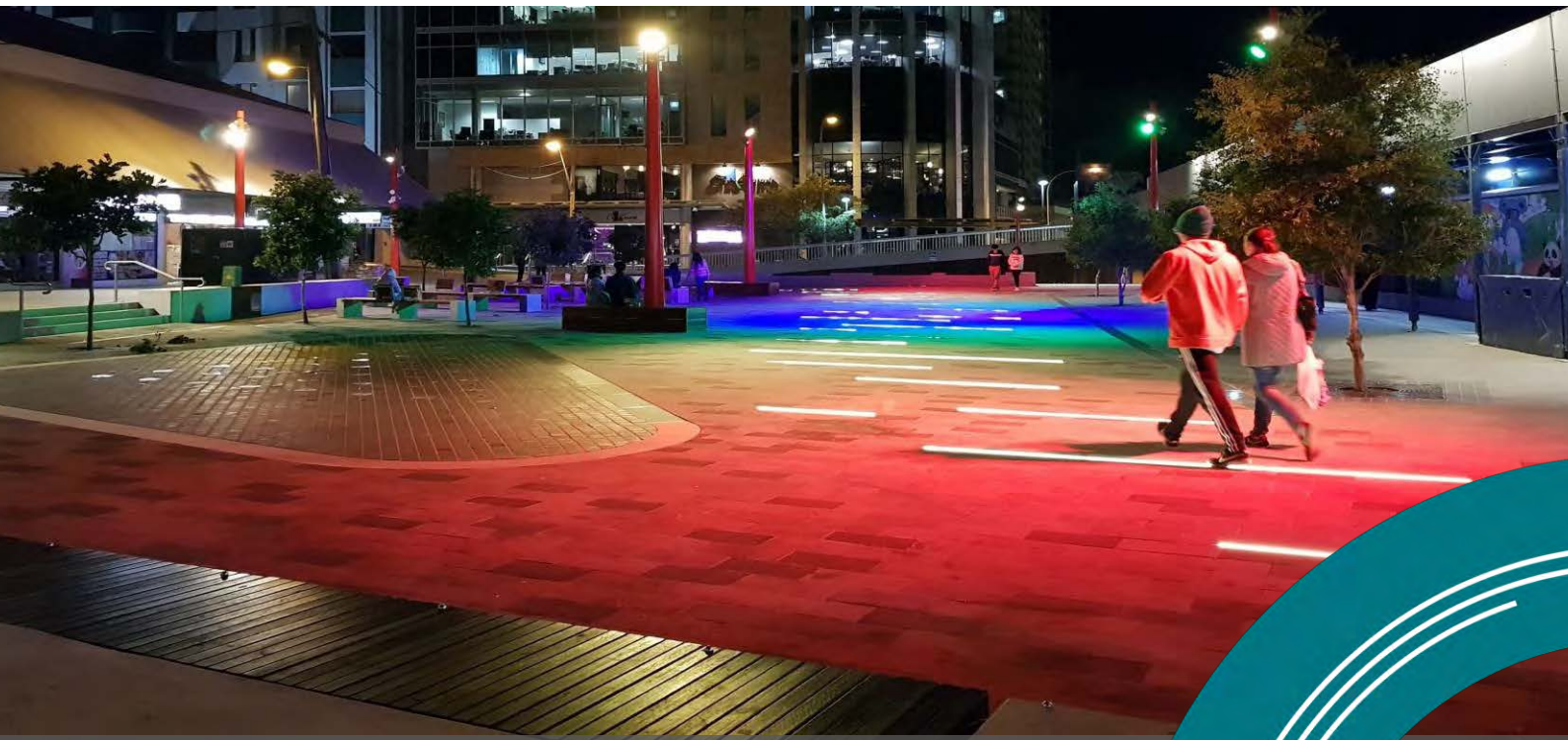
PROJECT NO: CW-22-471

CLIENT: Meriton Suites

COMPLEX CO CONTACT: Mostafa Habibi

FOR THE PERIOD: 13 WEEKS

WEEK COMMENCING	SITE INSPECTION AND WORK PLANS	WATER NEW/ ESTABLISHED PLANTS	MANUAL WEEDING	SPRAY EMERGENT WEED	TREE/PLANT REPLACEMENT (AS REQUIRED)	MONITOR TREE HEALTH	MULCH TOP UP / RECTIFICATION (AS REQUIRED)	COMPLEX CO. MAINTENANCE SIGN OFF
1	X	X		X		X	X	
2	X		X			X		
3	X	X				X		
4	X			X		X		
5	X	X	X			X		
6	X					X	X	
7	X	X		X		X		
8	X		X			X		
9	X	X				X		
10	X			X		X		
11	X	X	X			X	X	
12	X					X		
13	X	X		X		X		
END OF 13 WEEKS PERIOD								



CIVIL ENGINEERING REPORT: OPERATIONAL ACCEPTANCE
STAGE 2 WORKS

City Block 4 Section 12

Meriton Allara Street Offsite Works

Stage 2

PREPARED FOR
Meriton Group
Address: 528 Kent Street
Sydney, NSW 2000

Ref: CR193036-06_EC04
Rev: 1.0
Date: 08 August 2023

Civil Engineering Report: Operational Acceptance

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
08.09.2023	1.0	Operational Acceptance	█	█

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

SAP House, Level 6, 224 Bunda Street (PO Box 213), Canberra ACT 2608

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. General

1.1 Introduction

Northrop Consulting Engineers Pty Ltd (Northrop) have been engaged by Meriton Group (Meriton) to prepare the Civil Engineering documentation in support of the Operational Acceptance (OA) for the off-site works associated with the development of Block 4, Section 12 City. A site locality plan is shown in Figure 1. This report has been prepared in accordance with Reference Document 7 – Requirements for Operational Acceptance Submission (Issue 2, Revision 3) and Reference Document 10 – Requirements for Soft Landscape Consolidation and Handover (Issue 2, Revision 2).

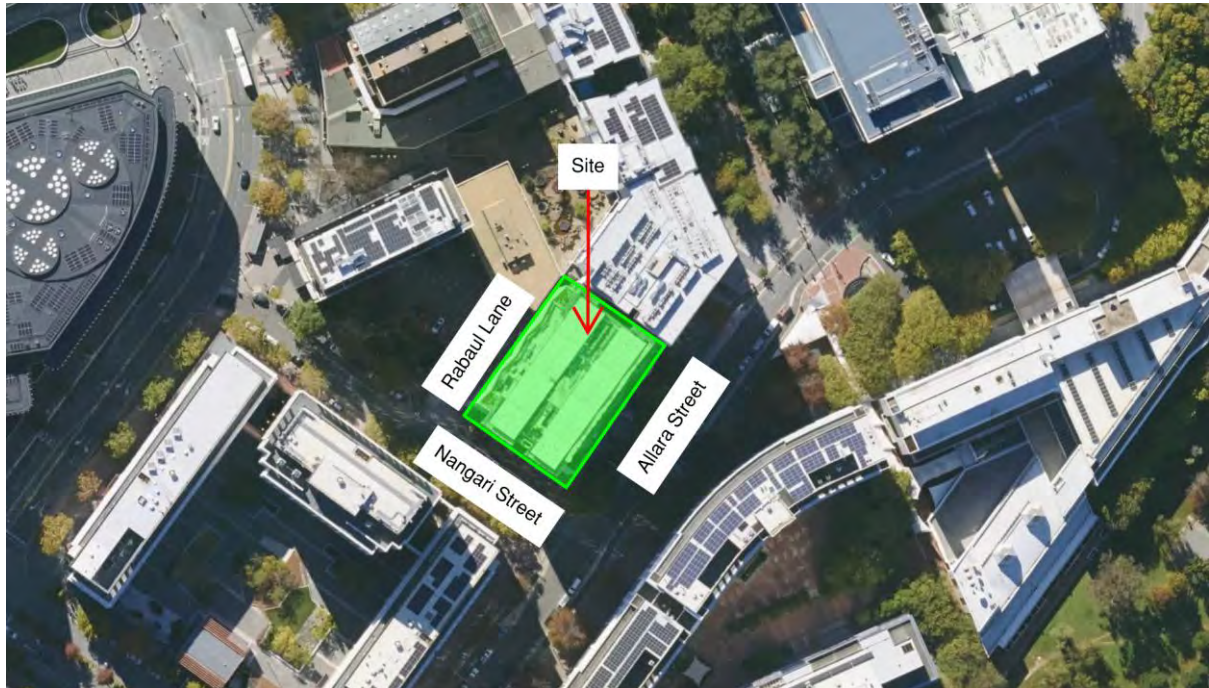


Figure 1 - Locality Plan (MetroMap, 2023)

1.2 Staging of the Works

The Operational Acceptance works has been completed over two stages.

TCCS provided written confirmation of the stage submission approach on 26/04/2023. The written confirmation has been provided as part of Appendix J.1.

Stage 1 of the offsite works has obtained approval with the Operational Acceptance certificate for Stage 1 contained within Appendix K.2

This submission covers the remaining offsite works noted as Stage 2 except for the Planter boxes which will be handed over in a future Stage 3 submission. The intention to have an additional 3rd stage has been emailed through to TCCS but to date no formal response has been provided.

The Stage 2 area of the works covered by this Operational Acceptance submission can be observed in Figure 2.

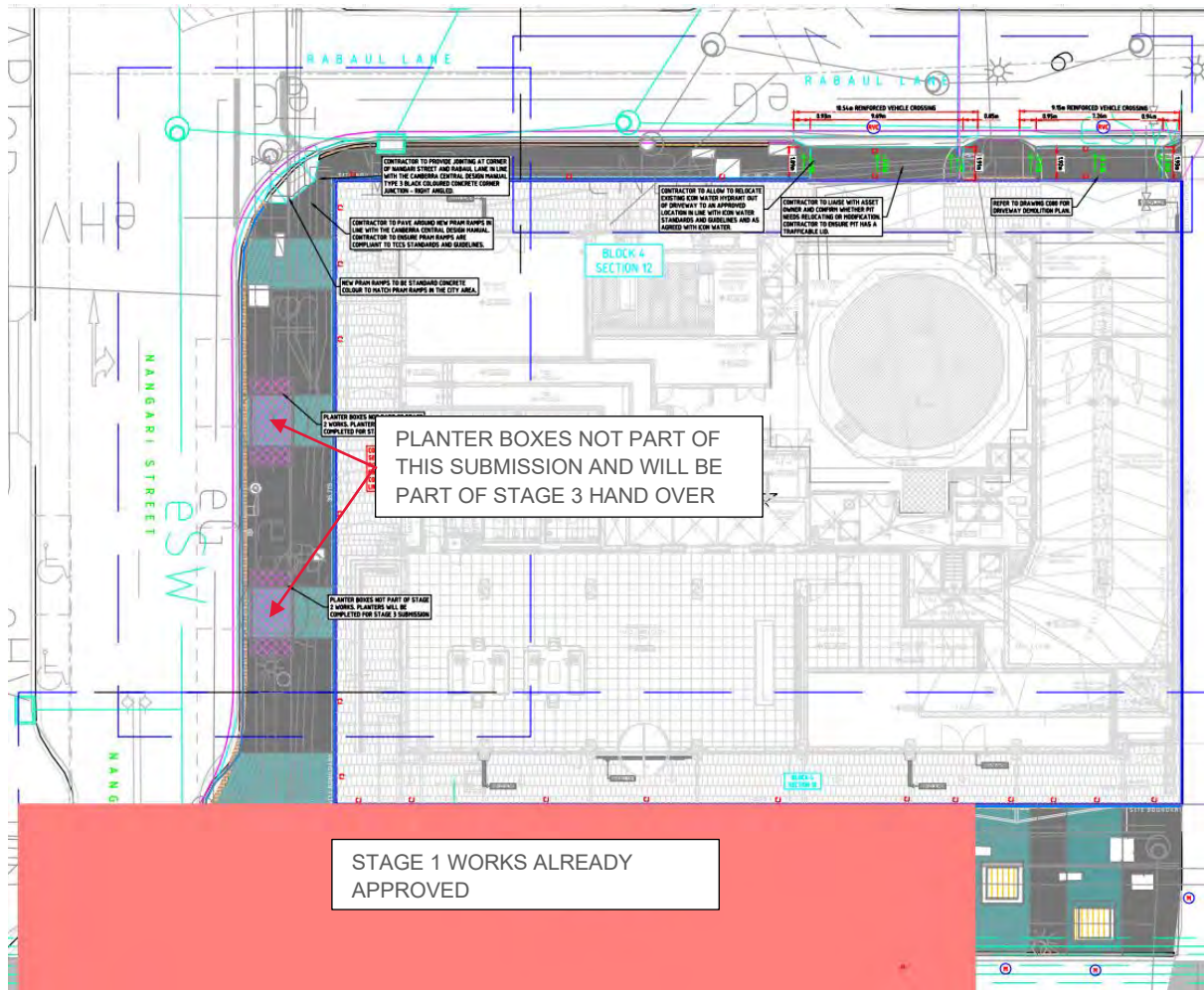


Figure 2 Stage 2 of the Operational Acceptance Works on Nangari st, Rabul Ln and part of Allara St.

1.3 External Works

The following off-site works are included in the Stage Two submission to TCCS and require approval for OA include:

- Construction of new paving along Allara Street east of the previously approved Stage 1 works in accordance with the Canberra Central Design Manual;
- Construction of new paving along Nangari Street and Rabul Lane in accordance with the Canberra Central Design Manual;
- Construction of a new kerb alignment on Nangari Street and Rabul Lane
- Construction of 2 new heavy-duty driveways on Rabul Lane providing access to the waste enclosure/ loading area as well as providing access to the onsite carpark.
- Installation of new public waste bins and a bench conforming to the intent of the Canberra Central Design Manual;
- Construction of one new kerb ramp to replace the existing pram ramp at the corner of and Nangari Street and Rabul Lane.
- Installation of new (24 of) Lomandra Tanika planting on Allara Street within existing tree pits.

The completed works have been carried out in accordance with the conditions outlined in project's Design Review Certificates.

1.4 General Advisory Note GAN 08

The ACT Government has released General Advisory Note GAN 08 titled “Operational Acceptance and Final Acceptance requirements for infill developments”.

This Operational Acceptance has been completed in line with GAN 08 with the inclusion of the request for the commencement of the soft landscaping consolidation period.

A coversheet for the Operational Acceptance has been prepared requesting Operational acceptance for the project in addition to a separate coversheet requesting commencement of the consolidation period. Refer to Appendix A for these coversheets.

1.5 Key Parties to the Project

Key parties involved in the project are listed as below:

Developer:	Meriton Group
Principal Contractor:	Meriton Group
Civil Contractor	Complex Construction
TCCS Coordinator:	██████████ (Northrop)
Consultants:	
TCCS Coordinator	Northrop
Civil Consultant	Northrop
Landscape Architect	DSB Landscape Architects

2. Documentation

2.1 Request for Certificate of Operation Acceptance

A formal letter requesting for a Certificate of Operational Acceptance for the Stage 2 works is included in the attachment of Appendix C.

2.2 Certification

A letter of Civil certification issued by Northrop for the civil works is included in the attachment of Appendix D.1.

A letter of certification issued by DSB Landscape Architects for the soft landscaping works is included in the attachment of Appendix D.2.

A letter of certification issued by DSB Landscape Architects for the soft landscaping works recommending the consolidation period commences is included in the attachment of Appendix D.3.

2.3 Certificate of Design Review

A copy of the Certificate of Design Review as issued by TCCS dated 01/02/2023 is included in the attachment of Appendix E.

2.4 Completed Audit Forms

The completed Audit forms for the Stage 2 works are included in the attachment of Appendix B.

2.5 Site Inspection Report (Defect Report) / outstanding work

A site inspection was conducted on the 30/08/23 by Northrop for the pavement, reinstatement of signage and line marking and street furniture for the Stage 2 for this Operational Acceptance submission.

A site inspection was conducted on the 30/08/2023 by DSB Landscape Architects for the soft landscaping works for Stage 2 for the purpose of the Operational Acceptance and the commencement of soft landscaping consolidation.

Any defects observed within this inspection have either since been ratified by the contractor or will be rectified before the final site inspection is undertaken by TCCS. The exception to this is the planter boxes which will be submitted in a stage 3 Operational Acceptance submission and a general tidy up of the site which will be completed by 15/09/23.

These inspection reports are included in the attachment of Appendix F.

2.6 Approved Amendments

The following approved amendments have been made for the offsite works at Block 4, Section 12 City:

1. The traffic control devices. There are no new traffic control devices proposed, the existing traffic control devices are being reinstated as per the latest TCCS TCD drawing, this is noted in Appendix K.3.
2. Modification to the existing Icon Water Main within the verge of Rabul Lane. This is noted within the Operational Acceptance certificate for the stage works and is provided within Appendix K.2.
3. The current arrangement for the margin paver at the development for the offsite works.

Correspondence relating to these items are included as part of Appendix J.

2.7 Non- Approved Amendments

Two non-approved amendments on this project have occurred as follows:

The first is with regards to the Icon Water main under Rabul lane that has now been fully removed rather than lift in situ and capped at both ends. This modification was undertaken in order for Icon Water to sign off on the completed works and has led to a better project outcome as the old redundant water main has been removed in its entirety. The WAE plan as submitted to Icon Water has been included within this submission as requested on within the Operational Acceptance certificate and can be observed within the provided drawings for this submission.

The second is that the Planter boxes are proposed to be handed over in a future Stage 3 Operational Acceptance submission which is required by the developer so that Stage 2 approval can be provided to allow the further occupancy of the development. The future Stage 3 submission for the planter beds will be completed as the final stage of the development hand over. The developer understands that this third stage will involve additional submission fees which can be confirmed once the confirmation of these fees are provided through the developer signs this relevant paperwork. This request for a 3rd Operational Acceptance submission stage has been emailed through to TCCS for confirmation but to date no response has been provided. The correspondence of this email request is noted in Appendix K.4.

2.8 Stormwater test information

Not Applicable

2.9 Asset Description Form

The asset description forms for the Stage 2 works are included in the attachment of Appendix H.1 and H.2 with a separate asset description form has been completed for each the civil works and the landscape works.

2.10 WAE Quality Records

A summary list of Construction records for Stage 2 is included in the attachment of Appendix I.

2.11 Operations and Maintenance Manuals

There is an Operation and Maintenance Manual for the new planter beds. This has been included within Appendix L.1 There were no operations and maintenance manuals to hand over for Operational Acceptance.

A maintenance plan for the soft landscape consolidation works has been included in the attachment of Appendix L.

2.12 Warranty Documents

There were no warranty documents to hand over for Operational Acceptance.

2.13 Keys and Locks

There were no keys and locks to hand over for Operational Acceptance.

2.14 List of Drawings and Revision Numbers

A list of drawings requiring approval for the Stage 2 OA submission are outlined in the excel documentation included in the attachment of Appendix J.

Appendices

Appendix A: Operational Acceptance Submission Cover Sheet

Appendix B: Asset Audit Forms

Appendix C: Request for Certificate of OA

Appendix D: Consultant Certification

Appendix E: Letters of Design Review

Appendix F: Defect/ Inspection Reports

Appendix G: Asset Description Forms

Appendix H: Construction Quality Records

Appendix I: Operational Acceptance Drawing list

Appendix J: Correspondence

Appendix K: Landscape Maintenance Program



CIVIL ENGINEERING REPORT: OFFSITE CIVIL INSPECTION REPORT

Meriton Allara Street Stage 2 Works

Block 4, Section 12 City

PREPARED FOR
Meriton Group
528 Kent Street
Sydney, NSW 2000

Ref: CR193036-06_EC04-F.1
Rev: 2.0
Date: 31/08/2023

Civil Engineering Report:

Revision Schedule

Date	Revision	Issue	Prepared By	Approved By
31/08/2023	1.0	Initial Findings	[Redacted]	
08/09/2023	2.0	Defect close out	[Redacted]	[Redacted]

Northrop Consulting Engineers Pty Ltd

ACN 064 775 088 | ABN 81 094 433 100

SAP House, Level 6, 224 Bunda Street (PO Box 213), Canberra ACT 2608

02 6285 1822 | canberra@northrop.com.au | www.northrop.com.au

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1. Defect Inspection

Northrop Consulting Engineers have undertaken a Defect Inspection and completed a Defect Report for the offsite works associated with the Meriton Allara Street development located at Block 4, Section 12 City for the purpose of the TCCS Operational Acceptance submission.

This report covers the Stage 2 works on Nangari Street, Rabual Lane and the far eastern verge of Allara Street

This report identifies defects observed related to the civil engineering offsite works during the inspection undertaken at approximately 12:00pm on Wednesday 30/08/2023 at the project site.

Northrop received confirmation 08/09/23 as to the rectification of these defects with additional information and photos provided in the table below showing how these defects have been closed out. It is noted:

- This defect has outlined the defects for Stage 2 of the TCCS Operational Acceptance works only (As shown in Figure 1 below).
- This report details civil defects as observed at the time of inspection.
- The defects identified were based on the works aligning to the latest set of Northrop Consulting Engineers Civil drawings.
- This defect report is not an exhaustive list of all defects. Meriton Group are to review the offsite works and rectify all other defects not noted in this report as applicable.
- Works were being undertaken within the vicinity of the Stage 2 works at the time of this inspection. Defects caused by these works have not been captured by this defect report.
- The existing verges and roads around the Stage 2 works have significant existing defects that were present before the commencement of any site works. The contractor is restoring the existing verges and roads to the existing condition but has not ratified existing defects which are substantial in this area of Canberra City.

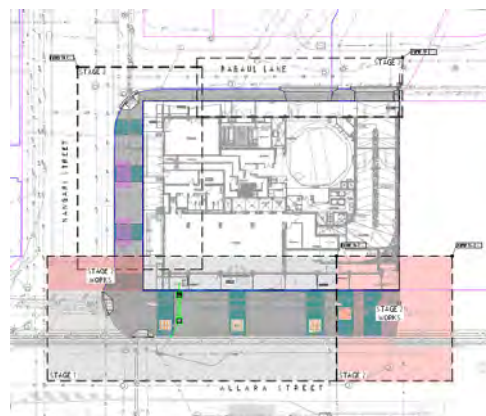




Figure 1 TCCS Operational Acceptance Stage 1 Area

Defects (and general comments) from the works undertaken to date have been outlined in Table 1, noting some defects were consistent throughout the site. More photos are available and in in full size upon request. Limitations to this report include:

- Internals to service pits other than stormwater pits have not been reviewed. Only conditions of the surface of pits, manholes and sumps have been reviewed and commented on if required;
- Defects beyond the inspection date and time have not been recorded;
- Defects are located as an approximate location on the defect locality plan only;
- Defects have been noted in this report as identified by Northrop at the time of inspection.

2. Photos

Table 1 Defects

Location	Description	Defect Photo 30/08/23	Rectified Photo 08/09/23
1	<p><u>Defect:</u> Pit cover not flush with surrounding new pavers</p> <p><u>Rectification:</u> Adjust pit cover or surrounding pavers to ensure flush finish</p> <p><u>Close out:</u> Pit surrounding has been adjusted as requested. No further action required</p>		
2	<p><u>Defect:</u> Two Planter box installation is still outstanding and is scheduled for completion during the Stage 3 submission</p> <p><u>Rectification:</u> Works to be completed as approved</p> <p><u>Close out:</u> Works to be completed during Stage 3</p>	N/A	N/A works will be completed as part of Stage 3 submission

Defect:

Existing TCD signs to be reinstated as per the existing site condition

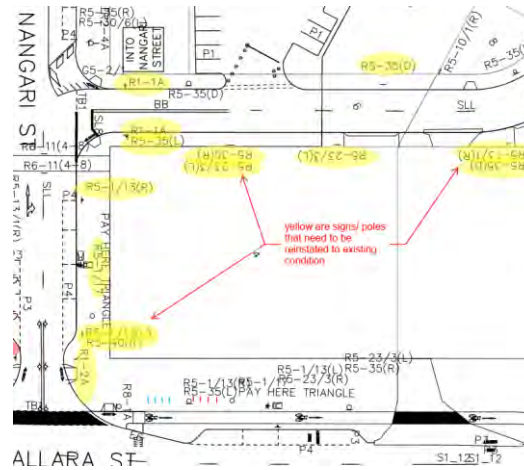
Rectification:

Meriton Group to rectify Signage.

Close out:

Signs have been reinstated. No further action required

3



Defect:

Pay Parking Machine to be installed on the location of the platform and anchor bolts.

Rectification:

Reinstall pay parking machine once TCD signage is reinstated.

Close out:

Signs and pay packing machine installed and operational. No further action required

4



Defect:

New waste bins are perforated all around preventing vinyl poster to be fixed to them.

Rectification:

New waste bins to have external faces modified to allow A3 signage to be installed on them by TCCS at a later date

Close out:

Bin shroud has been adjusted to include A3 area for TCCS to provide signage at a later date. No further action required

5



Defect:

Asphalt at the interface of the existing sump on Rabul lane needs to be repaired.

Rectification:

box out and cold mix the replacement asphalt to ensure a flush finish between the sump throat and the pavement

Close out:

Asphalt at pit throat has been reconstructed. No further action required

6



Defect:

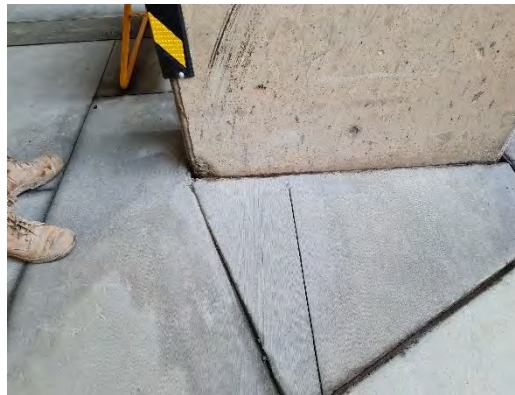
Paving joint has not been completed in front of column

Rectification:

Complete the paving joint back to the column

Close out:

Joint has been provided to go all the way to the column. No further action required



No Photo available but we have been advised that the joint has been completed as advised

Defect:

The large pit on Rabul lane that goes into the property boundary is not flush with new pavers installed.

Rectification:

Pavers to be adjusted to align with the cover of the pit to remove the potential trip hazard.

Close out:

Pit surround has been reconstruction to remove the trip hazard. No further action required



Defect:

Driveway VC damaged and patched with Asphalt which has not repaired the damaged.

Rectification:

- 9 Remove the asphalt patch repair and repair the concrete VC using suitable epoxy or concrete patching.

Close out:

VC has been patched and repaired as outlined. No further action required



Defect:

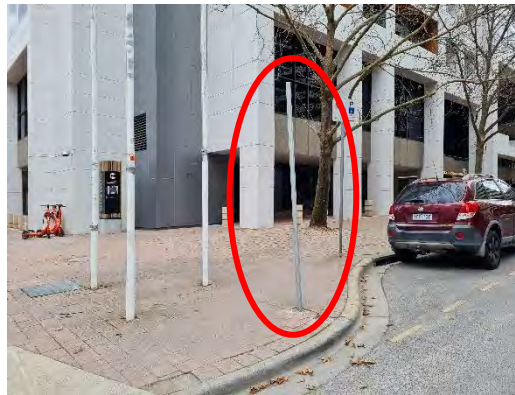
Empty pole that was used for construction signage is still in place and should be removed.

Rectification:

- 10 Remove left over pole, cut off at ground level and grind down to make flush with surrounding pavement level

Close out:

Additional pole has been removed as requested and made safe at ground level. No further action required.



Defect:

Left over pole next to item 10 has been cut off but is creating a trip hazard

Rectification:

Grind off pole at ground level to remove potential trip hazard ensuring a flush finish with the existing pavement.

Close out:

Left over pole has been grinded back and patched with concrete at ground level. No further action required

11



Defect:

Construction signage, vehicles, TTM's and similar elements are still in place onsite.

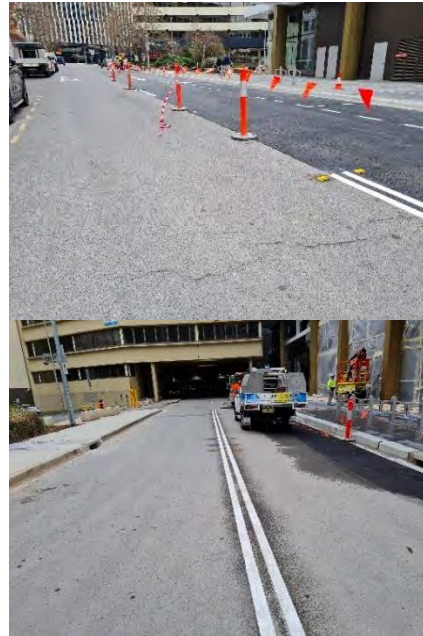
Rectification:

All construction-based elements are to be removed from site and site demobilized and returned to previous or better condition (undertake general site tidy up)

Close out:

Area tidy up has started and will be completed prior to TCCS inspection. Ongoing item to be rectified and completed prior to 15/09/23

12



No Photo available

Defect:

Paving within the Rabul Lane verge is have the final sealing completed.

Rectification:

Complete the paving sealing as required

Close out:

Paver works have been completed as requested. No further action required

13



Defect:

Moderately size chunk is missing out of the new kerb on Rabul lane near the new driveway.

Rectification:

Clear out damaged section and patch repair with either epoxy or concrete ensuring a flush neat finish with new kerb

Close out:

Damaged has been repaired. No further action required

14



3. Defect Locality Maps



CR193036-06_EC03_Appendix D.1

05/09/2023

Senior Manager
Development Review & Coordination
Transport Canberra and City Services
480 Northbourne Avenue
Dickson, ACT 2602

Dear Sir/Madam

Re: Civil Certification of Offsite Works Stage 2 – Section 12 Block 4, City

Northrop Engineers confirm that the construction of the following site servicing works has been carried out in conformity with the design intent of TCCS MIS, MITS, Canberra Central Design Manual and the TCCS Letter of Design Review requirements for the Stage 2 Operational Acceptance Works at Block 4, Section 12 City.

- Construction of new paving along Allara Street east of the previously approved Stage 1 works in accordance with the Canberra Central Design Manual;
- Construction of new paving along Nangari Street and Rabul Lane in accordance with the Canberra Central Design Manual;
- Construction of a new kerb alignment on Nangari Street and Rabul Lane
- Construction of 2 new heavy-duty driveways on Rabul Lane providing access to the waste enclosure/ loading area as well as providing access to the onsite carpark.
- Installation of new waste bins and a bench conforming to the intent of the Canberra Central Design Manual;
- Construction of one new kerb ramp to replace the existing pram ramp at the corner of and Nangari Street and Rabul Lane.

Soft landscaping works have been certified by DSB Landscape Architects as part of a separate certification.

This certificate is to be read in conjunction with report CR193036-06_EC04

Prepared by,



Senior Civil Engineer | MIE Aust

Reviewed by,



Civil Section Manager | MIE Aust



Company	Northrop	Date	8 September 2023
Attention	[REDACTED]	This Page +	2
From	[REDACTED]	Project No.	4734
Project	City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street City		
Subject	Landscape Works Certification for Operational Acceptance Stage 2 Works		

dsb Landscape Architects

1.34 Level 1, 33 Allara Street, Canberra City, ACT, 2601
02 6285 1955 dsb@dsbla.com.au www.dsbla.com.au

Landscape Works Certification

I am a [REDACTED] Director of DSB Partners Pty Ltd trading as dsb Landscape Architects, 1.34 Level 1 33 Allara Street Canberra City ACT 2601.

Phone Number [REDACTED] and [REDACTED] Email [REDACTED] [dsbla.com.au](mailto:dsb@dsbla.com.au)

I am a Director of dsb Landscape Architects. dsb Landscape Architects is a firm specialising in the provision of professional arborist and landscape architect related services.

I have prepared this landscape certification for Operational Acceptance of the Stage 2 Verge Works at 40 Allara Street Canberra City.

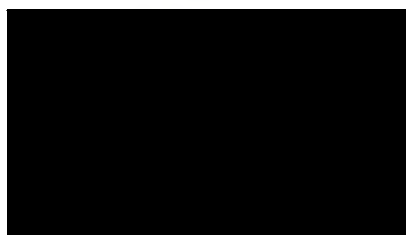
I have worked in Canberra and New South Wales in private practice and landscape construction as a professional Registered Landscape Architect for thirty-nine years.

I am a Member of the Australian Institute of Landscape Architects. I have been a Registered Landscape Architect #486 since January 7, 1990.

As Director of dsb Landscape Architects, I am responsible for and authorise release of arborist and landscape architecture reports and services.

Any opinions expressed by me in this statement are my own opinions. They have not been prescribed or prepared by any other person.

The landscape works associated with the City Block 4 Section 12 DA 202037912 Tower Stage 2 Off Site Works 40 Allara Street for which Operational Acceptance is requested has been constructed according to the approved design requirements and that the Works complies with ACT Municipal Infrastructure Design Standards and the requirements of MITS09.



8 September 2023



If we can be of any further assistance to you in regard to the project, please do not hesitate to contact me.

Regards,

[Redacted Signature]

[Redacted Title]

Director dsb Landscape Architects

Registered Landscape Architect AILA #486



1. QUALITY ASSURANCE

Contact information:

DSB Partners Pty Ltd
Trading as dsb Landscape Architects
ABN 94 052 528 293

Directors: [REDACTED]

Canberra

1.34 Level 1
33 Allara Street
Canberra City ACT 2601

Melbourne

331/173 City Road
Southbank, VIC 3006

Phone: (02) 6285 1955

Email: dsb@dsbla.com.au

Web: www.dsbla.com.au

Quality assurance information

Report title: Landscape Certification for Operational Acceptance Stage 2 _____

Job number: 4734 _____

Date: 8 September 2023 _____

Prepared by: [REDACTED] _____

Reviewed by: [REDACTED] _____

Issue history

Issue Number	Issue Date	Details	Authorised by
1	8 September 2023	OA Landscape Certification	[REDACTED]

