



**LETTER OF AUTHORISATION  
FOR APPLICANTS TO OBTAIN PERMISSION FROM  
LESSEE/S TO LODGE AN APPLICATION WITH THE  
ACT GOVERNMENT ON THEIR BEHALF**

**LEASE/SITE DETAILS (Please Print)**

If more than one lease/site please attach the following details for each additional lease/site on a separate sheet

Block	11	Section	38	Suburb	Macnamara
Unit No.		Street Address			

**LESSEE(s) DECLARATION** if more than two lessees please provide details of each additional lessee on a separate sheet

- I/we declare that I am/we are the lessee(s) of the land described above;
- I/we have been made aware of the declaration clauses; and
- I/we declare that all the information given on this form is true and complete.

Print Name	Sch 2.2(a)(ii)	Signature	Sch 2.2(a)(ii)	Date	2/9/2025
Print Name		Signature		Date	1/9/2025

Please tick the applicable box below

This authorisation relates to:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> Certificate of Compliance | <input type="checkbox"/> Extension of Time   | <input checked="" type="checkbox"/> Exempt Declaration Application |
| <input type="checkbox"/> Land Rent Payout          | <input type="checkbox"/> Further Crown Lease | <input type="checkbox"/> Other _____                               |

**APPLICANT DECLARATION**

- I/we declare that all information given on this form and its attachment is true and correct.
- **If signing on behalf of an organisation:**
- I/we the undersigned declare I/we have the appropriate delegation or authority to sign on behalf of the organisation.

Applicant Name	Sch 2.2(a)(ii)	Organisation Name	Burbank NSW Pty Ltd
Signature	Sch 2.2(a)(ii)	Date	2/09/2025

**Privacy Notice**

The personal information on this form is provided to Access Canberra (AC) and Environment and Planning Directorate (EPD) to enable the processing of your application. The collection of personal information is authorised by the *Planning and Development Act 2007*. If all or some of the personal information is not collected AC or EPD cannot process your application. The *Planning and Development Act 2007* requires the details of applications, decisions and orders to be kept on a register and made available for public inspection. Information and documentation relevant to a development application may be made available via the Internet. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Icon Water, Territory and Municipal Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. Personal Information may be used or disclosed in accordance with the Information Privacy Act 2014. For details on the collection of personal information in this form please refer to the [Access Canberra Information Collection Notice](#). If you have questions about how your information will be handled please see the [Access Canberra Privacy Policy](#). The EPD Information Privacy Policy can be found at [www.planning.act.gov.au](http://www.planning.act.gov.au)

**Contact Information:**

<b>Online</b>	<b>Phone</b>	<b>In Person</b>
<a href="http://www.act.gov.au/accessCBR">www.act.gov.au/accessCBR</a>	(02) 62071923	Building Services Shopfront – Mitchell
<a href="http://www.planning.act.gov.au">www.planning.act.gov.au</a>	TTY (02) 62072622	Environment, Planning and Land Shopfront - Dickson
		For opening hours and location details please visit <a href="http://www.act.gov.au/accessCBR">www.act.gov.au/accessCBR</a> or call Access Canberra <b>13 22 81</b> .



# Planning (Exempt Development) Regulation 2023

## Information for adjoining resident about proposed exempt development

To be completed by the proponent and provided to each adjoining resident.

### Why are you receiving this information?

The exemption criteria for demolition and development of single dwellings requires that information about the proposed development is provided to you as an adjoining resident. Development can be exempt from the need for a development application (DA) if it meets specified criteria. This type of development is known as 'DA exempt development'.

If you are a tenant, please consider forwarding a copy of this information and the plans to the lessee or their managing agent.

### What you should receive

1. Completed information sheet (printed legibly and clearly in at least A4) explaining that development is proposed for the site indicated below; and
2. If the proposed development is a single dwelling a copy of each relevant plans, such as site plan, elevation plan and shadow diagrams (clearly printed in at least A4). A copy of the floor plan is **not** required to be provided. If the proposed development is only for the demolition of a single dwelling no plans are required to be provided.

### What this means for you

The information sheet and attached plans (if required) have been provided for your **information** only. Prior to any construction commencing, a private building certifier must confirm the development proposal meets the DA exemption criteria.

If the proposal meets all the DA exemption requirements:

- no DA is required and there is no public notification or right of review; and
- a building approval can be granted, and work can commence without any further notice.

### LEASE OR SITE DETAILS

If more than two leases/sites please attach the following details for each additional lease/site on a separate sheet

Block/s: 11

Section: 38

Suburb: Macnamara

District: \_\_\_\_\_

Street Address: 30 Jim Bray Loop

Please tick:

- Single dwelling  
 Demolition

### NOMINATED PERSON CONTACT DETAILS

If you have any questions about the proposed development, please contact the nominated person which may be the proponent, builder or building certifier. They can discuss the proposal with you.

Contact name: \_\_\_\_\_

Role (ie owner, builder, certifier): \_\_\_\_\_

Phone number: Sch 2.2(a)(ii)

Alternative phone number: \_\_\_\_\_

Contact email: Sch 2.2(a)(ii)

**NOTE:** If the building certifier determines the proposed development does not meet the DA exemption requirements a DA will have to be lodged by the proponent and you will be notified during the public consultation phase of the DA process.

### More information

For more general information about DA exemptions, please visit the ACT Planning Website at <https://www.planning.act.gov.au/home>.



# Planning (Exempt Development) Regulation 2023

## Information for adjoining resident about proposed exempt development

To be completed by the proponent and provided to each adjoining resident.

### What this form is for

You should complete this form if you are proposing:

- Development mentioned in s1.130 (compliant single dwellings) or s1.131 (single dwellings where declaration authorises minor non-compliance); or
- Development mentioned in s1.132 (single dwellings – demolition)

If you are proposing these types of development you are required under section 1.18, schedule 1, *Planning (Exempt Development) Regulation 2023* to give written information about the proposal to each adjoining resident.

### Process

1. Complete the form “Information for adjoining resident about proposed exempt development” and if required attach a copy of the site plan, elevation plan and shadow diagrams as required. Give a clear and legible copy of the completed form and each plan to each adjoining resident in at least A4 format. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of both the “information for adjoining resident about proposed exempt development” form including any attachments and this form are required to be included in your application for building approval.

## INFORMATION FOR BUILDING CERTIFIER – COMPLIANCE WITH PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023

The information below is provided to demonstrate that s1.18, schedule 1, *Planning (Exempt Development) Regulation 2023* has been complied with.

Proponent Name/s: Sch 2.2(a)(ii) Burbank Aus NSW Pty Ltd

Unit No: \_\_\_\_\_

Block/s: 11

District: \_\_\_\_\_

Section: 38

Street Address: \_\_\_\_\_

Suburb: Macnamara

Signature: Sch 2.2(a)(ii) Date 4/09/2025

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

The following adjoining residences have been provided with a copy of the information form and all relevant plans, such as site plans, elevation plans and shadow diagrams (clearly printed in at least A4).

Street address of adjoining residences <i>Please print</i>	Delivered to Letterbox	Delivered in person	Delivered by other method <i>Please print</i>	Date
1. Blk 27, Sec 38, 11 TAURANAC PLACE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
2. Blk 28, Sec 38, 9 TAURANAC PLACE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
3. Blk 10, Sec 38, 28 JIM BRAY LOOP	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
4. Blk 12, Sec 38, 23 MOLLIE HOLMAN TERRACE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
5. Blk 13, Sec 38, 21 MOLLIE HOLMAN TERRACE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
6. Blk 32, Sec 37, 37 JIM BRAY LOOP	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025

If there is insufficient space please attach a separate sheet.

**Privacy Notice**

The personal information on this form is provided to the ACT Government to enable the processing of your application. The collection of personal information is authorised by the Planning Act 2023 and Planning (Exempt Development) Regulation 2023. If all or some of the personal information is not collected EPSDD cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Transport Canberra and City Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. [EPSDD's Information Privacy Policy](#) contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles.

**Contact Details:**

Environment, Planning and Sustainable Development Directorate  
Customer Service Centres  
GPO Box 158, Canberra City 2601

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)  
Phone: (02) 6207 1923  
Email: [ACEpdcustomerservices@act.gov.au](mailto:ACEpdcustomerservices@act.gov.au)  
Website: [www.planning.act.gov.au](http://www.planning.act.gov.au)



# Planning (Exempt Development) Regulation 2023

## Information for adjoining resident about proposed exempt development

To be completed by the proponent and provided to each adjoining resident.

### What this form is for

You should complete this form if you are proposing:

- Development mentioned in s1.130 (compliant single dwellings) or s1.131 (single dwellings where declaration authorises minor non-compliance); or
- Development mentioned in s1.132 (single dwellings – demolition)

If you are proposing these types of development you are required under section 1.18, schedule 1, *Planning (Exempt Development) Regulation 2023* to give written information about the proposal to each adjoining resident.

### Process

1. Complete the form “Information for adjoining resident about proposed exempt development” and if required attach a copy of the site plan, elevation plan and shadow diagrams as required. Give a clear and legible copy of the completed form and each plan to each adjoining resident in at least A4 format. You can do this by placing in the letterbox, by-hand, by email etc.
2. Complete the details below. A copy of both the “information for adjoining resident about proposed exempt development” form including any attachments and this form are required to be included in your application for building approval.

### INFORMATION FOR BUILDING CERTIFIER – COMPLIANCE WITH PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023

The information below is provided to demonstrate that s1.18, schedule 1, *Planning (Exempt Development) Regulation 2023* has been complied with.

Proponent Name/s: Sch 2.2(a)(ii) - Burbank Aus NSW Pty Ltd

Unit No: \_\_\_\_\_

Block/s: 11

District: \_\_\_\_\_

Section: 38

Street Address: \_\_\_\_\_

Suburb: Macnamara

Signature: Sch 2.2(a)(ii) Date 4/09/2025

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

The following adjoining residences have been provided with a copy of the information form and all relevant plans, such as site plans, elevation plans and shadow diagrams (clearly printed in at least A4).

Street address of adjoining residences <i>Please print</i>	Delivered to Letterbox	Delivered in person	Delivered by other method <i>Please print</i>	Date
1. Blk 33, Sec 37, 35 JIM BRAY LOOP	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
2. Blk 34, Sec 37, 33 JIM BRAY LOOP	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> vacant land	4/09/2025
3.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
4.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

If there is insufficient space please attach a separate sheet.

**Privacy Notice**

The personal information on this form is provided to the ACT Government to enable the processing of your application. The collection of personal information is authorised by the Planning Act 2023 and Planning (Exempt Development) Regulation 2023. If all or some of the personal information is not collected EPSDD cannot process your application. The personal information you provide may be disclosed to Australian Bureau of Statistics, ACT Revenue Office, the Registrar General's Office, ACTEW Corporation, ActewAGL, Transport Canberra and City Services Directorate and other Government agencies with a direct interest in the development assessment process. The information may also be disclosed where authorised by law or court order, or where the Directorate reasonably believes that the use or disclosure of the information is reasonably necessary for enforcement-related activities conducted by, or on behalf of, an enforcement body. [EPSDD's Information Privacy Policy](#) contains information about how you may access or seek to correct your personal information held by EPSDD, and how you may complain about an alleged breach of the Territory Privacy Principles.

**Contact Details:**

Environment, Planning and Sustainable Development Directorate  
Customer Service Centres  
GPO Box 158, Canberra City 2601

Business Hours: 8.30am to 4.30pm weekdays (excluding Public Holidays)  
Phone: (02) 6207 1923  
Email: [ACEpdcustomerservices@act.gov.au](mailto:ACEpdcustomerservices@act.gov.au)  
Website: [www.planning.act.gov.au](http://www.planning.act.gov.au)



## Exemption Declaration Application - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

04 Sep 2025 2:01:22 PM

Reference code

C48T9MPV

Environment, Planning and Sustainable  
Development Directorate

GPO Box 158  
Canberra City ACT 2601

Phone: (02) 6207 1923

### Lease/site details

Suburb \*

MACNAMARA

Section \*

38

Block \*

11

Address line 1 \*

30 JIM BRAY LOOP

Address line 2

Suburb \*

MACNAMARA

State \*

ACT

Postcode \*

2615

### Applicant/certifier details

Is the applicant a \*



Company



Individual

Company name \*

Burbank AUS NSW PTY LTD

Enter an ABN or ACN: \*

ABN (Australian Business Number)

88610822770

ACN (Australian Company Number)

610822770

### Contact details

Title

Sch 2.2(a)

Given name \*

Sch 2.2(a)(ii)

Family name \*

Sch 2.2(a)(ii)

Position held in company \*

Sch 2.2(a)(ii)

Enter at least one phone number: \*

Home phone number

Work phone number

Mobile number

Email address \*

## Lessee (Property owners) details

Lessee 1

Same as applicant

**Lessee**

Is this lessee a \*

Company  Individual

**Contact details**

Title Given name \* Family name \*

Enter at least one phone number: \*

Home phone number Work phone number Mobile number

Email address \*

Lessee 2

**Lessee**

Is this lessee a \*

Company  Individual

**Contact details**

Title Given name \* Family name \*

Enter at least one phone number: \*

Home phone number Work phone number Mobile number

Email address \*

Please attach a letter of authority signed by all lessees. \*

[260328 Letter of Authorisation or 1N -SIGNED.pdf](#)

## Control departure/s

This application seeks approval for the following minor departure/s from the Residential Zones - Single Dwelling Housing Development Control.

Departure 1
Control number *
<input type="text" value="5"/>
Description of departure *
<input type="text" value="exemption for private open space"/>

Departure 2
Control number *
<input type="text" value="10"/>
Description of departure *
<input type="text" value="exemption to side boundary setbacks"/>

Departure 3
Control number *
<input type="text" value="8"/>
Description of departure *
<input type="text" value="exemption for building envelope"/>

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. \*

[1N.plan.pdf](#)

Details of how immediate neighbours have been provided information of the development proposal must be provided. \*

[Exempt Form 7B part 1.pdf](#)

[Exempt Form 7B part 2.pdf](#)

[Exempt Form 7A.pdf](#)

Is the work detailed in this application currently under construction? \*

Yes

No

Is this application for an existing structure? \*

Yes  No

Is the application being considered subject to a current Building Approval? \*

Yes  No

Is the application subject to a completed Building Approval? \*

Yes  No

Is this application currently subject to compliance action? \*

Yes  No

## Applicant declaration

I, **Sch 2.2(a)(ii)**

- declare that all the information given on this form and its attachments is true and complete. \*
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. \*
- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. \*

---

**From:** Exemptdec  
**Sent:** Tuesday, 9 September 2025 9:03 AM  
**To:** AC, EPD Customer Services  
**Subject:** SUFFICIENT-EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01  
**Attachments:** EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01.pdf; exempt form 7a.pdf; exempt form 7b part 2.pdf; 260328\_letter\_of\_authorisation\_or\_1n -signed.pdf; exempt form 7b part 1.pdf; Ver09 - 3NHC 260328 [Sch 2.2\(a\)\(ii\)](#) RevG - Full.pdf

**Categories:** Teresa

OFFICIAL

Hi team

Plans are sufficient.

Regards,

**Jason | Exemption Declarations**

**Planning Delivery Division | City and Environment Directorate | ACT Government**

480 Northbourne Avenue, Dickson, 2602 | GPO Box 158 Canberra ACT 2601 | [www.planning.act.gov.au](http://www.planning.act.gov.au)



---

**From:** smartforms@act.gov.au

**Sent:** Thursday, 4 September 2025 2:02 PM

**To:** Exemptdec

**Subject:** EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

**Caution:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

## Exemption Declaration Application

### Form data summary

**Submission ID** C48T9MPV

**Reference code** C48T9MPV

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on \*5 4607 or email [smartforms.admin@act.gov.au](mailto:smartforms.admin@act.gov.au).

<b>Unit:</b>		<b>Block:</b>	<b>11</b>	<b>Section:</b>	<b>38</b>	<b>Suburb:</b>	<b>MACNAMARA</b>
--------------	--	---------------	-----------	-----------------	-----------	----------------	------------------

<b>Task</b>	<b>Select</b>		
Are the Lessee/s details correct in ACTLIS	Yes: <input checked="" type="checkbox"/>	No: <input type="checkbox"/>	
If the SLA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application	Yes: <input type="checkbox"/>	No: <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>

**PALM**

Does the block and section match the street address?	Yes: <input checked="" type="checkbox"/>	No: <input type="checkbox"/>
Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson)	Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email)	Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>

**General information**

Save e-mail/Smartform into objective under Development Application B/S Suburb Exemption Declaration	Yes: <input checked="" type="checkbox"/>
<b>PLEASE ENTER THE DEALING NUMBER:</b>	<b>DATE:</b>

COMMENTS: Lease not registered as of yet. - Corrected

Check Completed by:	TK, LF	Date Processed:	9/9/25, 10/10/2025
Fee Advice Sent by:	LF	Date Sent:	10/10/2025

**PAYMENT**

Receipt Attached:	<input checked="" type="checkbox"/>	Date Sent to Assessing Officer:	10/10/2025
Payment Method:	SmartForm	Date Due (10 working days):	24/10/2025

---

**From:** AC, EPD Customer Services  
**Sent:** Friday, 10 October 2025 10:52 AM  
**To:** Exemptdec  
**Subject:** READY FOR ASSESSMENT-EXEMPTION DECLARATION-11-38-MACNAMARA  
**Attachments:** EXEMPTION DECLARATION.obr

Good morning,

The attached 1N is ready for assessment.

Kind regards,

Liam Folkard  
DA Lodgement | Access Canberra | ACT Government  
Land, Planning and Building Services | Environment, Land and Technical Regulation  
8 Darling Street Mitchell | GPO Box 158, Canberra, ACT, 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)



---

**From:** Exemptdec  
**Sent:** Monday, 13 October 2025 3:55 PM  
**To:** Exemptdec  
**Subject:** APPROVED-EXEMPTION DECLARATION-11-38-MACNAMARA  
**Attachments:** EXEMPTION DECLARATION.obr

Approved by delegate (Matt Davis)

Regards,

**Jason | Exemption Declarations**

**Planning Delivery Division | City and Environment Directorate | ACT Government**

480 Northbourne Avenue, Dickson, 2602 | GPO Box 158 Canberra ACT 2601 | [www.planning.act.gov.au](http://www.planning.act.gov.au)



**ASSESSMENT OF PROPOSAL  
DETERMINATION UNDER SECTION 1.131 OF THE  
PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023**

**Description of extended distance:**

**Control 5** - PPOS departure of a maximum 380mm for a length of 2070mm

**Control 8** - Building envelope departure of a maximum 817mm for a length of 14970mm

**Control 10** - Side boundary setback departure of a maximum 390mm for a length of 1370mm

**Assessment:**

	<u>PASS</u>	<u>FAIL</u>
Is the non-compliance minor?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Plans provided adequately identify departures?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Have adjoining neighbours been notified (s1.18)?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

**Will building the dwelling other than in accordance with the relevant controls:**

- |  |  |                              |
|--|--|------------------------------|
| • Adversely affect someone other than the applicant?                     | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |
| • Increase the environmental impact of the dwelling more than minimally? | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |

**Comments:**

**Considered to be minor in context**

**Plans stamped:**

**Approved**       **Refused**

**Delegate of  
Territory Planning Authority: Matt Davis 21/10/2025**

---

**From:** AC, EPD Customer Services  
**Sent:** Tuesday, 21 October 2025 2:44 PM  
**To:** Sch 2.2(a)(ii)@burbank.com.au  
**Cc:** Sch 2.2(a)(ii)  
**Subject:** EXEMPTION DECLARATION AND APPROVED PLANS-11/38 MACNAMARA  
**Attachments:** EXEMPTION-DECLARATION-11-38-MACNAMARA-ASSESSMENT CHECKLIST-01.pdf; EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01.pdf; EXEMPTION-DECLARATION-11-38-MACNAMARA-PLANS-03.pdf

Good afternoon,

Please see attached Exemption Declaration Application & Approved Plans for 11/38 MACNAMARA.

For further information please contact the DA Gateway Team on [exemptdec@act.gov.au](mailto:exemptdec@act.gov.au)

Kind Regards,

**Jyoti | Customer Service -Development Applications Lodgement**

Phone: 02 6207 1923 | Email: [ACepdcustomerservices@act.gov.au](mailto:ACepdcustomerservices@act.gov.au)

**City and Environment Directorate | Access Canberra – Land, Planning and Building Services**

8 Darling Street Mitchell ACT 2911 | GPO BOX 158 Canberra ACT 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)



# PROJECT NOTES NSW (NCC 2022)

## GENERAL

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH
  - STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS
  - PRE-FABRICATED FRAMING MANUFACTURER'S DRAWINGS & SPECIFICATIONS
  - FLOOR JOIST MANUFACTURER'S DRAWINGS & SPECIFICATIONS (IF APPLICABLE)
  - STAIR MANUFACTURER'S DRAWINGS & SPECIFICATIONS (IF APPLICABLE)

- CONTRACTORS ARE RESPONSIBLE FOR SETTING OUT & CHECKING ALL LEVELS & MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- ALL WORK IS SUBJECT TO INSPECTION & APPROVAL OF THE BUILDING SURVEYOR
- ALL WORK SHOWN TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT *BUILDING CODE OF AUSTRALIA* & ALL REFERENCED STANDARDS
- CONCRETE SLABS TO ALFRESCO & PORCH AREAS ARE STRUCTURAL GRADE AND ARE NOT TO BE CONSIDERED AS AESTHETICALLY FINISHED SURFACES. THE CLIENT IS RESPONSIBLE FOR THE INSTALLATION OF FLOOR TREATMENTS TO ACHIEVE THEIR AESTHETIC FINISH TO THESE AREAS (IF APPLICABLE)
- WESTERN RED CEDAR CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC CLAUSE 7.5.2

## SOIL CLASSIFICATION

- CLASS M
- AS PER SOIL TEST REPORT PROVIDED BY STRUCTERRE CONSULTING ENGINEERS
- FILE NO. 3.25.6789.1
- DATED 08/07/25

## WIND SPEED

- WIND SPEED RATING N2

## COUNCIL / CERTIFIER REQUIREMENTS

- MUNICIPALITY : GINNINDERRY
  - TEMPORARY FENCING
  - SOIL / SILT SEDIMENT CONTROL
  - TEMPORARY CROSSOVER PROTECTION
  - COUNCIL BIN PERMIT FEE AND OR LOCKABLE SKIP BIN

## TERMITE TREATMENT

- TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 2014

## LEVELS

- DESIGN LEVELS SHOWN ARE TO AN ARBITRARY DATUM & ARE TO BE USED AS A GUIDE ONLY
- CONTRACTOR TO CHECK & VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT

## DRAINAGE

- ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEER'S DESIGN FOR THE SELECTED FOOTING SYSTEM & SOIL CLASSIFICATION & IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.6.3
- FOR BUILDINGS ON MODERATELY, HIGHLY OR EXTREMELY REACTIVE SITES
- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT & BE COMPLETED BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEM, REFER TO THE ENGINEER'S DESIGN IN REGARDS TO THE USE OF CLAY PLUGS
- FOR BUILDINGS ON HIGHLY OR EXTREMELY REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS & DISCHARGE PIPES IN ACCORDANCE WITH *PLUMBING REQUIREMENTS CLAUSE 5.6.4*
- FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING & COMMENCING WITHIN 1m OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION

### MIN. REQUIREMENTS- EXPANSION JOINT CAPACITY

SOIL CLASS	LAGGING SIZE	ANGLE OF SWIVEL
E	150mm	15°
H1 & H2	70mm	15°

### MIN. REQUIREMENTS- SEWER ARTICULATION

SOIL CLASS	EXIT		RISER	
	SWIVEL	EXPANDER	EXPANDER	LAGGING
M	0	0	0**	MIN. 25mm
H1	1	1	1**	MIN. 50mm
H2	2	1	1**	MIN. 50mm
E	2	1	x*	MIN. 50mm

- x\* DENOTES EXPANDER REQUIRED ON ALL RISERS
- \*\* DENOTES MAX. DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE
  - 900mm FOR CLASS M
  - 600mm FOR CLASS H
  - OTHERWISE EXPANDER JOINT REQUIRED

- SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING & GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING
- SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE ENGINEER
- DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS
- PROVIDE TEMPORARY SOCKS TO ALL DOWN PIPES DURING CONSTRUCTION
- CONSTRUCT & DISCHARGE 100 Ø PVC STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY WITH A MIN. FALL OF 1:100
- PROVIDE 100 Ø SEWER GRADE STORM WATER DRAIN UNDER SLAB & DRIVEWAY
- PROVIDE INSPECTION OPENINGS AS PER THE ENGINEER'S DESIGN OR IF NOT PRESENT ON THE ENGINEER'S DESIGN
  - @ 9m CTRS, OR
  - @ EVERY CHANGE OF DIRECTION

## MASONRY

- USE M 3 MORTAR (1:1:6)
- USE FACE FIXING TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL
- EXTERNAL STEEL LINTELS TO BE PRIMED
- PROVIDE CONTROL JOINTS AS PER AS 4773
- INFORMATION REGARDING CONTROL JOINTS PROVIDED IN THE SOIL REPORT & ENGINEERS DOCUMENTATION TAKE PRECEDENCE OVER THESE DRAWINGS
- ANY SINGLE LEAF WITH ENGAGED PIERS WALL CONSTRUCTION TO BE IN ACCORDANCE WITH AS 4773

## INTERNAL LININGS

- PROVIDE 10mm THICK PLASTERBOARD TO WALLS & CEILINGS
- PROVIDE AN APPROVED WATER RESISTANT PLASTERBOARD OR INTERNAL LINING INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO
  - BATHROOMS
  - ENSUITES
  - BEHIND ALL WATER VESSELS

## STAIRS & THRESHOLDS

- IF A FLIGHT OF STAIRS IS PRESENT, TREADS MUST HAVE A SLIP -RESISTANCE CLASSIFICATION NOT LESS THAN LISTED IN *NCC TABLE 11.2.4* WHEN TESTED IN ACCORDANCE WITH AS 4586 (NOSING STRIP FOR MDF TREADS, TIMBER STAIN FOR HARDWOOD TREADS OR CARPET ON CARPETED STAIRS)
- BACKFILL TO EXTERNAL DOORS TO BE NO GREATER THAN 230mm IN ACCORDANCE WITH *NCC CLAUSE 11.2.6*

## SERVICES

- SMOKE ALARM TO BE INTERCONNECTED AS PER *NCC CLAUSE 9.5.1*
- RANGEHOODS & EXHAUST FANS TO BE DUCTED EXTERNALLY
- ROOF VENTILATOR, SOLAR PANELS LOCATIONS ARE INDICATIVE & TO BE CONFIRMED ON SITE
- MAINTENANCE HATCH LOCATION IS INDICATIVE & MAY BE CHANGED DUE TO TRUSS LAYOUT

## GLAZING

- GLAZING IN BATHROOMS, ENSUITES & POWDER ROOMS IN ACCORDANCE WITH *NCC CLAUSE 8.4.6* and *AS 1288*
- WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDING, INSTALLED IN ACCORDANCE WITH AS 2047.

## WET AREAS

- WATER-PROOFING IN ACCORDANCE WITH BCA 2022 - PART 10.2 AND AS 3740
- ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE TOILET PAN & THE DOORWAY
- THE WALLS OF SANITARY COMPARTMENTS SHALL BE FINISHED WITH CERAMIC TILES OR ANOTHER IMPERVIOUS FINISH TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE LOWEST POINT OF A SHOWER
- 300mm ABOVE THE RIM OF A BATH, BASINS, TROUGHS & SINKS
- WALL TILING SHOWN INDICATIVELY ONLY - REFER TO *COLOUR SELECTION DOCUMENT* FOR ACTUAL UNIT SIZES
- WATER STOPS TO TILE-TO-TILE THRESHOLDS OF WET AREAS

## FLOOR COVERINGS

- THE PATTERNED HATCH SHOWN ON DRAWINGS IS AN INDICATION OF FLOOR COVERING LOCATION & DOES NOT INDICATE THE ACTUAL UNIT SIZE, LAYOUT OR DIRECTION OF FINISHED FLOOR COVERINGS
- TILE EXPANSION JOINTS TO BE SPACED @ MAX. 5m CTRS.

## CEILING HEIGHTS

- DIMENSIONS IN RELATION TO *FL* & *CL* REFER TO OVERALL PLATE DIMENSIONS & NOT ACTUAL FINISHED CEILING & FLOOR LEVELS
- CEILING EXPANSION JOINS APPLIED, WHERE REQUIRED

## WINDOWS

- PROVIDE 125mm RESTRICTIONS TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM & THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2m

## ROOF PLUMBING

- ALL ROOF PLUMBING & DRAINAGE IN ACCORDANCE WITH AS 3500.3
- ALL GUTTERS, FASCIAS & RAINWATER HEADS TO HAVE *Colorbond* FINISH
- ALL DOWNPIPES TO BE 100 x 50mm WITH *Colorbond* FINISH IF NOT CONNECTED TO RAINWATER TANK
- ANY DOWNPIPES CONNECTED TO RAINWATER TANK TO BE 90mm Ø PVC WITH PAINTED FINISH

## FENCING

- THE CLIENT IS RESPONSIBLE FOR ENSURING THAT FENCE LOCATION, HEIGHT & TYPE COMPLIES WITH THE DEVELOPER'S GUIDELINES

## FLOW RATE & DISCHARGE OF EXHAUST SYSTEMS

- KITCHEN RANGEHOOD TO HAVE A MIN. FLOW RATE OF 40 L/s
- BATHROOM / ENSUITE / WC EXHAUST SYSTEM TO HAVE A MIN. FLOW RATE OF 25 L/s

## CLIMATE ZONE

- CLIMATE ZONE APPLICABLE TO DEVELOPMENT - Zone 7

## DOCUMENTATION REVISION HISTORY

REVISION	DATE	DOCUMENTOR	DESCRIPTION
A	6/ 8/25	SA	NHP1 Completed
B	11/ 8/25	RN	NHP2 Completed
C	13/ 8/25	RN	NHP Uprfront
D	14/ 8/25	SA	Solar Power Panels
E	20/ 8/25	SB	NHC1 Completed
F	2/ 9/25	SB	Basix Completed
G	8/ 9/25	SA	1N Amendments Completed
H	12/ 9/25	SA	BA AM Completed
J	10/10/25	SB	Add Colours & Variations(V1/HF, V3/HF)
K	10/10/25	SA	Developer Amendments Completed
L	20/10/25	SA	Design Feedback Completed

## CONDENSATION MANAGEMENT

- EXTERNAL WALL TO COMPLY WITH BCA 2022 - PART 10.8.1 - BRADFORD ENVIROSEAL SUITABLE FOR CLIMATE ZONE 2 THOUGH TO 8
- ALL EXHAUST FANS TO WET AREA'S AND KITCHEN RANGEHOOD TO BE DUCTED EXTERNALLY TO COMPLY WITH BCA 2022 - PART 10.8.2.
- 10 MINUTE TIMED EXHAUST FANS WITH INTERLOCKING LIGHT TO SANITARY COMPARTMENTS WITH NON-OPENABLE WINDOWS
- 20mm CLEARANCE BETWEEN SARKING AND CEILING INSULATION TO COMPLY WITH BCA 2022 - PART 10.8.3.
- KITCHEN RANGEHOOD TO HAVE A MIN. FLOW RATE OF 40 L/s
- BATHROOM / ENSUITE / PWR / WC EXHAUST SYSTEM TO HAVE A MIN. FLOW RATE OF 25 L/s
- ROOF VENTILATION TO COMPLY WITH BCA 2022 - PART 10.8.3 WHERE APPLICABLE IN CLIMATE ZONE 6, 7 & 8.



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

## CONTRACT

I / We .....  
 acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed).....Date.....  
 (Signed).....Date.....

## LEGAL

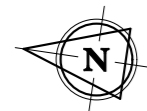
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

## Cover Sheet

HOUSE TYPE		FACE	PROJECT			
Gilchrist 277		Custom	Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617			
STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
NEW HOME CONTRACT			260328	29/7/2025	20/10/2025	L

NEW HOME CONTRACT SET

Arch/CAD 28 Last Saved 20/10/2025 by Suzan.Aykat



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

**DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION**

**CONSTRUCTION TO BAL 12.5 AS PER  
AS 3959-2018 BUSHFIRE CONSTRUCTION.**  
ALL NEW WATER, ELECTRICITY AND GAS SERVICES TO COMPLY  
WITH SECTION 4.1.3 OF PLANNING FOR BUSHFIRE PROTECTION 2018

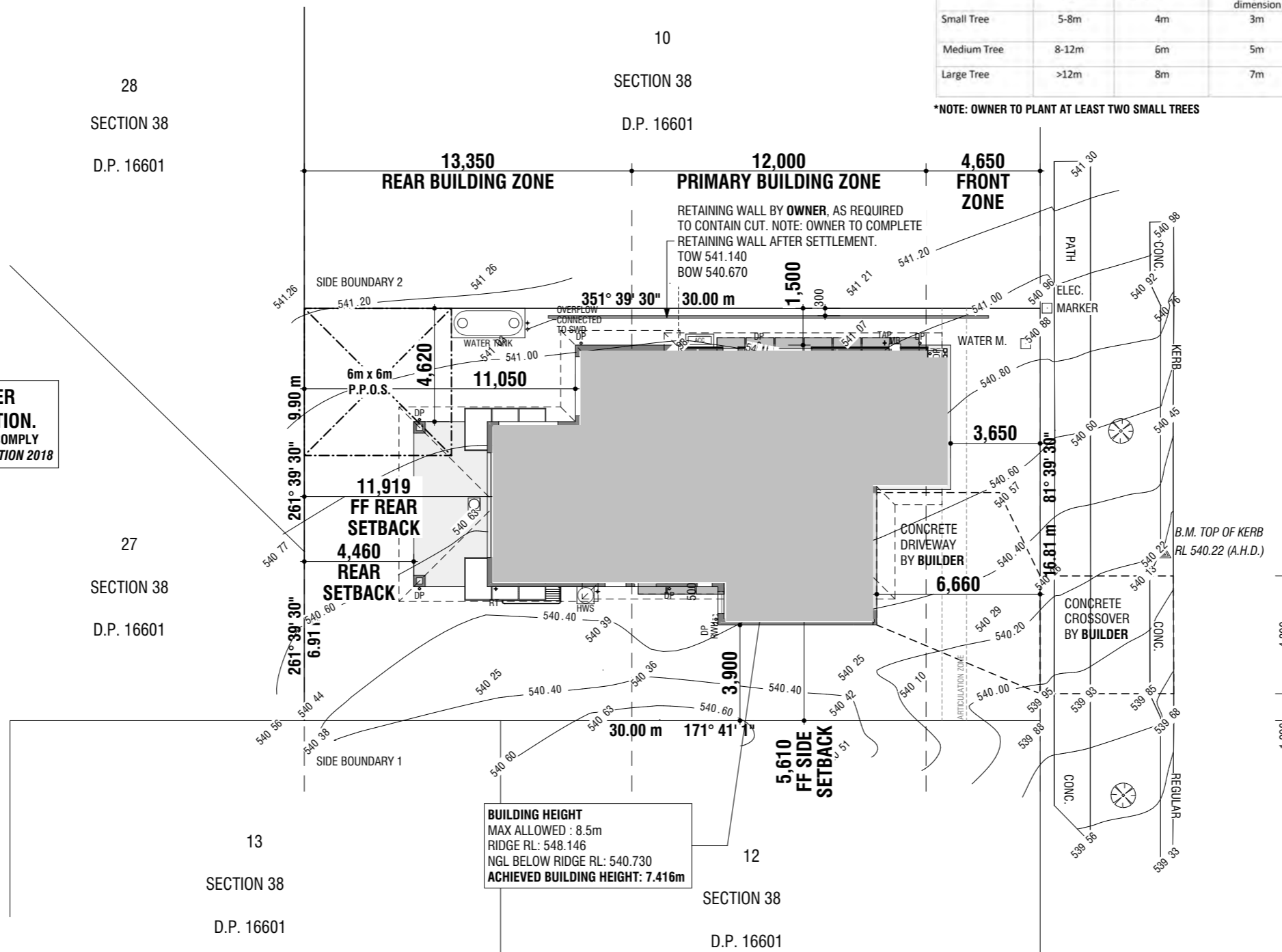
ACT TERRITORY REQ.	
Planning (Exempt Development) Single Dwelling Housing Development Control Declaration 2023 - Mid Size Block	
• SITE AREA:	504.00m <sup>2</sup>
• GROUND FLOOR AREA:	124.07m <sup>2</sup>
• FIRST FLOOR AREA:	104.51m <sup>2</sup>
• GARAGE:	37.44m <sup>2</sup>
• PORCH/ALFRESCO:	30.32m <sup>2</sup>
• DRIVEWAY AREA:	42.00m <sup>2</sup>
<b>SITE COVERAGE</b>	
• MAXIMUM ALLOWED:	60% of block = 302.40m <sup>2</sup>
<b>ACHIEVED:</b>	<b>192.00m<sup>2</sup></b>
<b>PRIVATE OPEN SPACE</b>	
• MINIMUM REQUIRED:	40% of block = 201.60m <sup>2</sup>
<b>ACHIEVED:</b>	<b>312.00m<sup>2</sup></b>
<b>PLANTING AREA</b>	
• MINIMUM REQUIRED:	20% of site area min 2.5m dimension = 84.00m <sup>2</sup>
<b>ACHIEVED:</b>	<b>236.00m<sup>2</sup></b>

**Table A: Tree sizes and associated planting requirements**

Tree size	Mature height	Minimum canopy diameter***	Minimum soil surface area dimension	Minimum pot size (litres)*	Minimum soil volume
Small Tree	5-8m	4m	3m	45**	18m <sup>3</sup>
Medium Tree	8-12m	6m	5m	75**	42m <sup>3</sup>
Large Tree	>12m	8m	7m	75**	85m <sup>3</sup>

\*NOTE: OWNER TO PLANT AT LEAST TWO SMALL TREES

LEGEND	
	• SITE CUT
	• SITE FILL
	• GAS METER
	• HOT WATER SYSTEM
	• METER BOX
	• WATER HYDRANT
	• SEWER VENT / I.S.
	• TELSTRA PIT
	• S/W PROPERTY INLET
	• SEWER MANHOLE
	• STREET SIGN
	• TREE
	• TBM
	• WATER VALVE
	• ELECTRICAL PIT
	• ELECTRICAL POLE
	• STREET LAMP
	• WATER METER
	• STORM WATER PIT
	TAP + • STD WATER TAP
	RT + • RECYCLED WATER TAP
	W • HABITABLE ROOM WINDOW
	GW • SIGN STAMPED ON KERB



**BUILDING HEIGHT**  
MAX ALLOWED : 8.5m  
RIDGE RL: 548.146  
NGL BELOW RIDGE RL: 540.730  
**ACHIEVED BUILDING HEIGHT: 7.416m**

**JIM BRAY LOOP**

**NEW HOME CONTRACT SET**

**Burbank**  
Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222  
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

<b>Site Plan</b>	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE <b>Custom</b>
STATUS <b>NEW HOME CONTRACT</b>	SCALE <b>1:200</b>

<b>PROJECT</b>			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>

**SHEET No**  
**01-1**  
**of 18**



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION

28  
SECTION 38  
D.P. 16601

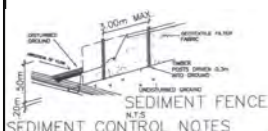
10  
SECTION 38  
D.P. 16601

27  
SECTION 38  
D.P. 16601

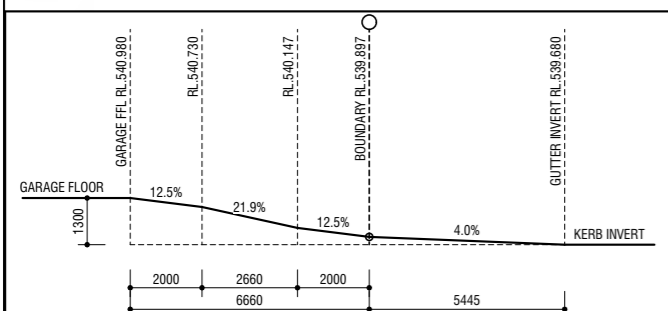
13  
SECTION 38  
D.P. 16601

12  
SECTION 38  
D.P. 16601

**SILTATION FENCE**  
BUILDER TO PROVIDE & INSTALL APPROVED  
SILTATION FENCE & DIVERTER DRAINS PRIOR  
TO SITE START AS REQUIRED BY LOCAL COUNCIL



- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
  2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
  3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
  4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
  5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
  6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
  7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPER OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222  
**ABN:** 88 610 822 770. **ACN:** 610 822 770. **BL:** 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

Site Works Plan		PROJECT	
HOUSE TYPE	FACADE	Sch 2.2(a)(ii)	
Gilchrist 277	Custom	Blk 11 Sec 38 No. 30 Jim Bray Loop	
STATUS	Mast REVISION	SCALE	JOB NUMBER
NEW HOME CONTRACT		1:200	260328
		JOB DATE	JOB REV DATE
		29/7/2025	20/10/2025
		JOB REV No.	
		L	

PROJECT		SHEET No	
Sch 2.2(a)(ii)		01-2	
Blk 11 Sec 38 No. 30 Jim Bray Loop		of 18	
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	20/10/2025	L

**LEGEND**

- SITE CUT
- SITE FILL
- GAS METER
- GAS METER
- HWS • HOT WATER SYSTEM
- MB • METER BOX
- WATER HYDRANT
- SEWER VENT / I.S.
- TELSTRA PIT
- \* • S/W PROPERTY INLET
- SEWER MANHOLE
- STREET SIGN
- TREE
- TBM
- WATER VALVE
- ELECTRICAL PIT
- ELECTRICAL POLE
- STREET LAMP
- WATER METER
- STORM WATER PIT
- TAP+ • STD WATER TAP
- RT+ • RECYCLED WATER TAP
- W • HABITABLE ROOM WINDOW
- GW • SIGN STAMPED ON KERB

MATERIAL STORAGE AREA  
ALL WEATHER ACCESS  
RECYCLING WASTE AREA

• SITE CUT  
• SITE FILL  
- - - CUT/FILL LINE

JIM BRAY LOOP

NEW HOME CONTRACT SET





11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION

**STORMWATER**

ROOF CATCHMENT AREA OF 250m<sup>2</sup>  
CONNECTED TO 4000Ltr BASIX WATER TANK  
VIA 100mm STORMWATER LINES. OVERFLOW OF  
TANK TO KERB OUTLET

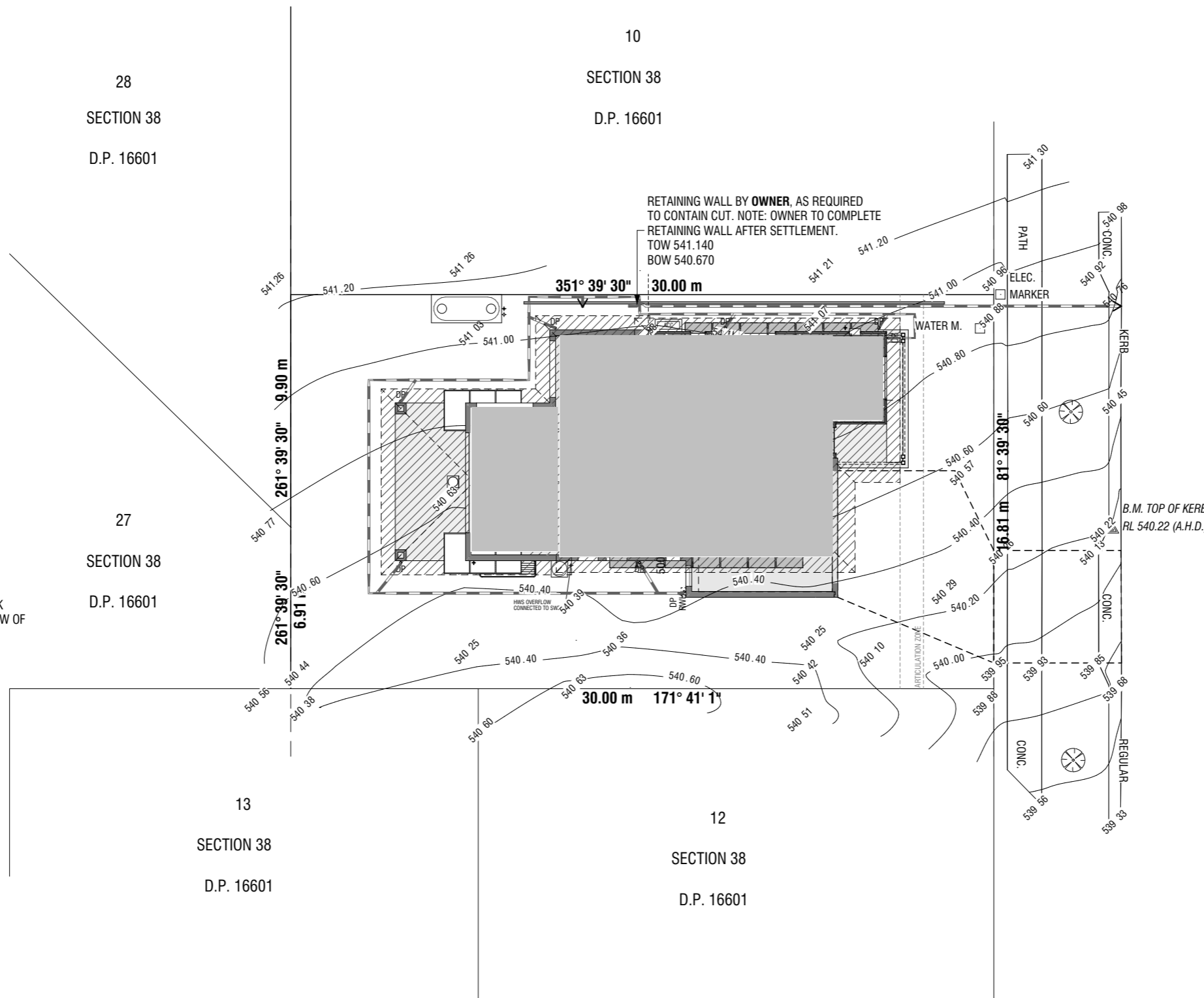
28  
SECTION 38  
D.P. 16601

10  
SECTION 38  
D.P. 16601

27  
SECTION 38  
D.P. 16601

13  
SECTION 38  
D.P. 16601

12  
SECTION 38  
D.P. 16601



LEGEND	
	• SITE CUT
	• SITE FILL
	• GAS METER
	• HOT WATER SYSTEM
	• METER BOX
	• WATER HYDRANT
	• SEWER VENT / I.S.
	• TELSTRA PIT
	• S/W PROPERTY INLET
	• SEWER MANHOLE
	• STREET SIGN
	• TREE
	• TBM
	• WATER VALVE
	• ELECTRICAL PIT
	• ELECTRICAL POLE
	• STREET LAMP
	• WATER METER
	• STORM WATER PIT
	• STD WATER TAP
	• RECYCLED WATER TAP
	• HABITABLE ROOM WINDOW
	• SIGN STAMPED ON KERB

JIM BRAY LOOP

NEW HOME CONTRACT SET

**Burbank**  
 Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
 I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**  
 This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

<b>Stormwater Concept Plan</b>	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE <b>Custom</b>
STATUS <b>NEW HOME CONTRACT</b>	SCALE <b>1:200</b>

<b>PROJECT</b>			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER <b>260328</b>	JOB DATE <b>29/7/2025</b>	JOB REV DATE <b>20/10/2025</b>	JOB REV No. <b>L</b>

**SHEET No**  
**01-4**  
**of 18**

**WINDOW HEAD HEIGHTS**  
WINDOW HEAD HEIGHTS ARE IDENTIFIED FROM THE WINDOW CODE ON THE FLOOR PLAN.  
ASW(2165) ← HEAD HEIGHT 1200-1450

WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MEASURED FROM THE:  
• TOP OF FLOOR SLAB TO TOP OF EXTERNAL WINDOW FRAME FOR SINGLE STOREY AND GROUND FLOOR OF DOUBLE STOREY  
• TOP OF PARTICLEBOARD FLOORING TO THE TOP OF EXTERNAL WINDOW FRAME FOR THE FIRST FLOOR OF DOUBLE STOREY

**NOTE:**  
ALL INTERNAL HINGED DOORS TO BE 2040mm HIGH UNLESS SPECIFICALLY NOTED OTHERWISE

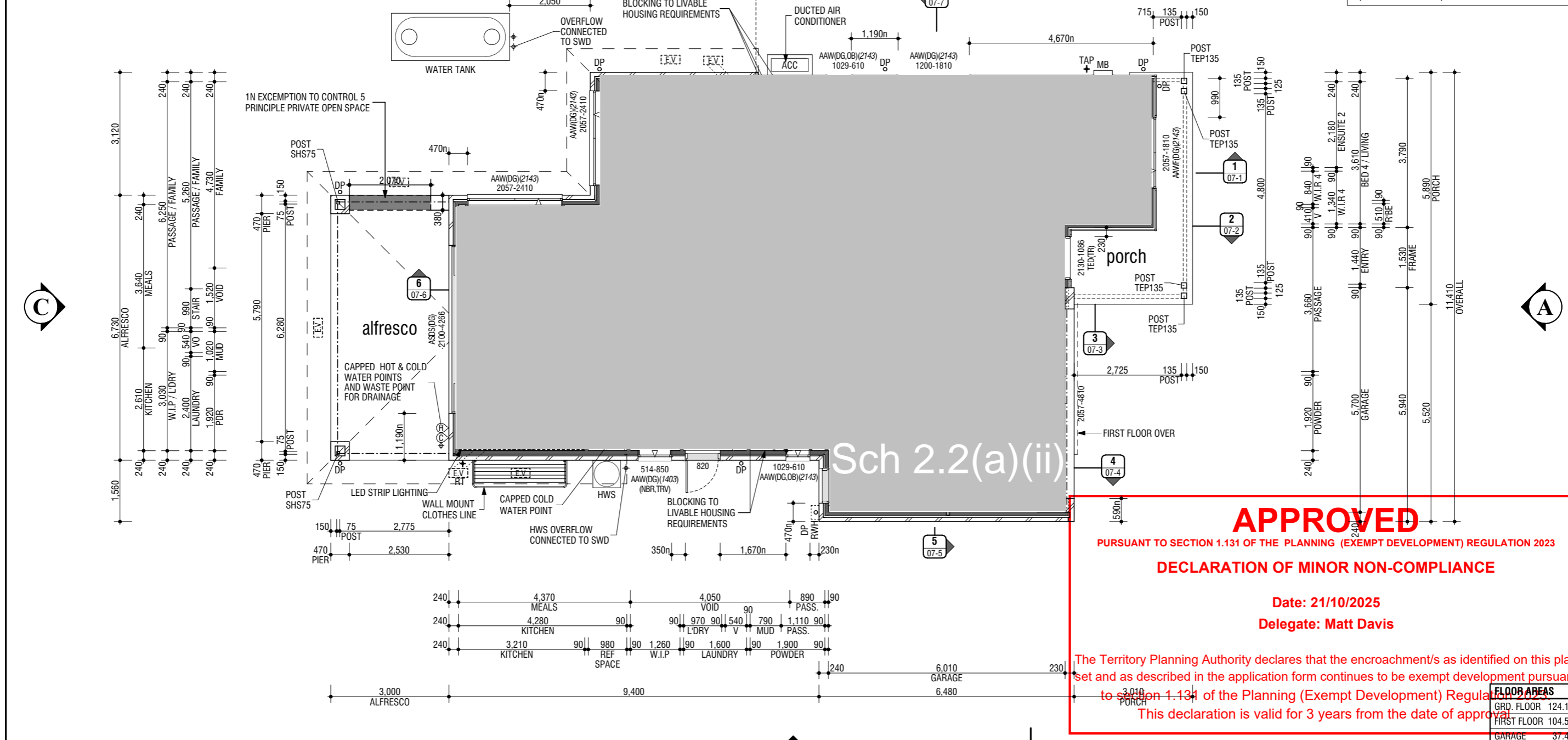
**NOTE:**  
• SQ SET CEILING TO ENSUITE 1, 2 AND BATHROOM

--- - LOAD BEARING WALL  
--- - STAIRCASE WALL BY MANUFACTURER  
--- - LOW HEIGHT WALL  
--- - FULL HEIGHT WALL

**NOTE:**  
• ROOF VENTILATOR VIA WHIRLYBIRDS WITH A 306mm = 62500mm<sup>2</sup> THROAT  
• EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

**NOTE:**  
• 60mm JOIST RECESS TO FIRST FLOOR SHOWERS ONLY  
• 70mm SLAB RECESS TO GROUND FLOOR SHOWERS ONLY

• R2.5 ACOUSTIC INSULATION IN BETWEEN FLOORS  
• R2.5 ACOUSTIC INSULATION TO ALL EXTERNAL WALLS (EXCLUDING GARAGE)



**APPROVED**

PURSUANT TO SECTION 1.131 OF THE PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023  
**DECLARATION OF MINOR NON-COMPLIANCE**

Date: 21/10/2025  
Delegate: Matt Davis

The Territory Planning Authority declares that the encroachment/s as identified on this plan set and as described in the application form continues to be exempt development pursuant to section 1.131 of the Planning (Exempt Development) Regulation 2023.  
This declaration is valid for 3 years from the date of approval.

STRUCTURAL MEMBERS SCHEDULE	
POSTS	DESCRIPTION
SHS75	STEEL 75x75 SHS COLUMN WITH BASE PLATE (AS PER ENGINEERS CERTIFICATION)
TEP135	TIMBER 135x135 H3 LOSP Primed (WITH POST SUPPORT & CONNECTION DETAILS AS PER ENGINEERS SPEC.)
LINTELS	DESCRIPTION
INV/T	STEEL INVERTED T LINTEL (REQUIRES ENGINEERS SPECIFICATION)
STEEL MEMBERS TO STRUCTURAL ENGINEERS DESIGN TIMBER MEMBERS TO PRE-FABRICATED FRAMING MANUFACTURERS DESIGN	

LEGEND	
LOH	Lift Off Hinge
RA	Return Air
CT	Cooktop
REF	Refrigerator
DP	Downpipe
CT	Cooktop
HWS	Hot Water Service
MB	Meter Box
SM	Smoke Detector/Alarm
HWS	Hot Water Service
MH	Maintenance Hatch
UBO	Under Bench Oven
PL	Privacy Lock
DW	Dishwasher
OL	Opening Leaf
NBR	No Bottom Reveal
WM	Washing Machine
TR	Translucent Glaz
LE	Low E Glazing
OBS	Obscure Glazing
DCC	Dual Cycle Cond
SSC	Split System Cond
PR	Plaster Reveal
TRV	Tiled Reveal

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed)..... Date.....  
 (Signed)..... Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

<b>Ground Floor Plan</b>		<b>PROJECT</b>		<b>SHEET No</b>	
HOUSE TYPE	FACADE	Sch 2.2(a)(ii)		02-1	
Gilchrist 277	Custom	Blk 11 Sec 38 No. 30 Jim Bray Loop		of 18	
STATUS		MAST REVISION	SCALE	JOB NUMBER	JOB DATE
NEW HOME CONTRACT			1:100	260328	29/7/2025
		JOB REV DATE	JOB REV No.		
		20/10/2025	L		

FLOOR AREAS	
GRD. FLOOR	124.1m <sup>2</sup>
FIRST FLOOR	104.5m <sup>2</sup>
GARAGE	37.4m <sup>2</sup>
SUB TOTAL	266.0m <sup>2</sup>
PORCH	10.1m <sup>2</sup>
ALFRESCO	20.2m <sup>2</sup>
TOTAL	296.3m <sup>2</sup>

Arch/CAD 28 Last Saved 20/10/2025 by Suzan.Aykat

**WINDOW HEAD HEIGHTS**  
WINDOW HEAD HEIGHTS ARE IDENTIFIED FROM THE WINDOW CODE ON THE FLOOR PLAN.  
ASW(2165) ← HEAD HEIGHT 1200-1450

WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MEASURED FROM THE:  
• TOP OF FLOOR SLAB TO TOP OF EXTERNAL WINDOW FRAME FOR SINGLE STOREY AND GROUND FLOOR OF DOUBLE STOREY  
• TOP OF PARTICLEBOARD FLOORING TO THE TOP OF EXTERNAL WINDOW FRAME FOR THE FIRST FLOOR OF DOUBLE STOREY

**NOTE:**  
ALL INTERNAL HINGED DOORS TO BE 2040mm HIGH UNLESS SPECIFICALLY NOTED OTHERWISE

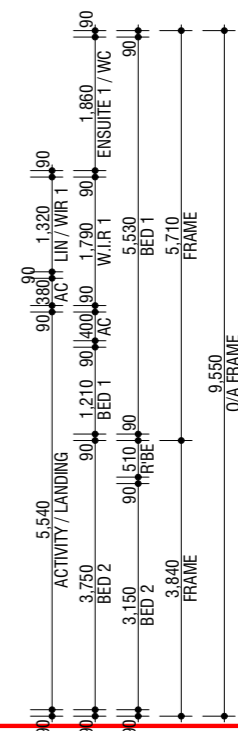
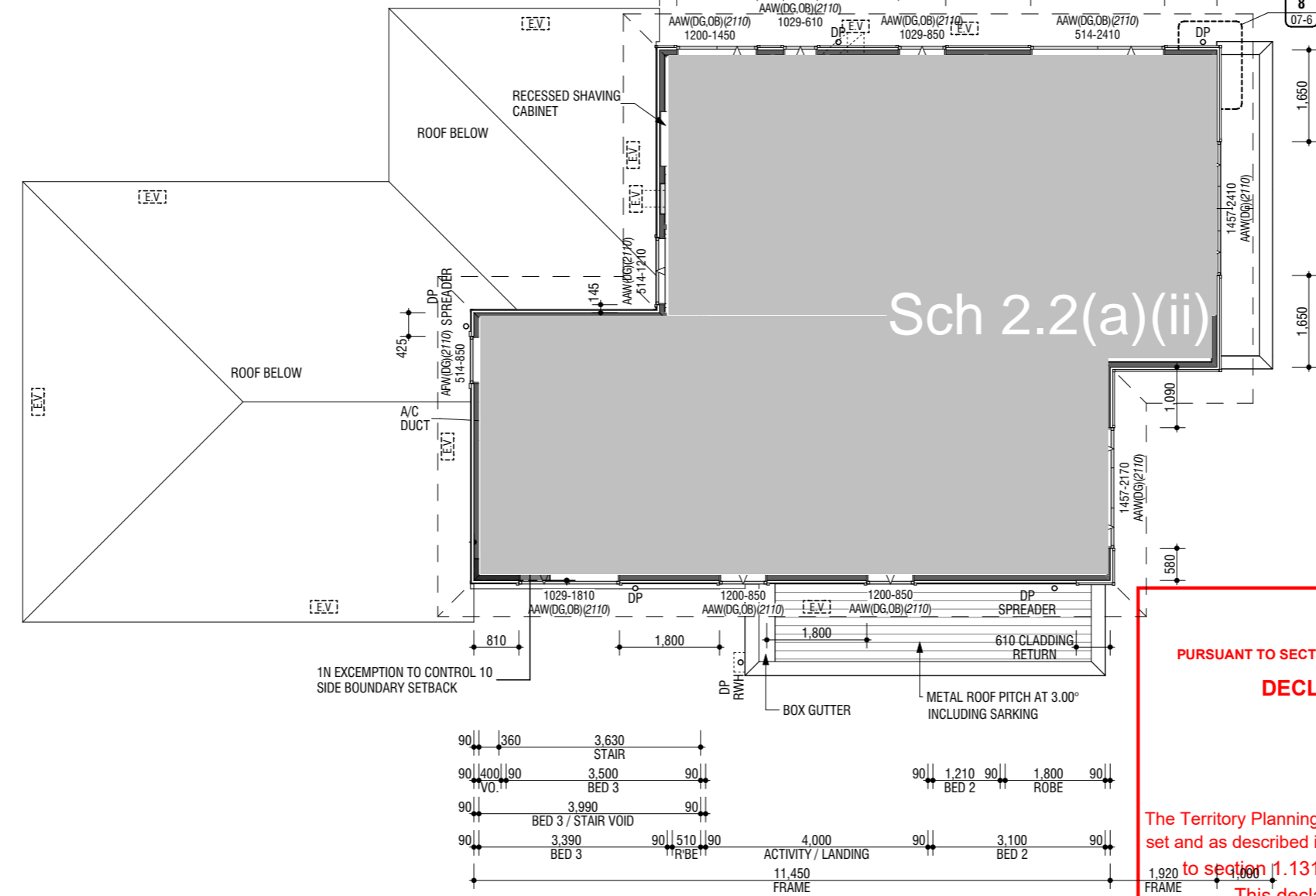
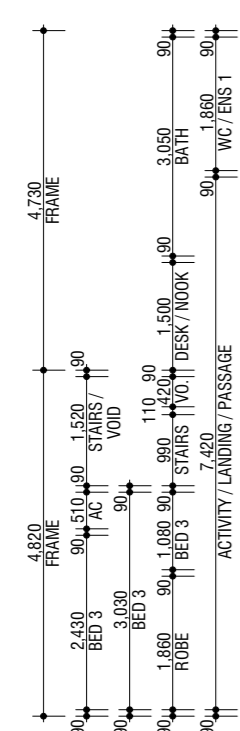
**NOTE:**  
• SQ SET CEILING TO ENSUITE 1, 2 AND BATHROOM

--- LOAD BEARING WALL  
--- NOTE: STAIRCASE WALL BY MANUFACTURER  
--- LOW HEIGHT WALL  
--- FULL HEIGHT WALL

**NOTE:**  
• ROOF VENTILATOR VIA WHIRLYBIRDS WITH A 306mm = 62500mm<sup>2</sup> THROAT  
• EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

**NOTE:**  
• 60mm JOIST RECESS TO FIRST FLOOR SHOWERS ONLY  
• 70mm SLAB RECESS TO GROUND FLOOR SHOWERS ONLY

• R2.5 ACOUSTIC INSULATION IN BETWEEN FLOORS  
• R2.5 ACOUSTIC INSULATION TO ALL EXTERNAL WALLS (EXCLUDING GARAGE)



**APPROVED**  
PURSUANT TO SECTION 1.131 OF THE PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023  
**DECLARATION OF MINOR NON-COMPLIANCE**

Date: 21/10/2025  
Delegate: Matt Davis

The Territory Planning Authority declares that the encroachment/s as identified on this plan set and as described in the application form continues to be exempt development pursuant to section 1.131 of the Planning (Exempt Development) Regulation 2023.  
This declaration is valid for 3 years from the date of approval.

FLOOR AREAS	
GRD. FLOOR	124.1m <sup>2</sup>
FIRST FLOOR	104.5m <sup>2</sup>
GARAGE	37.4m <sup>2</sup>
<b>SUB TOTAL</b>	<b>266.0m<sup>2</sup></b>
PORCH	10.1m <sup>2</sup>
ALFRESCO	20.2m <sup>2</sup>
<b>TOTAL</b>	<b>296.3m<sup>2</sup></b>

STRUCTURAL MEMBERS SCHEDULE	
POSTS	DESCRIPTION
SHS75	STEEL 75x75 SHS COLUMN WITH BASE PLATE (AS PER ENGINEERS CERTIFICATION)
TBP135	TIMBER 135x135 H3 LOSP Primed (WITH POST SUPPORT & CONNECTION DETAILS AS PER ENGINEER'S SPEC.)
LINTELS	STEEL INVERTED T LINTEL (REQUIRES ENGINEERS SPECIFICATION)
INV/T	STEEL MEMBERS TO STRUCTURAL ENGINEERS DESIGN TIMBER MEMBERS TO PRE-FABRICATED FRAMING MANUFACTURERS DESIGN

LEGEND	
DP	Downpipe
CT	Cooktop
MB	Meter Box
MH	Maintenance Hatch
DW	Dishwasher
WM	Washing Machine
OBS	Obscure Glazing
PR	Plaster Reveal
LOH	Lift Off Hinge
RA	Return Air
RF	Refrigerator
HWS	HotWaterService
PL	Privacy Lock
NBR	No Bottom Reveal
LE	Low E Glazing
SSC	Split System Cond
TRV	Tiled Reveal

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I / We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed)..... Date.....  
 (Signed)..... Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

First Floor Plan	
HOUSE TYPE	FAÇADE
<b>Gilchrist 277</b>	<b>Custom</b>
STATUS	SCALE
<b>NEW HOME CONTRACT</b>	<b>1:100</b>

PROJECT				
Sch 2.2(a)(ii)				
Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617				
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	
<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>	

SHEET No  
**02-2**  
of 18

NEW HOME CONTRACT SET

**NOTE:**  
 • ROOF VENTILATOR VIA WHIRLYBIRDS WITH  
 A 306mm = 62500mm<sup>2</sup> THROAT  
 • EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

CLIMATE ZONE 7

**UPPER ROOF VENTILATION CALCULATIONS**

ROOF LENGTH 14.67m

REQUIRED VENTILATION TO LOW LEVEL 14.67 x 7000 = 102690mm<sup>2</sup>  
 REQUIRED VENTILATION TO HIGH LEVEL 14.67 x 5000 = 73350mm<sup>2</sup>

LOW LEVEL CALCULATION  
 EAVE VENT 23700mm<sup>2</sup>  
 102690 / 23700 = 4.3 (5 EAVE VENTS)

HIGH LEVEL CALCULATION  
 WHIRLYBIRD 62500mm<sup>2</sup>  
 73350 / 62500 = 1.17 (2 WHIRLLY BIRDS)

**LOWER ROOF VENTILATION CALCULATIONS (REAR ROOF)**

ROOF LENGTH 11.51m

REQUIRED VENTILATION TO LOW LEVEL 11.51 x 7000 = 80570mm<sup>2</sup>  
 REQUIRED VENTILATION TO HIGH LEVEL 11.51 x 5000 = 57550mm<sup>2</sup>

LOW LEVEL CALCULATION  
 EAVE VENT 23700mm<sup>2</sup>  
 80570 / 23700mm<sup>2</sup> = 3.39 (4 EAVE VENTS)

HIGH LEVEL CALCULATION  
 WHIRLYBIRD 62500mm<sup>2</sup>  
 57550 / 62500 = 0.9 (1 WHIRLLY BIRDS)

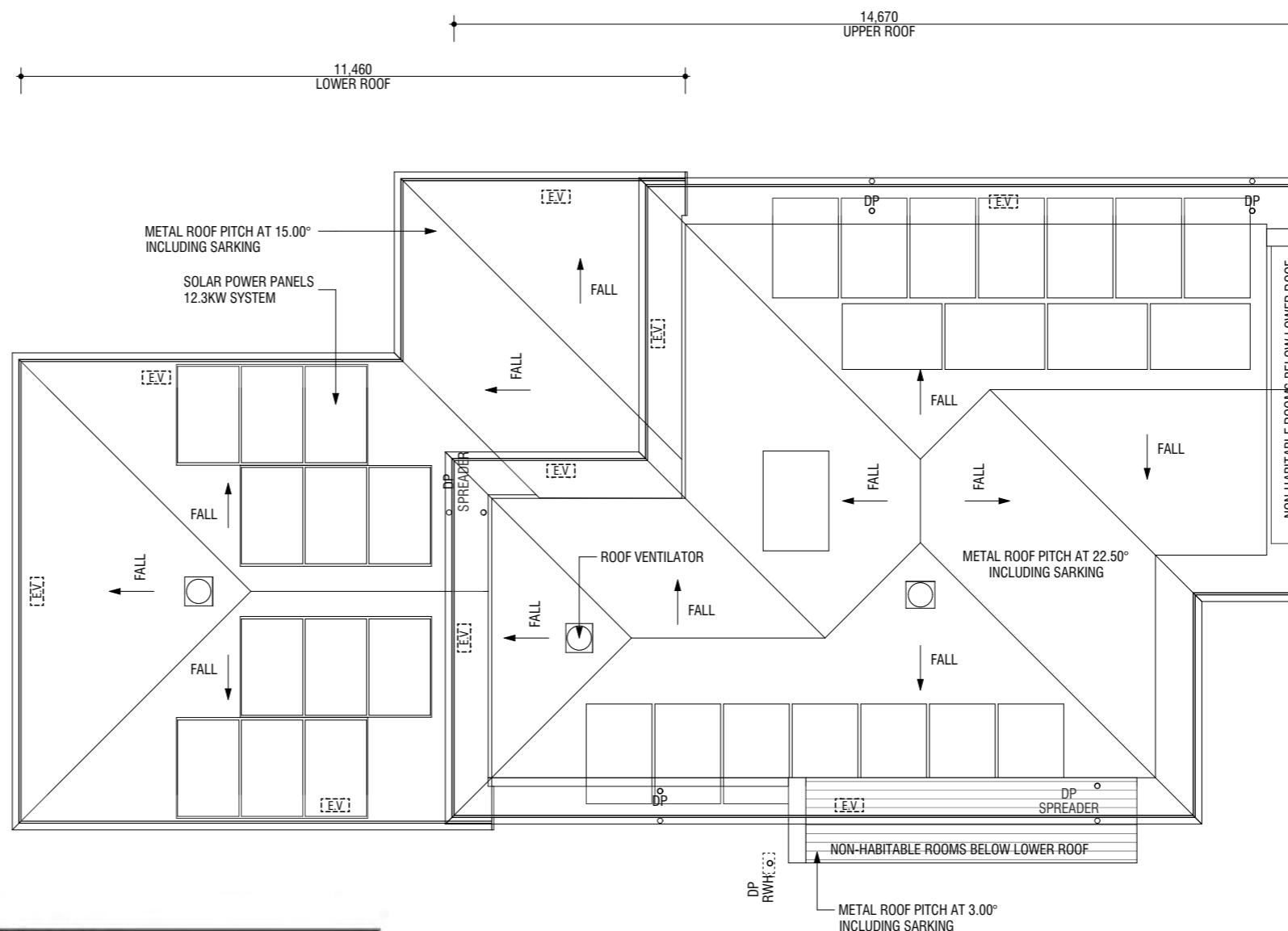


Table 10.8.3: Roof space ventilation requirements

Roof pitch	Ventilation openings
< 10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
≥ 10° and < 15°	25,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level
≥ 15° and < 75°	7,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level, plus an additional 18,000 mm <sup>2</sup> /m at the eaves if the roof has a cathedral ceiling

NEW HOME CONTRACT SET

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**

This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

<b>Roof Plan</b>	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE Custom
STATUS NEW HOME CONTRACT	Mast REVISION SCALE 1:100

<b>PROJECT</b>			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER <b>260328</b>	JOB DATE 29/7/2025	JOB REV DATE 20/10/2025	JOB REV No. L

**SHEET No**  
02-3  
**of 18**

WINDOW & DOOR SCREEN LEGEND	
FS	FLY SCREEN
SS	SECURITY SCREEN
FD	FLY DOOR
SD	SECURITY DOOR

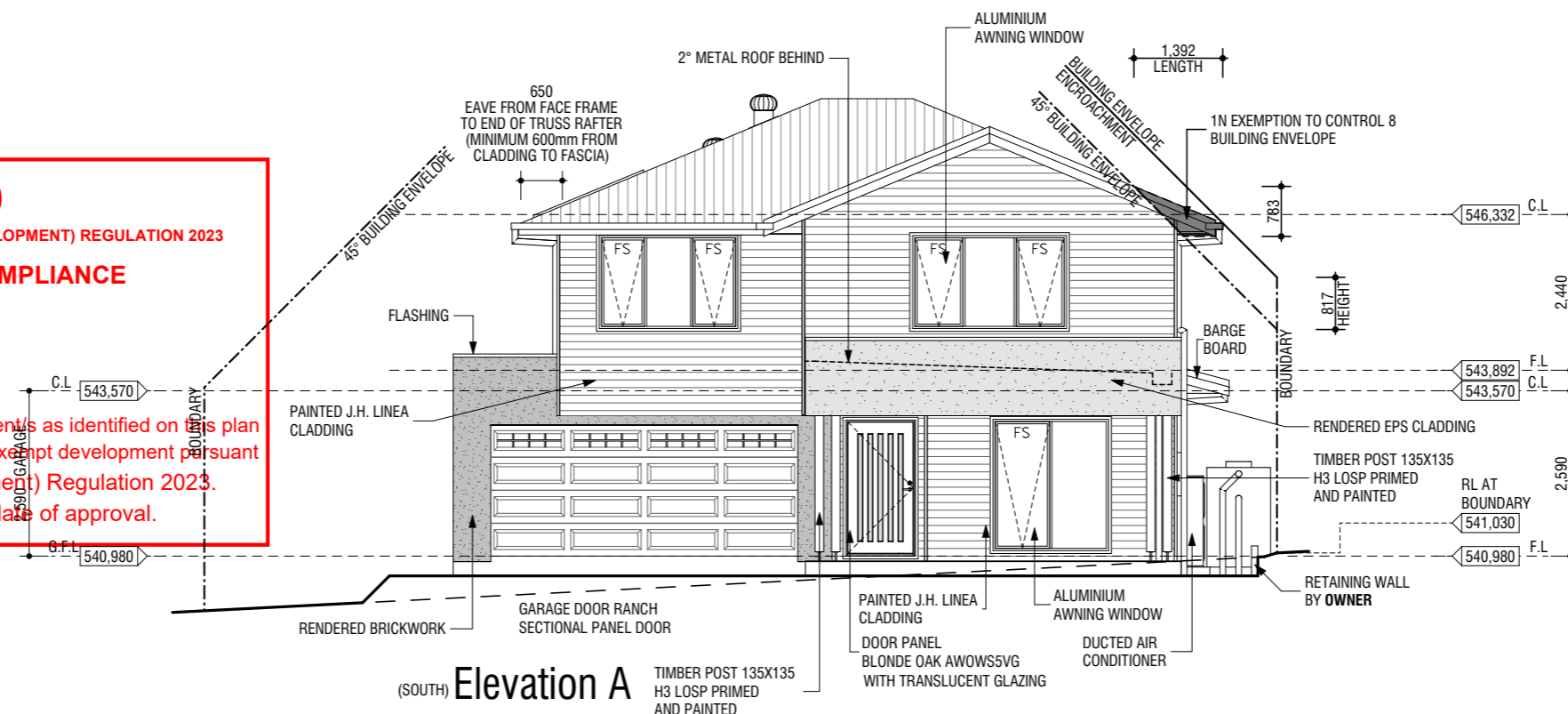
**APPROVED**

PURSUANT TO SECTION 1.131 OF THE PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023

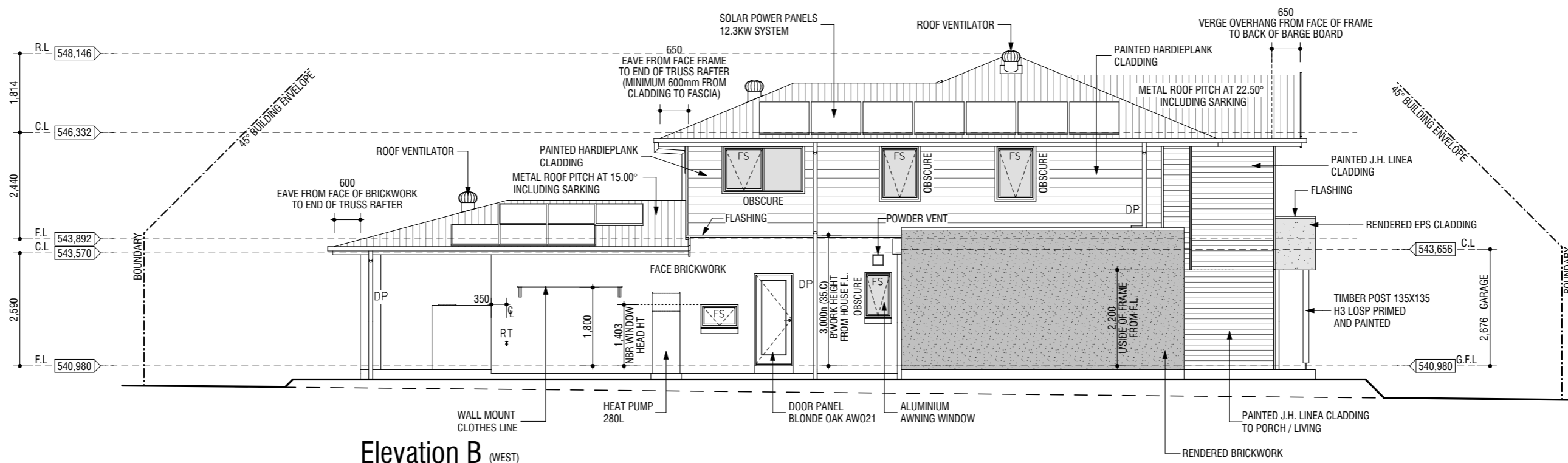
**DECLARATION OF MINOR NON-COMPLIANCE**

Date: 21/10/2025  
Delegate: Matt Davis

The Territory Planning Authority declares that the encroachments as identified on this plan set and as described in the application form continues to be exempt development pursuant to section 1.131 of the Planning (Exempt Development) Regulation 2023.  
This declaration is valid for 3 years from the date of approval.



(SOUTH) **Elevation A**  
TIMBER POST 135X135 H3 LOSP PRIMED AND PAINTED



**Elevation B** (WEST)

INFILL OVER OPENINGS SCHEDULE	
OPENING	INFILL
GARAGE DOOR	Brickwork
FRONT ENTRY HINGED DOOR	Brickwork
REAR GARAGE DOOR	Brickwork
ALFRESCO DOORS & WINDOWS	Brickwork
FACADE WINDOWS	As Noted
REMAINING GF WINDOWS AND DOORS	Brickwork
REMAINING FF WINDOWS & DOORS	No Infill due to Eave Junction



Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222  
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**

This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

**External Elevations**

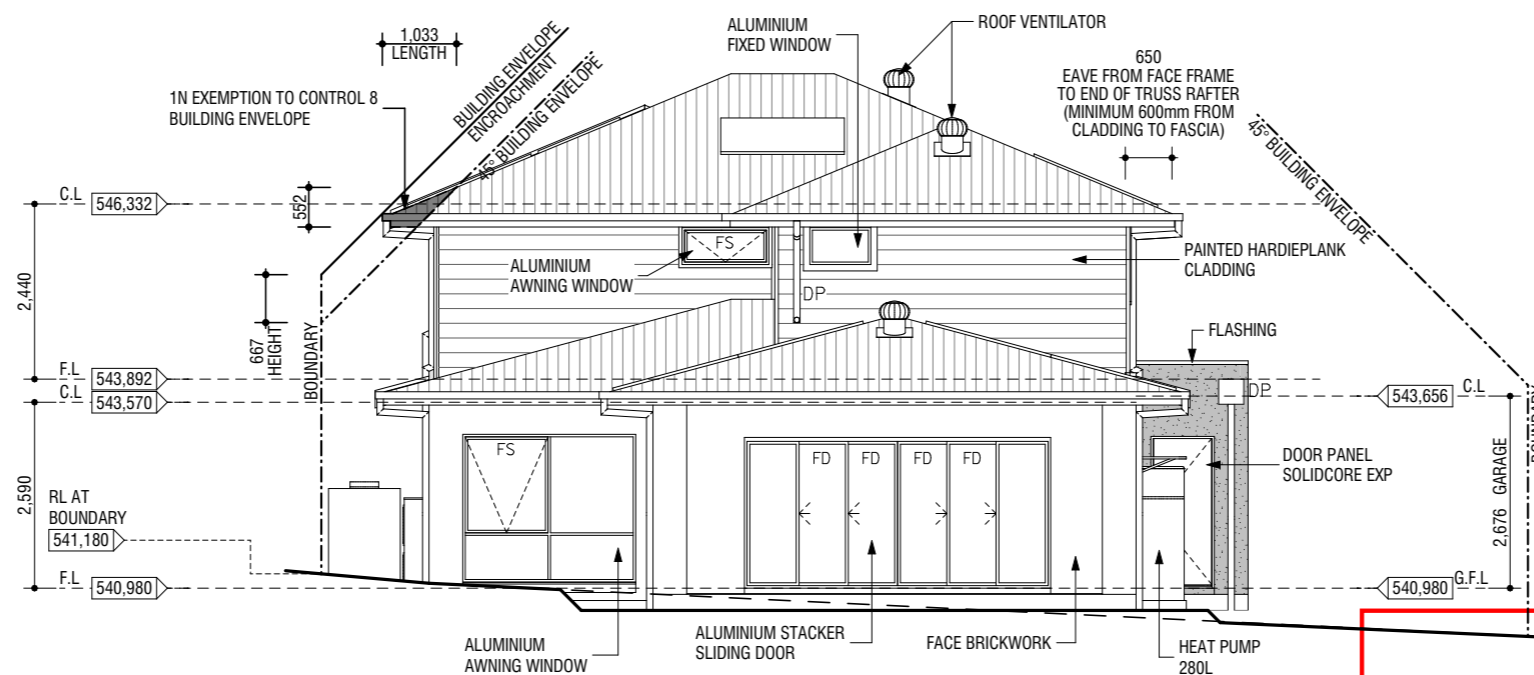
HOUSE TYPE	FACADE
<b>Gilchrist 277</b>	<b>Custom</b>
STATUS	SCALE
<b>NEW HOME CONTRACT</b>	<b>1:100</b>

PROJECT	SHEET No
Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617	<b>03-1</b> <b>of 18</b>
JOB NUMBER	JOB DATE
<b>260328</b>	<b>29/7/2025</b>
JOB REV DATE	JOB REV No.
<b>20/10/2025</b>	<b>L</b>

NEW HOME CONTRACT SET

Arch/CAD 28 Last Saved 20/10/2025 by Suzan Aykut

WINDOW & DOOR SCREEN LEGEND	
FS	FLY SCREEN
SS	SECURITY SCREEN
FD	FLY DOOR
SD	SECURITY DOOR



Elevation C (NORTH)

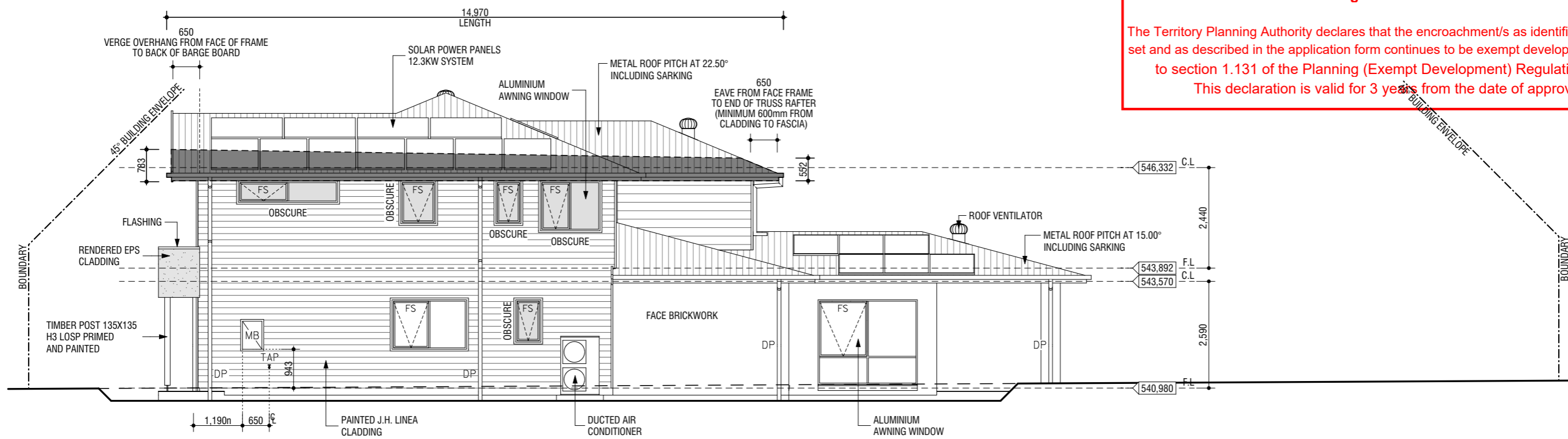
**APPROVED**

PURSUANT TO SECTION 1.131 OF THE PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023

**DECLARATION OF MINOR NON-COMPLIANCE**

Date: 21/10/2025  
Delegate: Matt Davis

The Territory Planning Authority declares that the encroachment/s as identified on this plan set and as described in the application form continues to be exempt development pursuant to section 1.131 of the Planning (Exempt Development) Regulation 2023. This declaration is valid for 3 years from the date of approval.



Elevation D (EAST)

INFILL OVER OPENINGS SCHEDULE	
OPENING	INFILL
GARAGE DOOR	Brickwork
FRONT ENTRY HINGED DOOR	Brickwork
REAR GARAGE DOOR	Brickwork
ALFRESCO DOORS & WINDOWS	Brickwork
FACADE WINDOWS	As Noted
REMAINING GF WINDOWS AND DOORS	Brickwork
REMAINING FF WINDOWS & DOORS	No Infill due to Eave Junction

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222  
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I / We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
(Signed).....Date.....

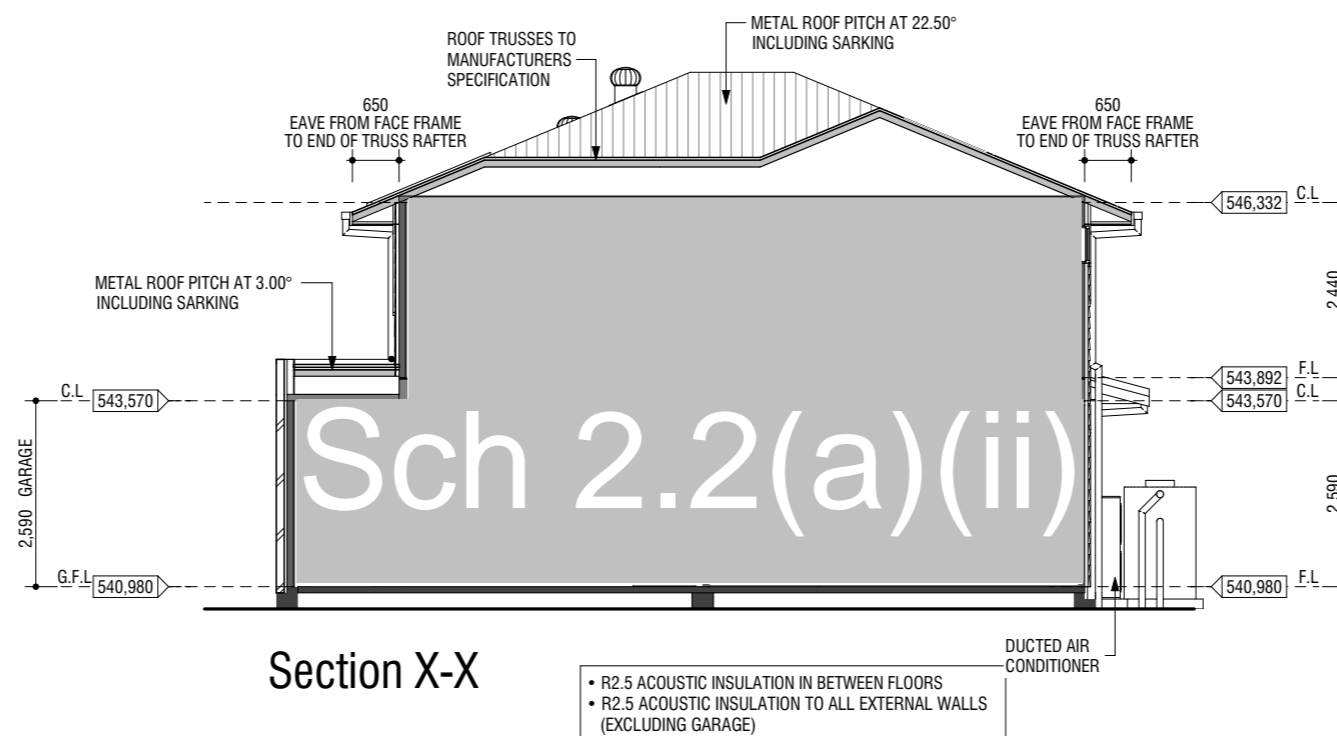
**LEGAL**

This drawing and information herein is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

External Elevations			PROJECT			SHEET No	
HOUSE TYPE	FACADE	SCALE	Sch 2.2(a)(ii)			03-2	
Gilchrist 277	Custom	1:100	Blk 11 Sec 38 No. 30 Jim Bray Loop			of 18	
STATUS	Mast REVISION	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.		
NEW HOME CONTRACT		260328	29/7/2025	20/10/2025	L		



NEW HOME CONTRACT SET

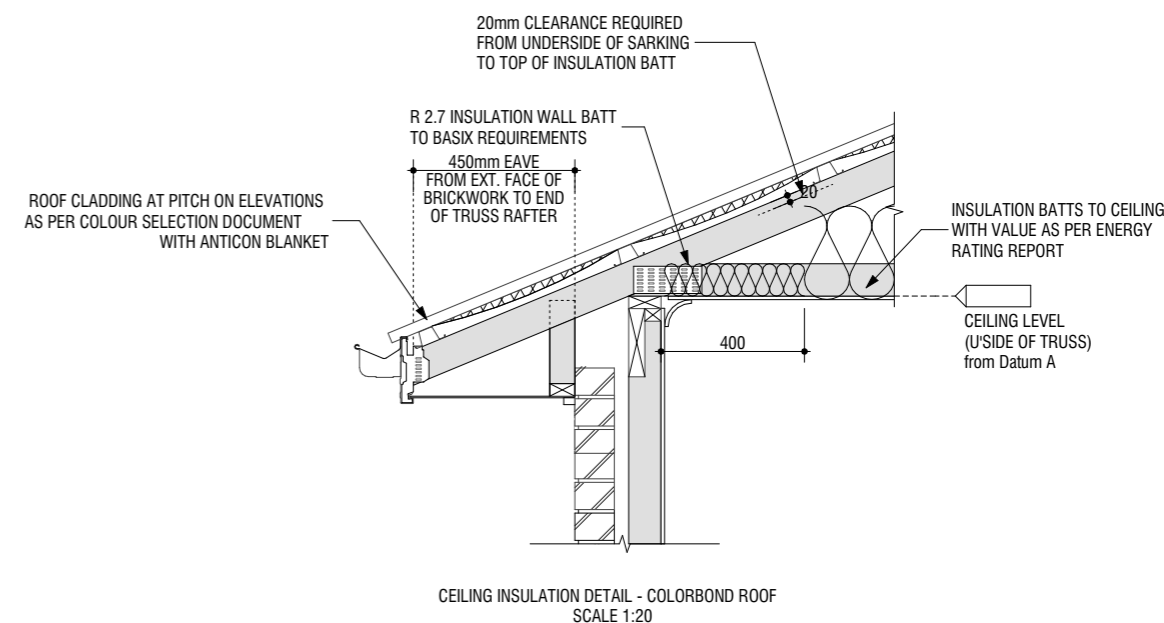
Arch/CAD 28 Last Saved 20/10/2025 by Suzan.Aykat

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves. (Signed)..... Date..... (Signed)..... Date.....</p>		<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd. The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work. Figured dimensions are to be taken in preference of scaled dimensions.</p>		<p><b>External Sections</b></p> <table border="1"> <tr> <td>HOUSE TYPE</td> <td>FACADE</td> <td></td> </tr> <tr> <td><b>Gilchrist 277</b></td> <td><b>Custom</b></td> <td></td> </tr> <tr> <td>STATUS</td> <td>MAST REVISION</td> <td>SCALE</td> </tr> <tr> <td><b>NEW HOME CONTRACT</b></td> <td></td> <td>1:100</td> </tr> </table>			HOUSE TYPE	FACADE		<b>Gilchrist 277</b>	<b>Custom</b>		STATUS	MAST REVISION	SCALE	<b>NEW HOME CONTRACT</b>		1:100	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>			<p><b>SHEET No</b></p> <p><b>03-3</b></p> <p><b>of 18</b></p>
	HOUSE TYPE	FACADE																					
	<b>Gilchrist 277</b>	<b>Custom</b>																					
STATUS	MAST REVISION	SCALE																					
<b>NEW HOME CONTRACT</b>		1:100																					
			<table border="1"> <tr> <td>JOB NUMBER</td> <td>JOB DATE</td> <td>JOB REV DATE</td> <td>JOB REV No.</td> </tr> <tr> <td><b>260328</b></td> <td>29/7/2025</td> <td>20/10/2025</td> <td><b>L</b></td> </tr> </table>	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>												
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.																				
<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>																				

### BASIX NOTES TABLE

<b>WAFFLE POD SIZE:</b> • HOUSE WAFFLE POD:	310mm SLAB 225mm POD THICKNESS
<b>PROJECT TYPE:</b> • SEPARATE DWELLING HOUSE: • No. OF BED ROOMS:	VACANT LOT 4
<b>SITE DETAILS:</b> • SITE AREA: • TOTAL ROOF AREA (INCLUDING EAVES): • TOTAL SOFT LANDSCAPED AREA: (INCLUDES ALL UNBUILT UPON AREA OF SITE & EXCLUDES ALL BUILDING(S) DRIVEWAY & PATHS)	504.0 m <sup>2</sup> 249.0 m <sup>2</sup> 311.0 m <sup>2</sup>
<b>RAIN WATER:</b> • IS A RAINWATER TANK PROPOSED: • MINIMUM RAINWATER TANK SIZE: • ROOF AREA COLLECTED BY RAINWATER TANK: • RAINWATER CONNECTED TO:	YES 4000 Lt 250 m <sup>2</sup> LAUNDRY / TOILETS / GARDEN
<b>WATER SUPPLY:</b> • IS DUAL / RETICULATED WATER AVAILABLE TO SITE: • IS TOWN WATER AVAILABLE TO SITE:	NO YES
<b>WATER FIXTURES:</b> • SHOWER HEAD RATING: • TOILET FLUSHING SYSTEM RATING: • KITCHEN TAP FITTING RATING: • BASIN TAP RATING:	3 STAR - 8 LT/MIN 4 STAR 4 STAR 4 STAR
<b>HOT WATER SYSTEM:</b> • HOT WATER SYSTEM TYPE:	HEAT PUMP (32 STC)
<b>AIR CONDITIONING SYSTEM:</b> • IS AIR CONDITIONING PROPOSED TO THE DWELLING: • AIR CONDITIONING SYSTEM BY BUILDER: (ON 2 ZONES : LIVING RMS. x 1 ZONE & BEDS x 1 ZONE) • LIVING & BEDROOM AREA COOLING SYSTEM: • LIVING & BEDROOM AREA HEATING SYSTEM:	YES 1 PHASE EER 3.13 COP 3.67
<b>COOKING APPLIANCES:</b> • COOKING APPLIANCE TYPE:	ALL ELECTRIC COOKING
<b>THERMAL COMFORT:</b> • MAX. EAVE WIDTH INCLUDING EAVE, FASCIA & GUTTER: • EXTERNAL WALL INSULATION (EXCLUDING GARAGE): • ROOFED CEILING INSULATION - 400mm OF PERIMETER • ROOFED CEILING INSULATION (EXCLUDING ABOVE GARAGE ALFRESCO, 400mm PERIMETER OF ROOFED CEILING) • INTERNAL GARAGE WALL INSULATION • CEILING/FLOOR INSULATION (BETWEEN JOISTS) • INTERNAL WALL INSULATION TO DWELLING • IS ANTICON BLANKET PROVIDED TO UNDERSIDE OF ROOF: • IS SARKING PROVIDED TO UNDERSIDE OF ROOF: • IS SARKING PROVIDED TO EXTERNAL WALLS: • ROOF MATERIAL TYPE: • ROOF COLOUR CLASSIFICATION:	650 mm R2.5 R2.7 R6.0 R2.7 R4.0 R2.7 No Yes Yes Colorbond Dark
<b>GENERAL:</b> • WEATHER STRIPPING TO ALL EXTERNAL DOORS: • WELL VENTILATED REFRIDGERATOR SPACE: • CLOTHES LINE TYPE:  PHOTOVOLTANIC SOLAR SYSTEM:	Yes Yes INDOOR (BY CLIENT) OUTDOOR (BY BUILDER) 12.3KW
<b>EXHAUST:</b> • ALL EXHAUSTS TO BE SEALED:	YES
<b>DOWNLIGHTS:</b> • ALL DOWNLIGHT INSTALLATIONS TO BE UNVENTED AND COVERABLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & AUSTRALIAN STANDARDS	

GLAZING SCHEDULE		SOUTHERN STAR / CANTERBURY		
GROUND FLOOR:				
Windows:				
ID	Size (HxW)	Frame Material	Glazing Type	Screen Type
Bed 4 Awning, 150 Series	1200 x 1810	Aluminium	Double, Clear	Fly Screen
Ens 2 Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen
Family Awning, 150 Series	2057 x 2410	Aluminium	Double, Clear	Fly Screen
Living and Porch Awning, Full Height, 150 Series	2057 x 1810	Aluminium	Double, Clear	Fly Screen
Meals Awning, 150 Series	2057 x 2410	Aluminium	Double, Clear	Fly Screen
Pdr Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen
W.i.p Awning, 150 Series	514 x 850	Aluminium	Double, Clear	Fly Screen
Doors:				
Alfresco and Kitchen Stacker Sliding, 150 Series	2100 x 4266	Aluminium	Double, Clear	Fly Door
FIRST FLOOR:				
Windows:				
Activity Awning, 150 Series	1200 x 850	Aluminium	Double, Obscured	Fly Screen
Activity Awning, 150 Series	1200 x 850	Aluminium	Double, Obscured	Fly Screen
Bath Awning, 150 Series	1200 x 1450	Aluminium	Double, Obscured	Fly Screen
Bed 1 Awning, 150 Series	514 x 2410	Aluminium	Double, Obscured	Fly Screen
Bed 1 Awning, 150 Series	1457 x 2410	Aluminium	Double, Clear	Fly Screen
Bed 2 Awning, 150 Series	1457 x 2170	Aluminium	Double, Clear	Fly Screen
Bed 3 Awning, 150 Series	1029 x 1810	Aluminium	Double, Obscured	Fly Screen
Ens 1 Awning, 150 Series	1029 x 850	Aluminium	Double, Obscured	Fly Screen
Landing Awning, 150 Series	514 x 1210	Aluminium	Double, Clear	Fly Screen
Void Fixed, 150 Series	514 x 850	Aluminium	Double, Clear	
Wc Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen
Doors:				



NEW HOME CONTRACT SET

Arch/CAD 28 Last Saved 20/10/2025 by Suzan.Aykat



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222  
**ABN:** 88 610 822 770. **ACN:** 610 822 770. **BL:** 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I / We .....  
acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

Notes & Schedule	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE <b>Custom</b>
STATUS	Mast REVISION
NEW HOME CONTRACT	SCALE

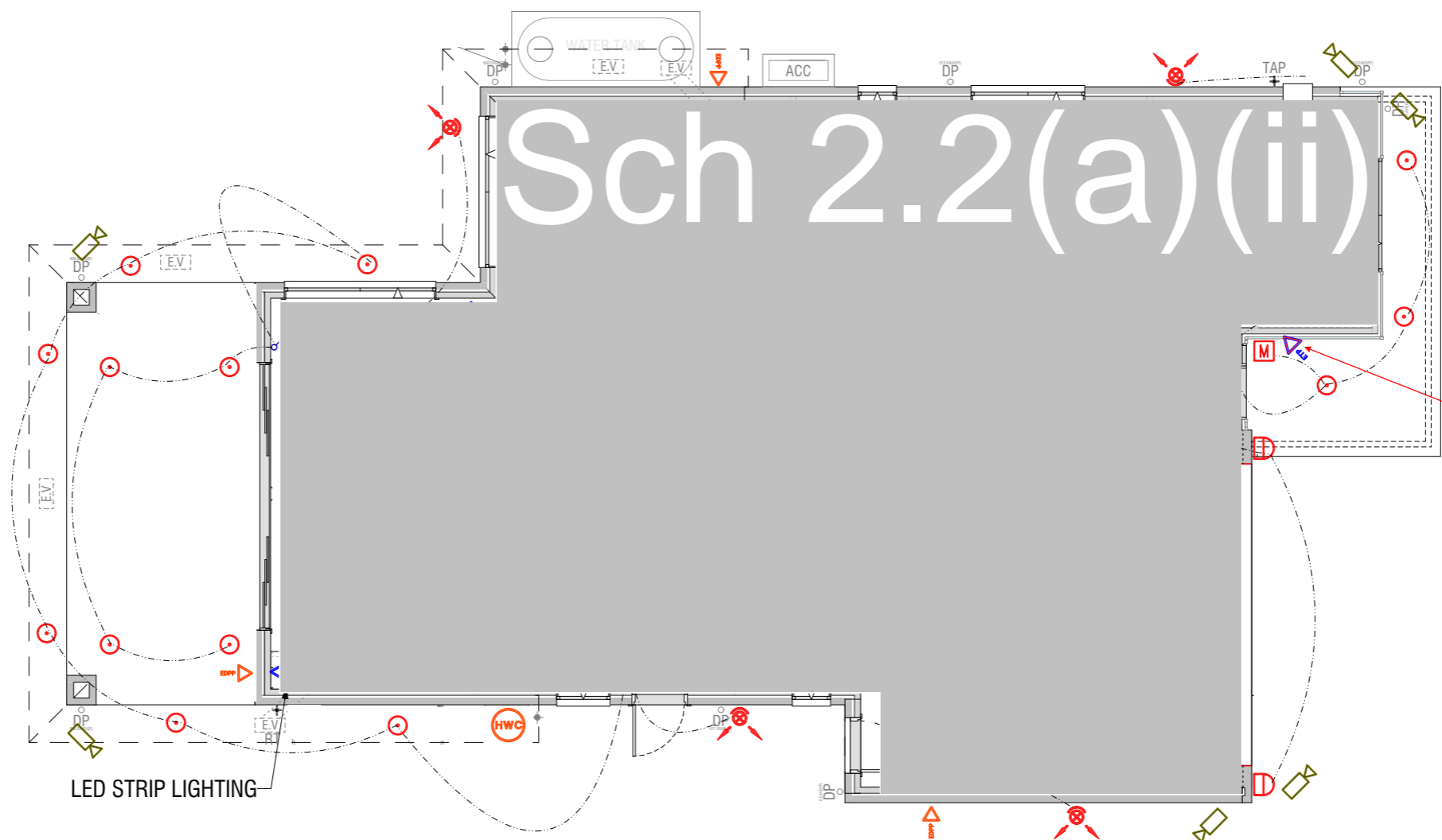
PROJECT			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>

**SHEET No**  
**03-4**  
**of 18**

Light / Power		
	LED Downlight 90mm White	34 EA
	LED Batten Holder	4 EA
	External Wall Light	2 EA
	Garage Type LED Batten	2 EA
	LED Sensor Spot - Twin	4 EA
	Internal Motion Detector Small	1 EA
	Motion Detector	1 EA
	Tastic 4 Heat	1 EA
	Exhaust Fan	1 EA
	Smoke Detector	1 EA
	1 Gang Switch	4 EA
	2 Gang Switch	2 EA
	3 Gang Switch	2 EA
	4 Gang Switch	2 EA
	5 Gang Switch	2 EA
	General Power Point	15 EA
	External Power Point	3 EA
	Oven	1 EA
	Appliance GPO	9 EA
	TV Point	1 EA
	Data	2 EA
	Camera	6 EA
	Induction Cooktop 6mm Cct	1 EA
	Heat Pump 16Amp	1 EA
	EV Car Charger	1 EA
	NBN Box	1 EA
	HUB	1 EA
	AirCon Vent	7 EA

Air Touch 5 - 8 Zones

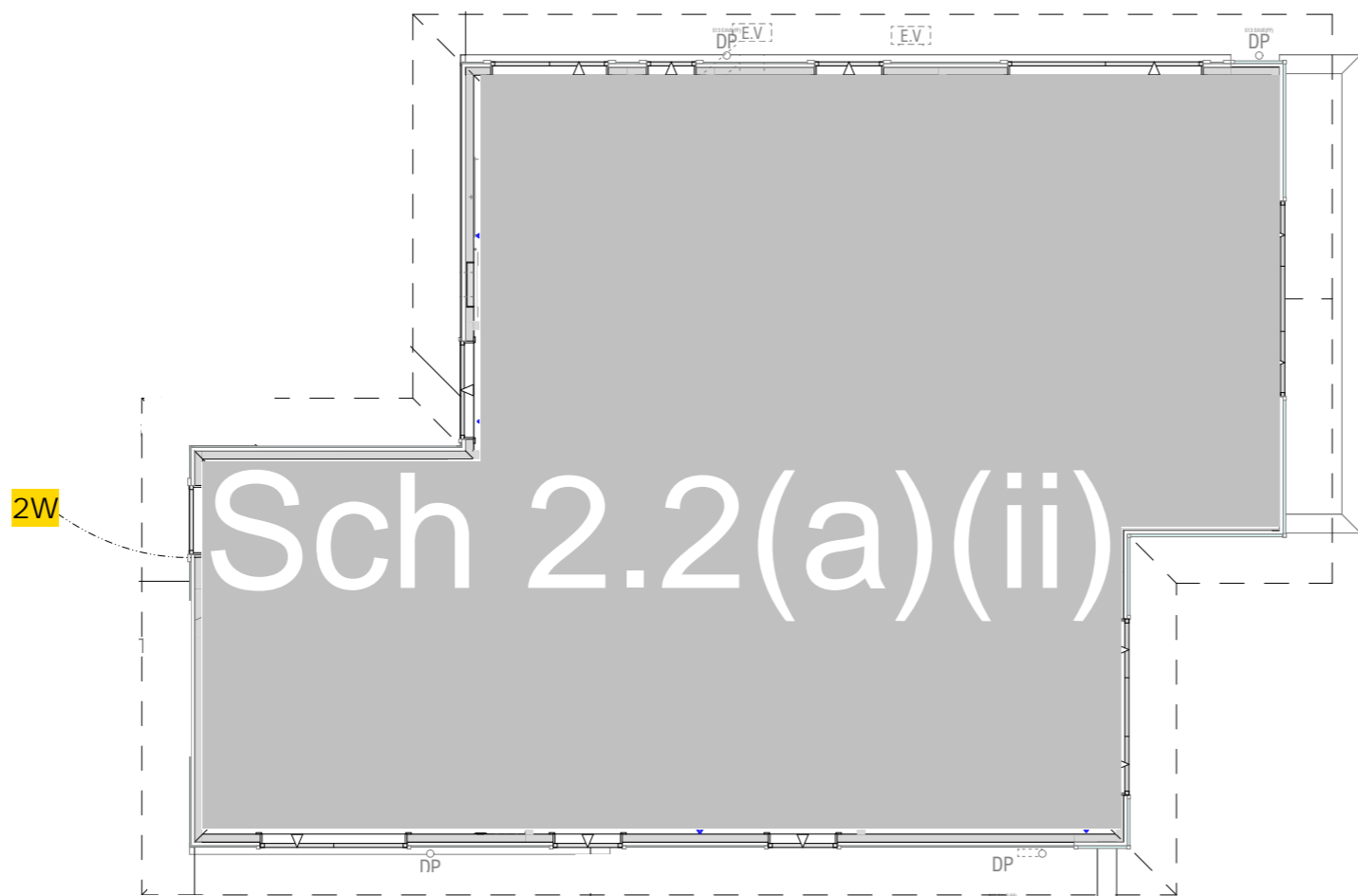
Cool White Lights



Data out brickwork for future Ring Pro Elite Doorbell

NEW HOME CONTRACT SET

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed).....Date..... (Signed).....Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Electrical Plan (GF)</b></p> <table border="1"> <tr> <td>HOUSE TYPE</td> <td>FACADE</td> </tr> <tr> <td>Gilchrist 277</td> <td>Custom</td> </tr> <tr> <td>STATUS</td> <td>Mast REVISION</td> </tr> <tr> <td>NEW HOME CONTRACT</td> <td></td> </tr> <tr> <td>SCALE</td> <td>JOB NUMBER</td> </tr> <tr> <td>1:100, 1:1</td> <td>260328</td> </tr> <tr> <td></td> <td>JOB DATE</td> </tr> <tr> <td></td> <td>29/7/2025</td> </tr> <tr> <td></td> <td>JOB REV DATE</td> </tr> <tr> <td></td> <td>20/10/2025</td> </tr> <tr> <td></td> <td>JOB REV No.</td> </tr> <tr> <td></td> <td>L</td> </tr> </table>	HOUSE TYPE	FACADE	Gilchrist 277	Custom	STATUS	Mast REVISION	NEW HOME CONTRACT		SCALE	JOB NUMBER	1:100, 1:1	260328		JOB DATE		29/7/2025		JOB REV DATE		20/10/2025		JOB REV No.		L	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>	<p><b>SHEET No</b></p> <p><b>04-1</b> <b>of 18</b></p>
	HOUSE TYPE	FACADE																											
	Gilchrist 277	Custom																											
STATUS	Mast REVISION																												
NEW HOME CONTRACT																													
SCALE	JOB NUMBER																												
1:100, 1:1	260328																												
	JOB DATE																												
	29/7/2025																												
	JOB REV DATE																												
	20/10/2025																												
	JOB REV No.																												
	L																												

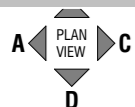


Light / Power		
⊙	LED Downlight 90mm White	17 EA
●	LED Batten Holder	1 EA
⊠	Tastic 4 Heat	2 EA
⊕	Smoke Detector	2 EA
⊕	1 Gang Switch	7 EA
⊕	3 Gang Switch	1 EA
⊕	5 Gang Switch	2 EA
⊕	General Power Point	13 EA
⊕	Return Air	1 EA
⊕	AirCon Vent	4 EA

NEW HOME CONTRACT SET

Sch 2.2(a)(ii)

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222</p> <p>ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed)..... Date..... (Signed)..... Date.....</p>		<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>		<p><b>Electrical Plan (FF)</b></p> <p>HOUSE TYPE: <b>Gilchrist 277</b> FACADE: <b>Custom</b></p> <table border="1"> <thead> <tr> <th>STATUS</th> <th>Mast REVISION</th> <th>SCALE</th> <th>JOB NUMBER</th> <th>JOB DATE</th> <th>JOB REV DATE</th> <th>JOB REV No.</th> </tr> </thead> <tbody> <tr> <td>NEW HOME CONTRACT</td> <td></td> <td>1:100, 1:1</td> <td><b>260328</b></td> <td>29/7/2025</td> <td>20/10/2025</td> <td><b>L</b></td> </tr> </tbody> </table>		STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	NEW HOME CONTRACT		1:100, 1:1	<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>		<p><b>SHEET No</b></p> <p><b>04-2</b></p> <p><b>of 18</b></p>
	STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.																
	NEW HOME CONTRACT		1:100, 1:1	<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>																



**NOTE:**  
ALL DIMENSIONS SHOWN INTERSECTING WITH A WALL  
ON THIS SHEET ARE TAKEN FROM THE PLASTER SURFACE



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/ We .....  
acknowledge that these plans are a true and accurate reflection of our requirements and agree  
that these drawings are the drawings referred to in the Major Domestic Building Contract between  
Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....

(Signed).....Date.....

**LEGAL**

This drawing and information hereon is  
the property of and may not be used  
by any means without the prior consent  
of Burbank Australia Pty Ltd.

The contractor is responsible for setting  
out and checking all levels and dimensions  
on site prior to commencing any work.

Figured dimensions are to be taken in  
preference of scaled dimensions.

Internal Elevations		
HOUSE TYPE	FACADE	
<b>Gilchrist 277</b>	<b>Custom</b>	
STATUS	Mast REVISION	SCALE
NEW HOME CONTRACT		1:100, 1:50

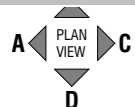
**PROJECT**  
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	20/10/2025	<b>L</b>

**SHEET No**  
**05-1**  
**of 18**



<p>PLAN VIEW</p>	<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222</p> <p>ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed).....Date..... (Signed).....Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Internal Elevations</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">HOUSE TYPE</td> <td style="width: 30%;">FACADE</td> <td colspan="4">PROJECT</td> </tr> <tr> <td><b>Gilchrist 277</b></td> <td><b>Custom</b></td> <td colspan="4">Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</td> </tr> <tr> <td>STATUS</td> <td>Mast REVISION</td> <td>SCALE</td> <td>JOB NUMBER</td> <td>JOB DATE</td> <td>JOB REV DATE</td> </tr> <tr> <td>NEW HOME CONTRACT</td> <td></td> <td>1:100, 1:50</td> <td><b>260328</b></td> <td>29/7/2025</td> <td>20/10/2025</td> </tr> </table>	HOUSE TYPE	FACADE	PROJECT				<b>Gilchrist 277</b>	<b>Custom</b>	Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617				STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	NEW HOME CONTRACT		1:100, 1:50	<b>260328</b>	29/7/2025	20/10/2025	<p>SHEET No</p> <p><b>05-2</b></p> <p>of 18</p>
HOUSE TYPE	FACADE	PROJECT																											
<b>Gilchrist 277</b>	<b>Custom</b>	Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617																											
STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE																								
NEW HOME CONTRACT		1:100, 1:50	<b>260328</b>	29/7/2025	20/10/2025																								



**NOTE:**  
ALL DIMENSIONS SHOWN INTERSECTING WITH A WALL  
ON THIS SHEET ARE TAKEN FROM THE PLASTER SURFACE



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/ We .....  
acknowledge that these plans are a true and accurate reflection of our requirements and agree  
that these drawings are the drawings referred to in the Major Domestic Building Contract between  
Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....

(Signed).....Date.....

**LEGAL**

This drawing and information hereon is  
the property of and may not be used  
by any means without the prior consent  
of Burbank Australia Pty Ltd.

The contractor is responsible for setting  
out and checking all levels and dimensions  
on site prior to commencing any work.

Figured dimensions are to be taken in  
preference of scaled dimensions.

**Internal Elevations**

**HOUSE TYPE** **FACADE**  
**Gilchrist 277** **Custom**

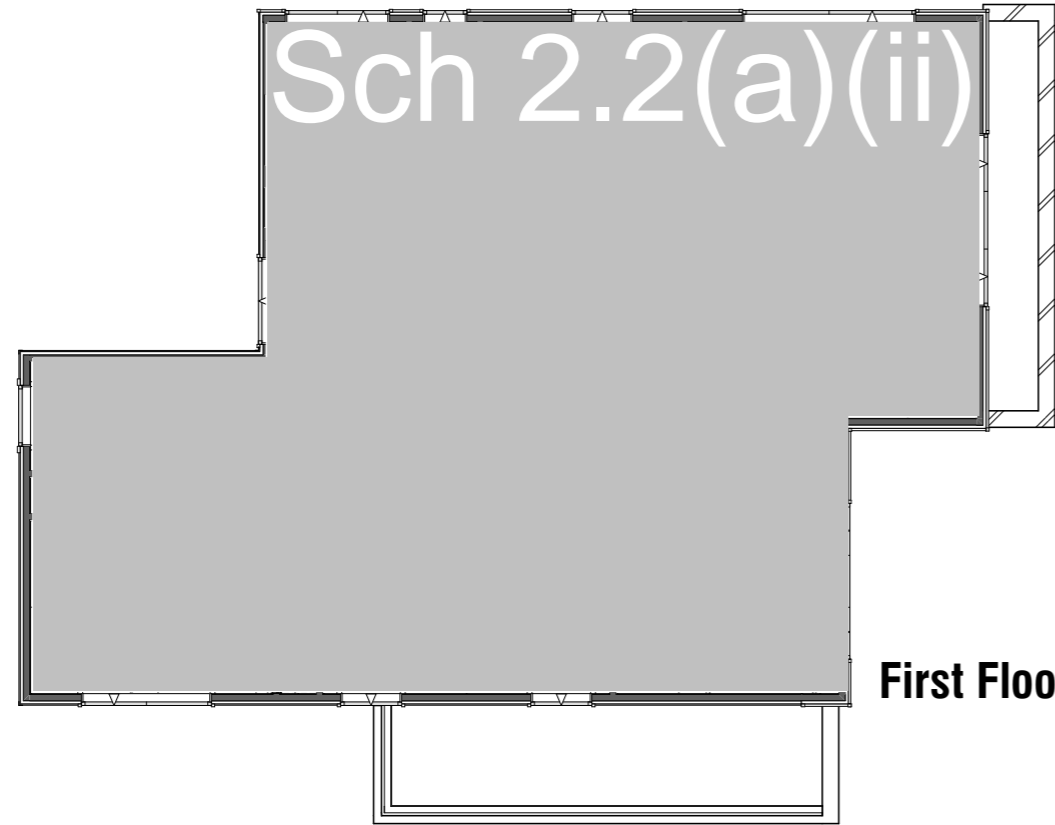
STATUS	Mast REVISION	SCALE
NEW HOME CONTRACT		1:100, 1:50

**PROJECT**

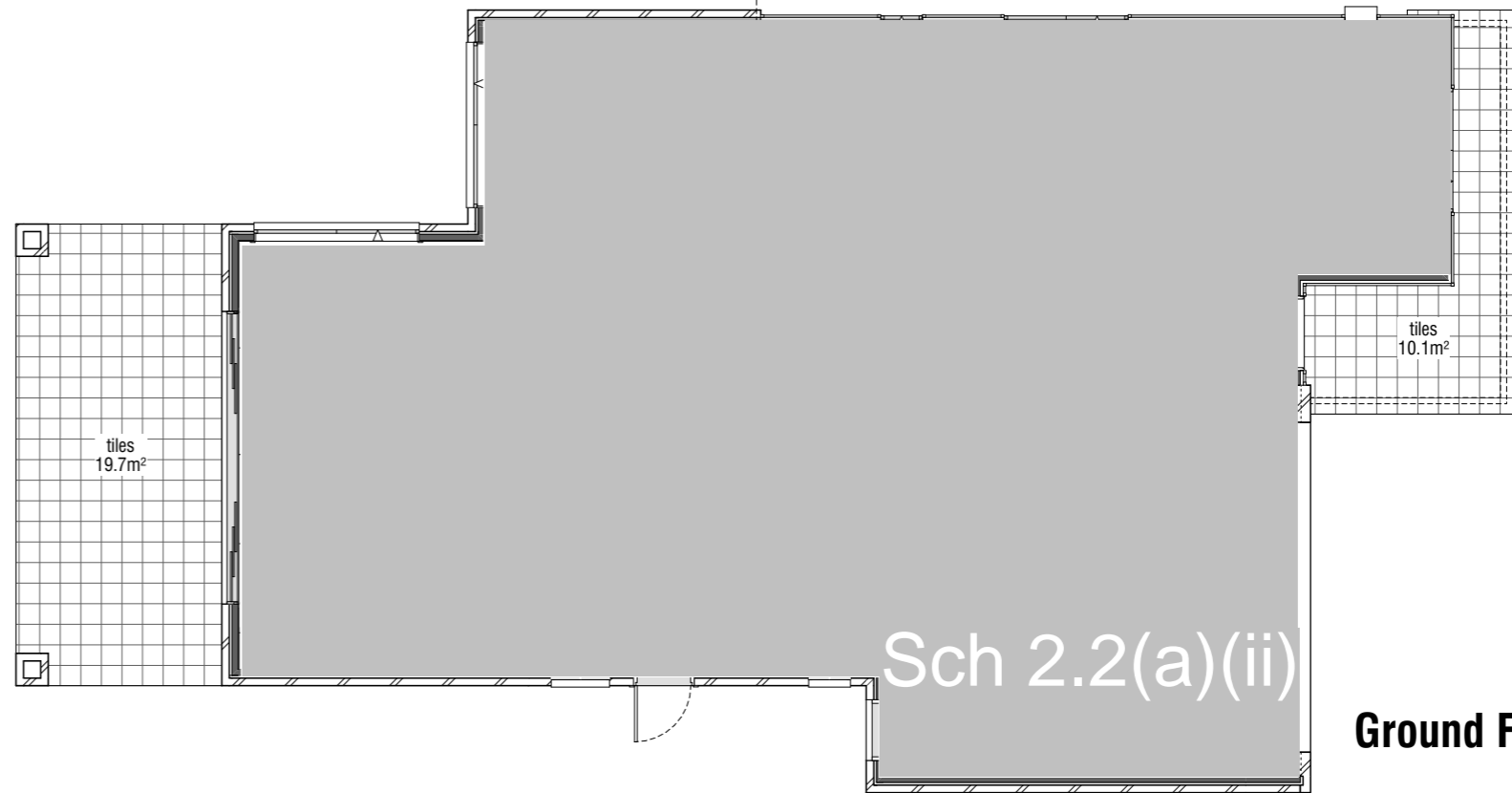
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	20/10/2025	L

**SHEET No**  
**05-3**  
**of 18**



**First Floor**



**Ground Floor**

NEW HOME CONTRACT SET

Arch/CAD 28 Last Saved 20/10/2025 by Suzan.Aykat

**Burbank**  
 Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
 I/ We .....  
 acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed)..... Date.....  
 (Signed)..... Date.....

**LEGAL**  
 This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

Floor Coverings Plan		
HOUSE TYPE	FACADE	
Gilchrist 277	Custom	
STATUS	Most REVISION	SCALE
NEW HOME CONTRACT		1:100

PROJECT			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	20/10/2025	L

**SHEET No**  
05-4  
**of 18**

---

**From:** Sch 2.2(a)(ii) [redacted]@burbank.com.au>  
**Sent:** Wednesday, 22 October 2025 10:46 AM  
**To:** Exemptdec  
**Subject:** RE: FURTHER INFO-ASSESSMENT-EXEMPTION DECLARATION-11-38-MACNAMARA-01  
**Categories:** Dechen

**Caution:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Dechen,

I've submitted a new application requesting approval for Control 5 (PPOS) only. In the application notes, I've mentioned that I previously applied for Controls 5, 8, and 10, which have now been approved. This new application reflects updated plans, and I'm seeking approval for the revised PPOS (Control 5).

Could you please clarify, once the revised PPOS is approved, will the updated set of plans reflect that all controls (5, 8, and 10) have been approved? I'd like to ensure that the final plans show all approved controls together

Please let me know if you have any questions or require further information.

Kind regards,



Sch 2.2(a)(ii) [redacted]

Sch 2.2(a)(ii)  
Sch 2.2(a)(ii)@burbank.com.au  
13 2872 | burbank.com.au



## Exemption Declaration Application - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

22 Oct 2025 10:38:16 AM

Reference code

5K8J26FR

Environment, Planning and Sustainable  
Development Directorate

GPO Box 158  
Canberra City ACT 2601

Phone: (02) 6207 1923

### Lease/site details

Suburb \*

MACNAMARA

Section \*

38

Block \*

11

Address line 1 \*

30 JIM BRAY LOOP

Address line 2

Suburb \*

MACNAMARA

State \*

ACT

Postcode \*

2615

### Applicant/certifier details

Is the applicant a \*



Company



Individual

Company name \*

Burbank

Enter an ABN or ACN: \*

ABN (Australian Business Number)

88610822770

ACN (Australian Company Number)

610822770

### Contact details

Title

Given name \*

Family name \*

Sch 2.2(a)(ii)

Sch 2.2(a)(ii)

Position held in company \*

Sch 2.2(a)(ii)

Enter at least one phone number: \*

Home phone number

Work phone number

Mobile number

Email address \*

## Lessee (Property owners) details

Lessee 1

Same as applicant

### Lessee

Is this lessee a \*

Company  Individual

### Contact details

Title  Given name \*  Family name \*

Enter at least one phone number: \*

Home phone number  Work phone number  Mobile number

Email address \*

Lessee 2

### Lessee

Is this lessee a \*

Company  Individual

### Contact details

Title  Given name \*  Family name \*

Enter at least one phone number: \*

Home phone number  Work phone number  Mobile number

Email address \*

Please attach a letter of authority signed by all lessees. \*

[260328 Letter of Authorisation or 1N -SIGNED.pdf](#)

## Control departure/s

This application seeks approval for the following minor departure/s from the Residential Zones - Single Dwelling Housing Development Control.

Departure 1
Control number *
<input type="text" value="5"/>
Description of departure *
<input type="text" value="Please note that my original application was lodged and received approval on 21/10/2025 for all controls, including PPOS. However, due to updated plans, I now require approval for Control 5 only (PPOS)."/>

Relevant plans and supporting documentation that clearly identify the rule departure/s must be uploaded as a single PDF. \*

[Ver16 - 3NHC 260328 Sch 2.2\(a\)\(ii\) RevK - Full.pdf](#)

Details of how immediate neighbours have been provided information of the development proposal must be provided. \*

[Exempt Form 7B part 1.pdf](#)

[Exempt Form 7B part 2.pdf](#)

Is the work detailed in this application currently under construction? \*

Yes  No

Is this application for an existing structure? \*

Yes  No

Is the application being considered subject to a current Building Approval? \*

Yes  No

Is the application subject to a completed Building Approval? \*

Yes  No

Is this application currently subject to compliance action? \*

Yes  No

## Applicant declaration

I, [Sch 2.2\(a\)\(ii\)](#)

- declare that all the information given on this form and its attachments is true and complete. \*
- declare that the attached plans clearly show the departure (for example, through using colour), and any other relevant information. \*

- I understand an assessment is only conducted once an application is lodged, and incorrect documentation may result in a refusal. \*

<b>Unit:</b>		<b>Block:</b>	<b>11</b>	<b>Section:</b>	<b>38</b>	<b>Suburb:</b>	<b>MACNAMARA</b>
--------------	--	---------------	-----------	-----------------	-----------	----------------	------------------

<b>Task</b>	<b>Select</b>		
Are the Lessee/s details correct in ACTLIS	Yes: <input checked="" type="checkbox"/>	No: <input type="checkbox"/>	
If the SLA is the land custodian, an authorisation letter must be provided, made attention to the applicant and give authority to lodge an Exemption Declaration Application	Yes: <input type="checkbox"/>	No: <input type="checkbox"/>	N/A <input checked="" type="checkbox"/>

**PALM**

Does the block and section match the street address?	Yes: <input checked="" type="checkbox"/>	No: <input type="checkbox"/>
Is it Heritage? (If yes, a letter from heritage is required, except Moncrieff/Throsby/Taylor/Lawson)	Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>
Is there Compliance action? (If yes add comment to the 'Ready for Assessment' email)	Yes: <input type="checkbox"/>	No: <input checked="" type="checkbox"/>

**General information**

Save e-mail/Smartform into objective under Development Application B/S Suburb Exemption Declaration	Yes: <input checked="" type="checkbox"/>
<b>PLEASE ENTER THE DEALING NUMBER:</b>	<b>DATE:</b>

COMMENTS:

Check Completed by:	LF	Date Processed:	23/10/2025
Fee Advice Sent by:	LF	Date Sent:	23/10/2025

**PAYMENT**

Receipt Attached:	<input checked="" type="checkbox"/>	Date Sent to Assessing Officer:	23/10/2025
Payment Method:	SmartForm	Date Due (10 working days):	06/11/2025

---

**From:** AC, EPD Customer Services  
**Sent:** Thursday, 23 October 2025 11:22 AM  
**To:** Exemptdec  
**Subject:** READY FOR ASSESSMENT-EXEMPTION DECLARATION-11-38-MACNAMARA  
**Attachments:** EXEMPTION DECLARATION 02.obr

Good morning,

The attached 1N is ready for assessment.

Kind regards,

Liam Folkard  
DA Lodgement | Access Canberra | ACT Government  
Land, Planning and Building Services | Environment, Land and Technical Regulation  
8 Darling Street Mitchell | GPO Box 158, Canberra, ACT, 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)



---

**From:** Exemptdec  
**Sent:** Thursday, 23 October 2025 8:22 AM  
**To:** AC, EPD Customer Services  
**Subject:** SUFFICIENT-EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]  
**Attachments:** EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01.pdf; exempt form 7b part 2.pdf; 260328\_letter\_of\_authorisation\_or\_1n -signed.pdf; exempt form 7b part 1.pdf; Ver17 - 3NHC 260328 <sup>Sch 2.2(a)(ii)</sup> RevK - Full.pdf

Hi team,

Plans are sufficient.

Kind regards,  
Dechen

---

**From:** smartforms@act.gov.au  
**Sent:** Wednesday, 22 October 2025 10:40 AM  
**To:** Exemptdec  
**Subject:** EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01 [SEC=UNCLASSIFIED, DLM=Sensitive: Personal]

**Caution:** This email originated from outside of the ACT Government. Do not click links or open attachments unless you recognise the sender and know the content is safe.

## Exemption Declaration Application

### Form data summary

<b>Submission ID</b>	5K8J26FR
<b>Reference code</b>	5K8J26FR

For issues or questions relating to SmartForms please contact the Payment Services Integration Team on \*5 4607 or email [smartforms.admin@act.gov.au](mailto:smartforms.admin@act.gov.au).

---

**From:** Exemptdec  
**Sent:** Tuesday, 28 October 2025 11:22 AM  
**To:** Exemptdec  
**Subject:** APPROVED-EXEMPTION DECLARATION-11-38-MACNAMARA  
**Attachments:** EXEMPTION DECLARATION 02.obr  
  
**Categories:** Jason, APPROVED

OFFICIAL

Approved by delegate (Matt Davis)

Regards,

**Jason | Exemption Declarations**

**Planning Delivery Division | City and Environment Directorate | ACT Government**

480 Northbourne Avenue, Dickson, 2602 | GPO Box 158 Canberra ACT 2601 | [www.planning.act.gov.au](http://www.planning.act.gov.au)



**ASSESSMENT OF PROPOSAL  
DETERMINATION UNDER SECTION 1.131 OF THE  
PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023**

**Description of extended distance:**

**Control 5** - PPOS departure of a maximum 470mm for a length of 910mm AND 1070mm for a length of 1380mm

**Assessment:**

	<u>PASS</u>	<u>FAIL</u>
Is the non-compliance minor?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Plans provided adequately identify departures?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Have adjoining neighbours been notified (s1.18)?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

**Will building the dwelling other than in accordance with the relevant controls:**

- |  |  |                              |
|--|--|------------------------------|
| • Adversely affect someone other than the applicant?                     | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |
| • Increase the environmental impact of the dwelling more than minimally? | <input checked="" type="checkbox"/> No | <input type="checkbox"/> Yes |

**Comments:**

Considered to be minor in context

**Plans stamped:**

Approved       Refused

Delegate of  
Territory Planning Authority: Matt Davis 29/10/2025

---

**From:** AC, EPD Customer Services  
**Sent:** Wednesday, 29 October 2025 4:04 PM  
**To:** Sch 2.2(a)(ii)@burbank.com.au; Sch 2.2(a)(ii)  
**Subject:** EXEMPTION DECLARATION AND APPROVED PLANS-11-38-MACNAMARA  
**Attachments:** EXEMPTION-DECLARATION-11-38-MACNAMARA-PLANS-01.pdf; EXEMPTION-DECLARATION-11-38-MACNAMARA-APPLICATION-01.pdf; EXEMPTION-DECLARATION-11-38-MACNAMARA-ASSESSMENT CHECKLIST-01.pdf

Good afternoon,

Please see attached Exemption Declaration Application & Approved Plans for 11-38-MACNAMARA.

For further information please contact the Exemption Declaration Team via e-mail at [exemptdec@act.gov.au](mailto:exemptdec@act.gov.au)

Kind regards,

Liam Folkard

DA Lodgement | Access Canberra | ACT Government

Land, Planning and Building Services | Environment, Land and Technical Regulation

8 Darling Street Mitchell | GPO Box 158, Canberra, ACT, 2601 | [www.act.gov.au/accessCBR](http://www.act.gov.au/accessCBR)



# PROJECT NOTES NSW (NCC 2022)

## GENERAL

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH
  - STRUCTURAL ENGINEER'S DRAWINGS & COMPUTATIONS
  - PRE-FABRICATED FRAMING MANUFACTURER'S DRAWINGS & SPECIFICATIONS
  - FLOOR JOIST MANUFACTURER'S DRAWINGS & SPECIFICATIONS (IF APPLICABLE)
  - STAIR MANUFACTURER'S DRAWINGS & SPECIFICATIONS (IF APPLICABLE)

- CONTRACTORS ARE RESPONSIBLE FOR SETTING OUT & CHECKING ALL LEVELS & MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- ALL WORK IS SUBJECT TO INSPECTION & APPROVAL OF THE BUILDING SURVEYOR
- ALL WORK SHOWN TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT *BUILDING CODE OF AUSTRALIA* & ALL REFERENCED STANDARDS
- CONCRETE SLABS TO ALFRESCO & PORCH AREAS ARE STRUCTURAL GRADE AND ARE NOT TO BE CONSIDERED AS AESTHETICALLY FINISHED SURFACES. THE CLIENT IS RESPONSIBLE FOR THE INSTALLATION OF FLOOR TREATMENTS TO ACHIEVE THEIR AESTHETIC FINISH TO THESE AREAS (IF APPLICABLE)
- WESTERN RED CEDAR CLADDING TO BE INSTALLED IN ACCORDANCE WITH NCC CLAUSE 7.5.2

## SOIL CLASSIFICATION

- CLASS M
- AS PER SOIL TEST REPORT PROVIDED BY STRUCTERRE CONSULTING ENGINEERS
- FILE NO. 3.25.6789.1
- DATED 08/07/25

## WIND SPEED

- WIND SPEED RATING N2

## COUNCIL / CERTIFIER REQUIREMENTS

- MUNICIPALITY : GINNINDERRY
  - TEMPORARY FENCING
  - SOIL / SILT SEDIMENT CONTROL
  - TEMPORARY CROSSOVER PROTECTION
  - COUNCIL BIN PERMIT FEE AND OR LOCKABLE SKIP BIN

## TERMITE TREATMENT

- TERMITE TREATMENT IN ACCORDANCE WITH AS 3660.1 2014

## LEVELS

- DESIGN LEVELS SHOWN ARE TO AN ARBITRARY DATUM & ARE TO BE USED AS A GUIDE ONLY
- CONTRACTOR TO CHECK & VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT

## DRAINAGE

- ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEER'S DESIGN FOR THE SELECTED FOOTING SYSTEM & SOIL CLASSIFICATION & IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.6.3
- FOR BUILDINGS ON MODERATELY, HIGHLY OR EXTREMELY REACTIVE SITES
- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT & BE COMPLETED BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEM, REFER TO THE ENGINEER'S DESIGN IN REGARDS TO THE USE OF CLAY PLUGS
- FOR BUILDINGS ON HIGHLY OR EXTREMELY REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS & DISCHARGE PIPES IN ACCORDANCE WITH *PLUMBING REQUIREMENTS CLAUSE 5.6.4*
- FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING & COMMENCING WITHIN 1m OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION

### MIN. REQUIREMENTS- EXPANSION JOINT CAPACITY

SOIL CLASS	LAGGING SIZE	ANGLE OF SWIVEL
E	150mm	15°
H1 & H2	70mm	15°

### MIN. REQUIREMENTS- SEWER ARTICULATION

SOIL CLASS	EXIT		RISER	
	SWIVEL	EXPANDER	EXPANDER	LAGGING
M	0	0	0**	MIN. 25mm
H1	1	1	1**	MIN. 50mm
H2	2	1	1**	MIN. 50mm
E	2	1	x*	MIN. 50mm

- x\* DENOTES EXPANDER REQUIRED ON ALL RISERS
- \*\* DENOTES MAX. DEPTH OF SEWER TO UNDERSIDE OF SLAB TO BE
  - 900mm FOR CLASS M
  - 600mm FOR CLASS H
  - OTHERWISE EXPANDER JOINT REQUIRED

- SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING & GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING
- SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE ENGINEER
- DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH AS 2870-2011 CLAUSE 5.3.3 SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS
- PROVIDE TEMPORARY SOCKS TO ALL DOWN PIPES DURING CONSTRUCTION
- CONSTRUCT & DISCHARGE 100 Ø PVC STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY WITH A MIN. FALL OF 1:100
- PROVIDE 100 Ø SEWER GRADE STORM WATER DRAIN UNDER SLAB & DRIVEWAY
- PROVIDE INSPECTION OPENINGS AS PER THE ENGINEER'S DESIGN OR IF NOT PRESENT ON THE ENGINEER'S DESIGN
  - @ 9m CTRS, OR
  - @ EVERY CHANGE OF DIRECTION

## MASONRY

- USE M 3 MORTAR (1:1:6)
- USE FACE FIXING TIES TO AVOID HOLES IN FOIL INSULATION MATERIAL
- EXTERNAL STEEL LINTELS TO BE PRIMED
- PROVIDE CONTROL JOINTS AS PER AS 4773
- INFORMATION REGARDING CONTROL JOINTS PROVIDED IN THE SOIL REPORT & ENGINEERS DOCUMENTATION TAKE PRECEDENCE OVER THESE DRAWINGS
- ANY SINGLE LEAF WITH ENGAGED PIERS WALL CONSTRUCTION TO BE IN ACCORDANCE WITH AS 4773

## INTERNAL LININGS

- PROVIDE 10mm THICK PLASTERBOARD TO WALLS & CEILINGS
- PROVIDE AN APPROVED WATER RESISTANT PLASTERBOARD OR INTERNAL LINING INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO
  - BATHROOMS
  - ENSUITES
  - BEHIND ALL WATER VESSELS

## STAIRS & THRESHOLDS

- IF A FLIGHT OF STAIRS IS PRESENT, TREADS MUST HAVE A SLIP -RESISTANCE CLASSIFICATION NOT LESS THAN LISTED IN *NCC TABLE 11.2.4* WHEN TESTED IN ACCORDANCE WITH AS 4586 (NOSING STRIP FOR MDF TREADS, TIMBER STAIN FOR HARDWOOD TREADS OR CARPET ON CARPETED STAIRS)
- BACKFILL TO EXTERNAL DOORS TO BE NO GREATER THAN 230mm IN ACCORDANCE WITH *NCC CLAUSE 11.2.6*

## SERVICES

- SMOKE ALARM TO BE INTERCONNECTED AS PER *NCC CLAUSE 9.5.1*
- RANGEHOODS & EXHAUST FANS TO BE DUCTED EXTERNALLY
- ROOF VENTILATOR, SOLAR PANELS LOCATIONS ARE INDICATIVE & TO BE CONFIRMED ON SITE
- MAINTENANCE HATCH LOCATION IS INDICATIVE & MAY BE CHANGED DUE TO TRUSS LAYOUT

## GLAZING

- GLAZING IN BATHROOMS, ENSUITES & POWDER ROOMS IN ACCORDANCE WITH *NCC CLAUSE 8.4.6 and AS 1288*
- WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDING, INSTALLED IN ACCORDANCE WITH AS 2047.

## WET AREAS

- WATER-PROOFING IN ACCORDANCE WITH BCA 2022 - PART 10.2 AND AS 3740
- ALL WATER CLOSETS TO HAVE REMOVABLE HINGES TO THE DOORS IF THERE IS LESS THAN 1.2m CLEARANCE BETWEEN THE TOILET PAN & THE DOORWAY
- THE WALLS OF SANITARY COMPARTMENTS SHALL BE FINISHED WITH CERAMIC TILES OR ANOTHER IMPERVIOUS FINISH TO A HEIGHT OF NOT LESS THAN 1800mm ABOVE THE LOWEST POINT OF A SHOWER
- 300mm ABOVE THE RIM OF A BATH, BASINS, TROUGHS & SINKS
- WALL TILING SHOWN INDICATIVELY ONLY - REFER TO *COLOUR SELECTION DOCUMENT* FOR ACTUAL UNIT SIZES
- WATER STOPS TO TILE-TO-TILE THRESHOLDS OF WET AREAS

## FLOOR COVERINGS

- THE PATTERNED HATCH SHOWN ON DRAWINGS IS AN INDICATION OF FLOOR COVERING LOCATION & DOES NOT INDICATE THE ACTUAL UNIT SIZE, LAYOUT OR DIRECTION OF FINISHED FLOOR COVERINGS
- TILE EXPANSION JOINTS TO BE SPACED @ MAX. 5m CTRS.

## CEILING HEIGHTS

- DIMENSIONS IN RELATION TO *FL* & *CL* REFER TO OVERALL PLATE DIMENSIONS & NOT ACTUAL FINISHED CEILING & FLOOR LEVELS
- CEILING EXPANSION JOINS APPLIED, WHERE REQUIRED

## WINDOWS

- PROVIDE 125mm RESTRICTIONS TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM & THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2m

## ROOF PLUMBING

- ALL ROOF PLUMBING & DRAINAGE IN ACCORDANCE WITH AS 3500.3
- ALL GUTTERS, FASCIAS & RAINWATER HEADS TO HAVE *Colorbond* FINISH
- ALL DOWNPIPES TO BE 100 x 50mm WITH *Colorbond* FINISH IF NOT CONNECTED TO RAINWATER TANK
- ANY DOWNPIPES CONNECTED TO RAINWATER TANK TO BE 90mm Ø PVC WITH PAINTED FINISH

## FENCING

- THE CLIENT IS RESPONSIBLE FOR ENSURING THAT FENCE LOCATION, HEIGHT & TYPE COMPLIES WITH THE DEVELOPER'S GUIDELINES

## FLOW RATE & DISCHARGE OF EXHAUST SYSTEMS

- KITCHEN RANGEHOOD TO HAVE A MIN. FLOW RATE OF 40 L/s
- BATHROOM / ENSUITE / WC EXHAUST SYSTEM TO HAVE A MIN. FLOW RATE OF 25 L/s

## CLIMATE ZONE

- CLIMATE ZONE APPLICABLE TO DEVELOPMENT - Zone 7

## DOCUMENTATION REVISION HISTORY

REVISION	DATE	DOCUMENTOR	DESCRIPTION
A	6/ 8/25	SA	NHP1 Completed
B	11/ 8/25	RN	NHP2 Completed
C	13/ 8/25	RN	NHP Uprfront
D	14/ 8/25	SA	Solar Power Panels
E	20/ 8/25	SB	NHC1 Completed
F	2/ 9/25	SB	Basix Completed
G	8/ 9/25	SA	1N Amendments Completed
H	12/ 9/25	SA	BA AM Completed
J	10/10/25	SB	Add Colours & Variations(V1/HF, V3/HF)
K	10/10/25	SA	Developer Amendments Completed

## CONDENSATION MANAGEMENT

- EXTERNAL WALL TO COMPLY WITH BCA 2022 - PART 10.8.1 - BRADFORD ENVIROSEAL SUITABLE FOR CLIMATE ZONE 2 THOUGH TO 8
- ALL EXHAUST FANS TO WET AREA'S AND KITCHEN RANGEHOOD TO BE DUCTED EXTERNALLY TO COMPLY WITH BCA 2022 - PART 10.8.2.
- 10 MINUTE TIMED EXHAUST FANS WITH INTERLOCKING LIGHT TO SANITARY COMPARTMENTS WITH NON-OPENABLE WINDOWS
- 20mm CLEARANCE BETWEEN SARKING AND CEILING INSULATION TO COMPLY WITH BCA 2022 - PART 10.8.3.
- KITCHEN RANGEHOOD TO HAVE A MIN. FLOW RATE OF 40 L/s
- BATHROOM / ENSUITE / PWR / WC EXHAUST SYSTEM TO HAVE A MIN. FLOW RATE OF 25 L/s
- ROOF VENTILATION TO COMPLY WITH BCA 2022 - PART 10.8.3 WHERE APPLICABLE IN CLIMATE ZONE 6, 7 & 8.



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

## CONTRACT

I / We .....  
 acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed).....Date.....  
 (Signed).....Date.....

## LEGAL

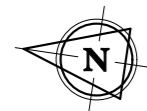
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

## Cover Sheet

HOUSE TYPE		FACE	PROJECT			
Gilchrist 277		Custom	Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617			
STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
NEW HOME CONTRACT			260328	29/7/2025	10/10/2025	K

NEW HOME CONTRACT SET

ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

**DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION**

**CONSTRUCTION TO BAL 12.5 AS PER  
AS 3959-2018 BUSHFIRE CONSTRUCTION.**  
ALL NEW WATER, ELECTRICITY AND GAS SERVICES TO COMPLY  
WITH SECTION 4.1.3 OF PLANNING FOR BUSHFIRE PROTECTION 2018

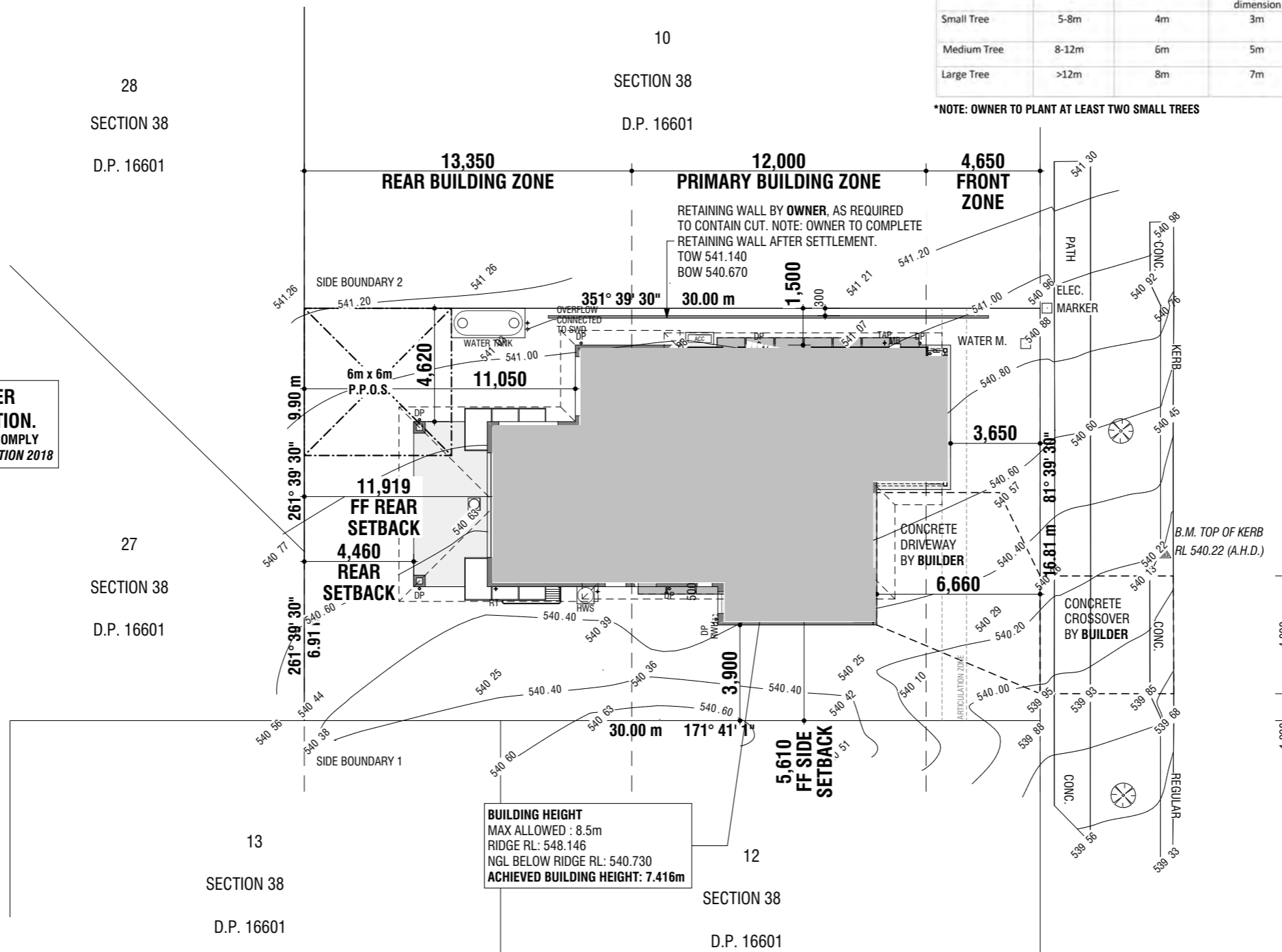
ACT TERRITORY REQ.	
Planning (Exempt Development) Single Dwelling Housing Development Control Declaration 2023 - Mid Size Block	
• SITE AREA:	504.00m <sup>2</sup>
• GROUND FLOOR AREA:	124.07m <sup>2</sup>
• FIRST FLOOR AREA:	104.51m <sup>2</sup>
• GARAGE:	37.44m <sup>2</sup>
• PORCH/ALFRESCO:	30.32m <sup>2</sup>
• DRIVEWAY AREA:	42.00m <sup>2</sup>
<b>SITE COVERAGE</b>	
• MAXIMUM ALLOWED:	60% of block = 302.40m <sup>2</sup>
ACHIEVED:	192.00m <sup>2</sup>
<b>PRIVATE OPEN SPACE</b>	
• MINIMUM REQUIRED:	40% of block = 201.60m <sup>2</sup>
ACHIEVED:	312.00m <sup>2</sup>
<b>PLANTING AREA</b>	
• MINIMUM REQUIRED:	20% of site area min 2.5m dimension = 84.00m <sup>2</sup>
ACHIEVED:	236.00m <sup>2</sup>

**Table A: Tree sizes and associated planting requirements**

Tree size	Mature height	Minimum canopy diameter***	Minimum soil surface area dimension	Minimum pot size (litres)*	Minimum soil volume
Small Tree	5-8m	4m	3m	45**	18m <sup>3</sup>
Medium Tree	8-12m	6m	5m	75**	42m <sup>3</sup>
Large Tree	>12m	8m	7m	75**	85m <sup>3</sup>

\*NOTE: OWNER TO PLANT AT LEAST TWO SMALL TREES

LEGEND	
	• SITE CUT
	• SITE FILL
	• GAS METER
	• HOT WATER SYSTEM
	• METER BOX
	• WATER HYDRANT
	• SEWER VENT / I.S.
	• TELSTRA PIT
	• S/W PROPERTY INLET
	• SEWER MANHOLE
	• STREET SIGN
	• TREE
	• TBM
	• WATER VALVE
	• ELECTRICAL PIT
	• ELECTRICAL POLE
	• STREET LAMP
	• WATER METER
	• STORM WATER PIT
	TAP + • STD WATER TAP
	RT + • RECYCLED WATER TAP
	W • HABITABLE ROOM WINDOW
	GW • SIGN STAMPED ON KERB



**BUILDING HEIGHT**  
MAX ALLOWED : 8.5m  
RIDGE RL: 548.146  
NGL BELOW RIDGE RL: 540.730  
ACHIEVED BUILDING HEIGHT: 7.416m

**JIM BRAY LOOP**

**NEW HOME CONTRACT SET**

**Burbank**  
Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222  
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information herein is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

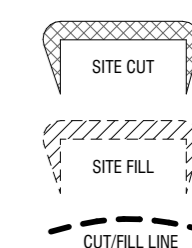
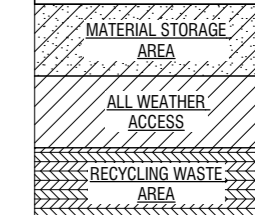
<b>Site Plan</b>	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE <b>Custom</b>
STATUS <b>NEW HOME CONTRACT</b>	SCALE <b>1:200</b>

<b>PROJECT</b>			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>

**SHEET No**  
**01-1**  
**of 18**

**LEGEND**

- SITE CUT
- SITE FILL
- GAS METER
- HOT WATER SYSTEM
- METER BOX
- WATER HYDRANT
- SEWER VENT / I.S.
- TELSTRA PIT
- S/W PROPERTY INLET
- SEWER MANHOLE
- STREET SIGN
- TREE
- TBM
- WATER VALVE
- ELECTRICAL PIT
- ELECTRICAL POLE
- STREET LAMP
- WATER METER
- STORM WATER PIT
- STD WATER TAP
- RECYCLED WATER TAP
- HABITABLE ROOM WINDOW
- SIGN STAMPED ON KERB



**JIM BRAY LOOP**

**NEW HOME CONTRACT SET**



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

**DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION**

28  
SECTION 38  
D.P. 16601

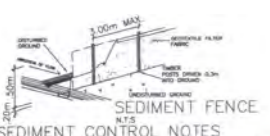
10  
SECTION 38  
D.P. 16601

27  
SECTION 38  
D.P. 16601

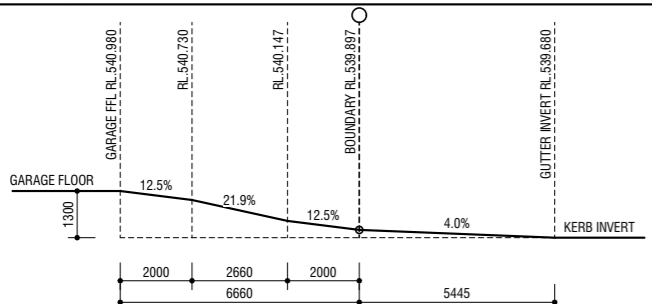
13  
SECTION 38  
D.P. 16601

12  
SECTION 38  
D.P. 16601

**SILTATION FENCE**  
BUILDER TO PROVIDE & INSTALL APPROVED  
SILTATION FENCE & DIVERTER DRAINS PRIOR  
TO SITE START AS REQUIRED BY LOCAL COUNCIL



- SEDIMENT CONTROL NOTES**
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW
  2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
  3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
  4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
  5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
  6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
  7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPER OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



**AUSTRALIAN STANDARD DRIVEWAY PROFILE**

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**

This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

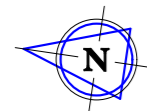
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

Site Works Plan		
HOUSE TYPE	FACADE	
<b>Gilchrist 277</b>	<b>Custom</b>	
STATUS	Mast REVISION	SCALE
<b>NEW HOME CONTRACT</b>		1:200

PROJECT				
Sch 2.2(a)(ii)				
Blk 11 Sec 38 No. 30 Jim Bray Loop				
Macnamara Act 2617				
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	
<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>	

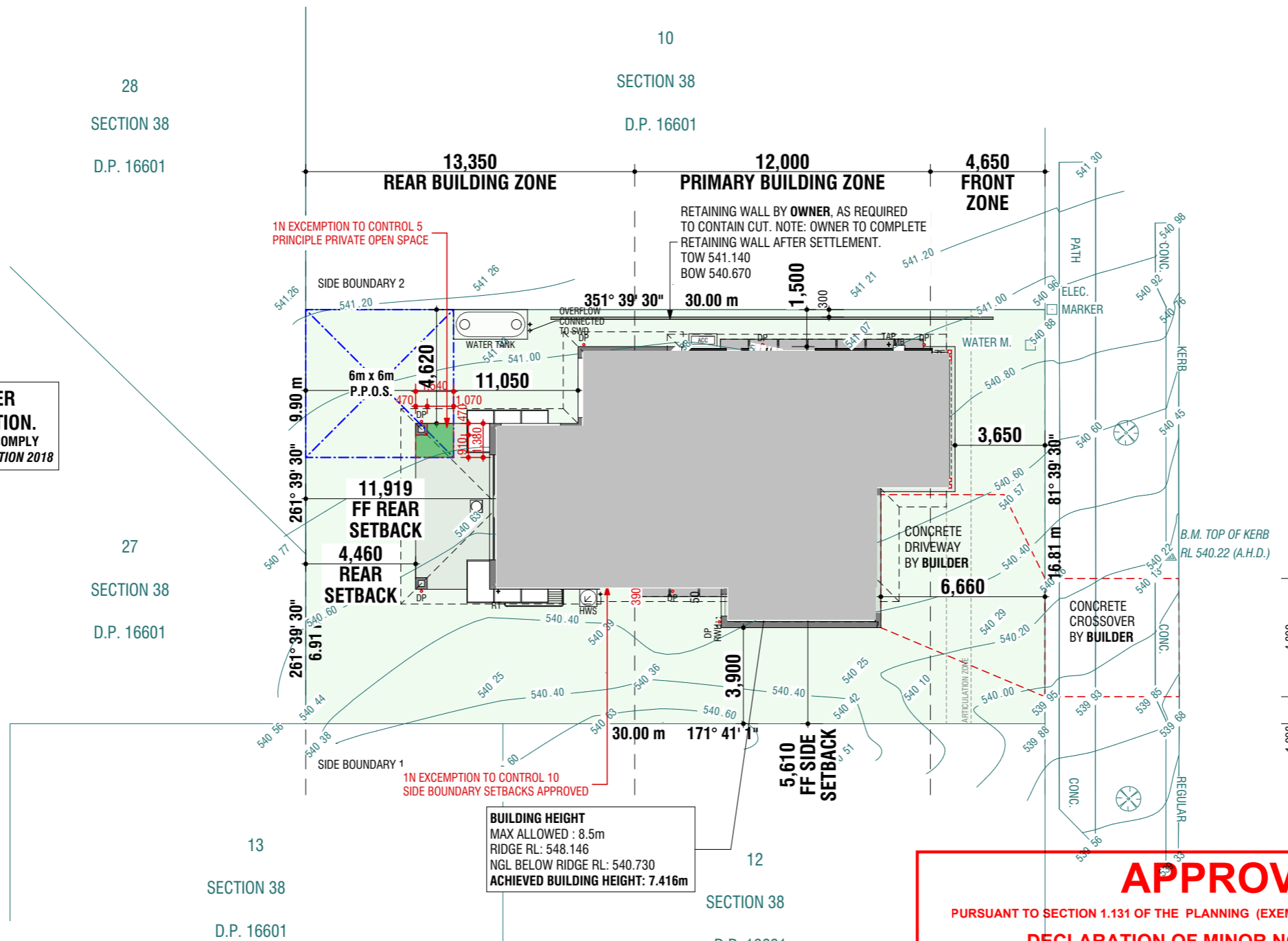
SHEET No
<b>01-2</b>
of 18



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION

CONSTRUCTION TO BAL 12.5 AS PER  
AS 3959-2018 BUSHFIRE CONSTRUCTION.  
ALL NEW WATER, ELECTRICITY AND GAS SERVICES TO COMPLY  
WITH SECTION 4.1.3 OF PLANNING FOR BUSHFIRE PROTECTION 2018



LEGEND	
	• SITE CUT
	• SITE FILL
	• GAS METER
	• HOT WATER SYSTEM
	• METER BOX
	• WATER HYDRANT
	• SEWER VENT / I.S.
	• TELSTRA PIT
	• S/W PROPERTY INLET
	• SEWER MANHOLE
	• STREET SIGN
	• TREE
	• TBM
	• WATER VALVE
	• ELECTRICAL PIT
	• ELECTRICAL POLE
	• STREET LAMP
	• WATER METER
	• STORM WATER PIT
	• STD WATER TAP
	• RECYCLED WATER TAP
	• HABITABLE ROOM WINDOW
	• SIGN STAMPED ON KERB

28  
SECTION 38  
D.P. 16601

10  
SECTION 38  
D.P. 16601

27  
SECTION 38  
D.P. 16601

13  
SECTION 38  
D.P. 16601

12  
SECTION 38  
D.P. 16601

**BUILDING HEIGHT**  
MAX ALLOWED : 8.5m  
RIDGE RL: 548.146  
NGL BELOW RIDGE RL: 540.730  
ACHIEVED BUILDING HEIGHT: 7.416m

JIM BRAY LOOP

NEW HOME CONTRACT SET

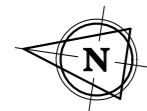
**APPROVED**

PURSUANT TO SECTION 1.131 OF THE PLANNING (EXEMPT DEVELOPMENT) REGULATION 2023  
**DECLARATION OF MINOR NON-COMPLIANCE**

Date: 29/10/2025  
Delegate: Matt Davis

The Territory Planning Authority declares that the encroachment/s as identified on this plan set and as described in the application form continues to be exempt development pursuant to section 1.131 of the Planning (Exempt Development) Regulation 2023.  
This declaration is valid for 3 years from the date of approval.

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed).....Date..... (Signed).....Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Site Plan (1N)</b></p> <p>HOUSE TYPE: <b>Gilchrist 277</b>      FACADE: <b>Custom</b></p> <p>STATUS: <b>NEW HOME CONTRACT</b>      SCALE: <b>1:200</b></p>	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>	<p><b>SHEET No</b> <b>01-3</b> <b>of 18</b></p>
	<p>JOB NUMBER: <b>260328</b>      JOB DATE: <b>29/7/2025</b>      JOB REV DATE: <b>10/10/2025</b></p>	<p>JOB REV No: <b>K</b></p>			



11  
SECTION 38  
D.P. 16601  
504m<sup>2</sup>

DESIGNED AS EXEMPT  
DEVELOPMENT APPLICATION

**STORMWATER**

ROOF CATCHMENT AREA OF 250m<sup>2</sup>  
CONNECTED TO 4000Ltr BASIX WATER TANK  
VIA 100mm STORMWATER LINES. OVERFLOW OF  
TANK TO KERB OUTLET

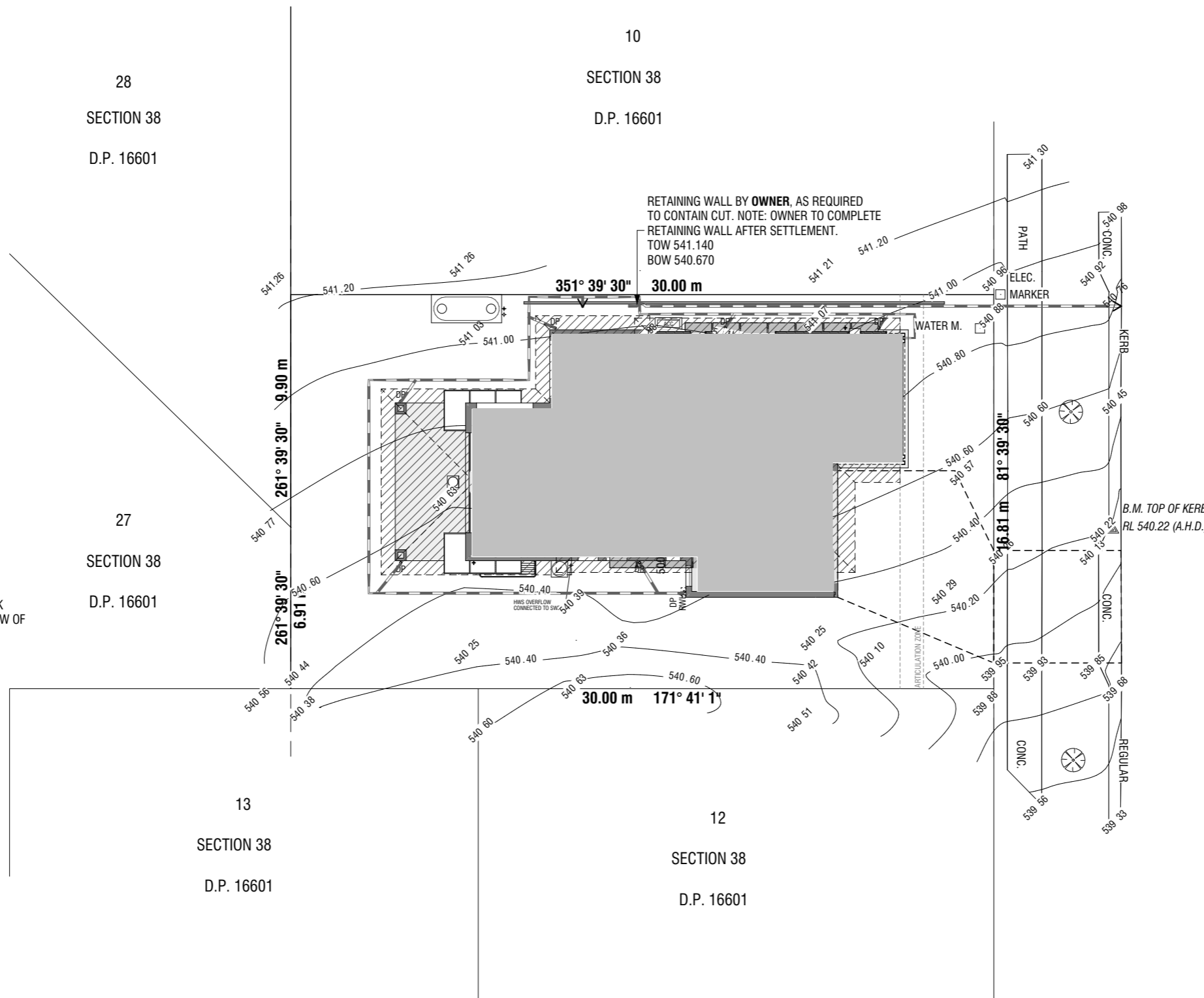
28  
SECTION 38  
D.P. 16601

10  
SECTION 38  
D.P. 16601

27  
SECTION 38  
D.P. 16601

13  
SECTION 38  
D.P. 16601

12  
SECTION 38  
D.P. 16601



LEGEND	
	• SITE CUT
	• SITE FILL
	• GAS METER
	• HOT WATER SYSTEM
	• METER BOX
	• WATER HYDRANT
	• SEWER VENT / I.S.
	• TELSTRA PIT
	• S/W PROPERTY INLET
	• SEWER MANHOLE
	• STREET SIGN
	• TREE
	• TBM
	• WATER VALVE
	• ELECTRICAL PIT
	• ELECTRICAL POLE
	• STREET LAMP
	• WATER METER
	• STORM WATER PIT
	• STD WATER TAP
	• RECYCLED WATER TAP
	• HABITABLE ROOM WINDOW
	• SIGN STAMPED ON KERB

JIM BRAY LOOP

NEW HOME CONTRACT SET

**Burbank**  
 Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
 I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**  
 This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

<b>Stormwater Concept Plan</b>		PROJECT Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617		SHEET No <b>01-4</b> of 18	
HOUSE TYPE <b>Gilchrist 277</b>	FACADE Custom	STATUS	SCALE	JOB NUMBER	JOB DATE
NEW HOME CONTRACT			1:200	<b>260328</b>	29/7/2025
				JOB REV DATE	JOB REV No.
				10/10/2025	<b>K</b>

**WINDOW HEAD HEIGHTS**  
WINDOW HEAD HEIGHTS ARE IDENTIFIED FROM THE WINDOW CODE ON THE FLOOR PLAN.  
ASW(2165) ← HEAD HEIGHT 1200-1450

WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MEASURED FROM THE:  
• TOP OF FLOOR SLAB TO TOP OF EXTERNAL WINDOW FRAME FOR SINGLE STOREY AND GROUND FLOOR OF DOUBLE STOREY  
• TOP OF PARTICLEBOARD FLOORING TO THE TOP OF EXTERNAL WINDOW FRAME FOR THE FIRST FLOOR OF DOUBLE STOREY

**NOTE:**  
ALL INTERNAL HINGED DOORS TO BE 2040mm HIGH UNLESS SPECIFICALLY NOTED OTHERWISE

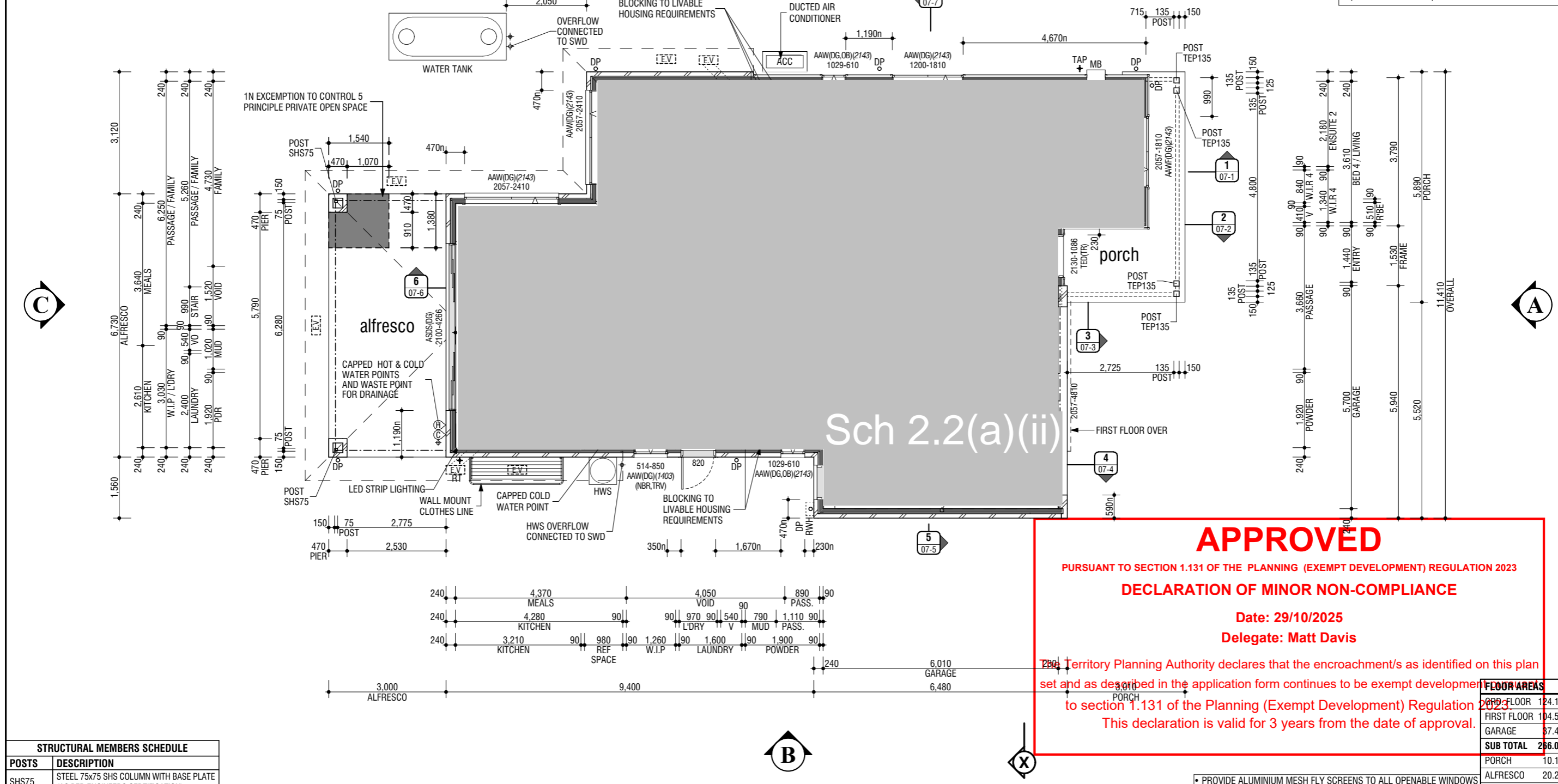
**NOTE:**  
• SQ SET CEILING TO ENSUITE 1, 2 AND BATHROOM

--- - LOAD BEARING WALL  
--- - STAIRCASE WALL BY MANUFACTURER  
--- - LOW HEIGHT WALL  
--- - FULL HEIGHT WALL

**NOTE:**  
• ROOF VENTILATOR VIA WHIRLYBIRDS WITH A 306mm = 62500mm<sup>2</sup> THROAT  
• EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

**NOTE:**  
• 60mm JOIST RECESS TO FIRST FLOOR SHOWERS ONLY  
• 70mm SLAB RECESS TO GROUND FLOOR SHOWERS ONLY

• R2.5 ACOUSTIC INSULATION IN BETWEEN FLOORS  
• R2.5 ACOUSTIC INSULATION TO ALL EXTERNAL WALLS (EXCLUDING GARAGE)



STRUCTURAL MEMBERS SCHEDULE	
POSTS	DESCRIPTION
SHS75	STEEL 75x75 SHS COLUMN WITH BASE PLATE (AS PER ENGINEERS CERTIFICATION)
TEP135	TIMBER 135x135 H3 LOSP Primed (WITH POST SUPPORT & CONNECTION DETAILS AS PER ENGINEERS SPEC.)
LINTELS	DESCRIPTION
INV/T	STEEL INVERTED T LINTEL (REQUIRES ENGINEERS SPECIFICATION)
STEEL MEMBERS TO STRUCTURAL ENGINEERS DESIGN TIMBER MEMBERS TO PRE-FABRICATED FRAMING MANUFACTURERS DESIGN	

LEGEND	
DP	Downpipe
MB	Meter Box
MH	Maintenance Hatch
DW	Dishwasher
WM	Washing Machine
OBS	Obscure Glazing
PR	Plaster Reveal
LOH	Lift Off Hinge
CT	Cooktop
UBO	Under Bench Oven
OL	Opening Leaf
TR	Translucent Glaz
DCC	Dual Cycle Cond
TRV	Tiled Reveal
RA	Return Air
REF	Refrigerator
HWS	HotWaterService
PL	Privacy Lock
NBR	No Bottom Reveal
LE	Low E Glazing
SSC	Split System Cond

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

Ground Floor Plan		PROJECT		SHEET No	
HOUSE TYPE	FACADE	Sch 2.2(a)(ii)		02-1	
Gilchrist 277	Custom	Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617		of 18	
STATUS	REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE
NEW HOME CONTRACT		1:100	260328	29/7/2025	10/10/2025
			JOB REV No.	K	

FLOOR AREAS	
2ND FLOOR	124.1m <sup>2</sup>
FIRST FLOOR	104.5m <sup>2</sup>
GARAGE	87.4m <sup>2</sup>
SUB TOTAL	296.0m <sup>2</sup>
PORCH	10.1m <sup>2</sup>
ALFRESCO	20.2m <sup>2</sup>
TOTAL	296.3m <sup>2</sup>

**WINDOW HEAD HEIGHTS**  
WINDOW HEAD HEIGHTS ARE IDENTIFIED FROM THE WINDOW CODE ON THE FLOOR PLAN.  
ASW(2165) ← HEAD HEIGHT  
1200-1450

WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MEASURED FROM THE:  
• TOP OF FLOOR SLAB TO TOP OF EXTERNAL WINDOW FRAME FOR SINGLE STOREY AND GROUND FLOOR OF DOUBLE STOREY  
• TOP OF PARTICLEBOARD FLOORING TO THE TOP OF EXTERNAL WINDOW FRAME FOR THE FIRST FLOOR OF DOUBLE STOREY

**NOTE:**  
ALL INTERNAL HINGED DOORS TO BE 2040mm HIGH UNLESS SPECIFICALLY NOTED OTHERWISE

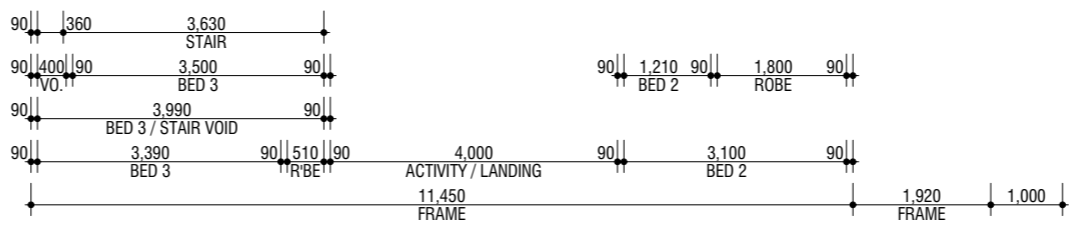
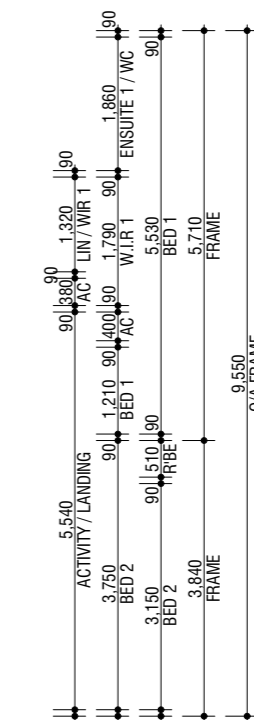
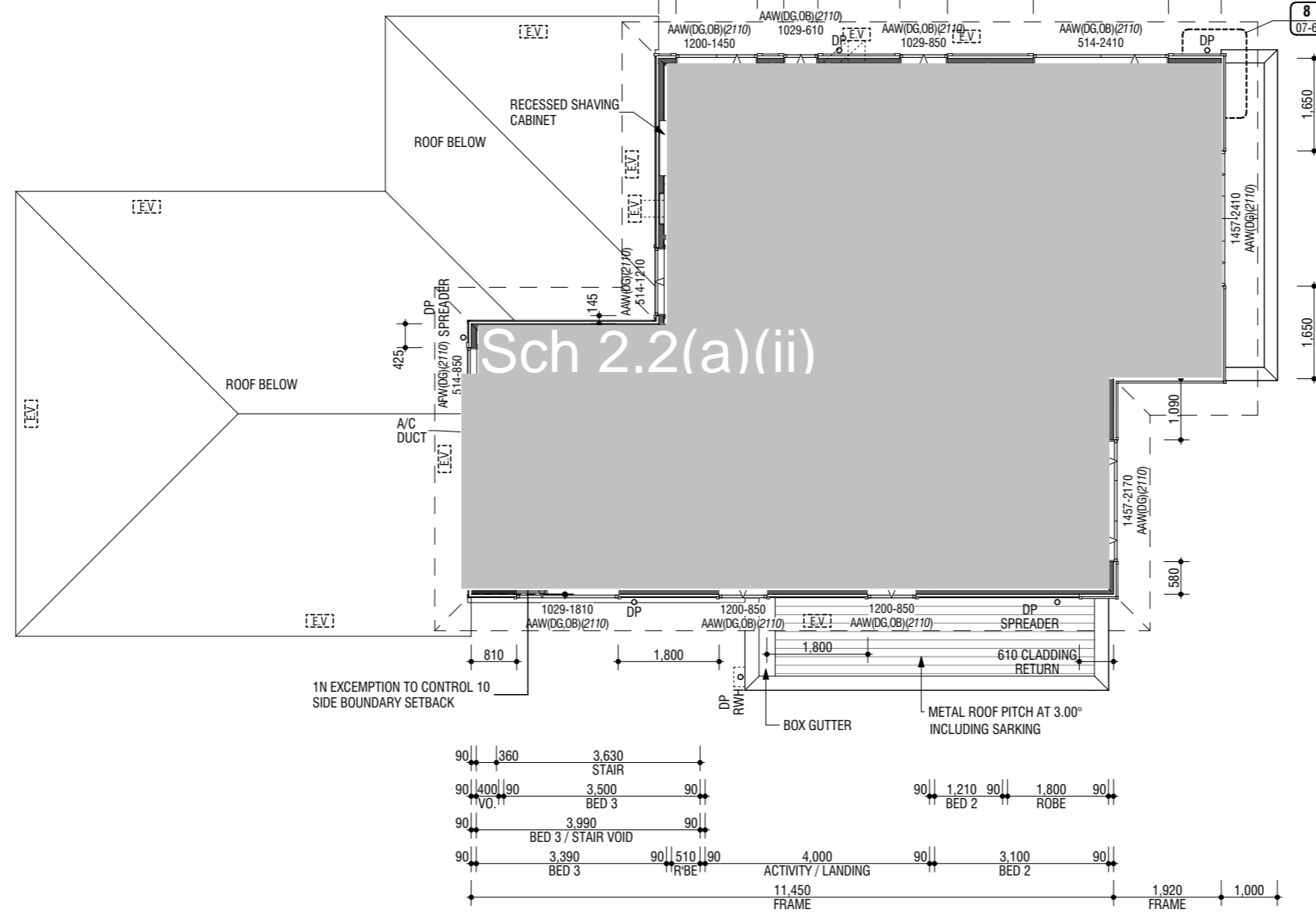
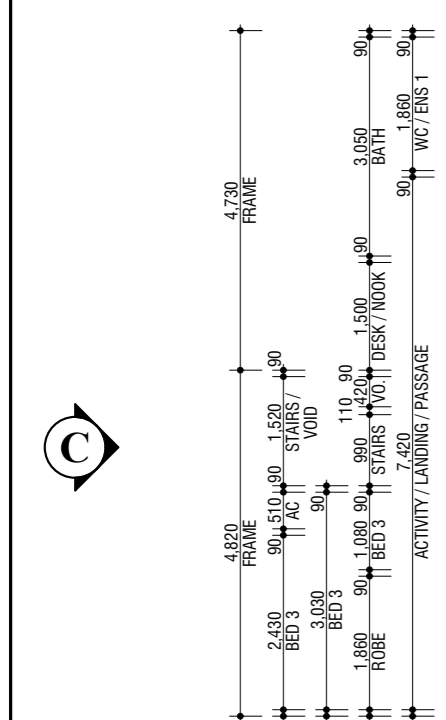
**NOTE:**  
• SQ SET CEILING TO ENSUITE 1, 2 AND BATHROOM

--- - LOAD BEARING WALL  
--- - STAIRCASE WALL BY MANUFACTURER  
--- - LOW HEIGHT WALL  
--- - FULL HEIGHT WALL

**NOTE:**  
• ROOF VENTILATOR VIA WHIRLYBIRDS WITH A 306mm = 62500mm<sup>2</sup> THROAT  
• EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

**NOTE:**  
• 60mm JOIST RECESS TO FIRST FLOOR SHOWERS ONLY  
• 70mm SLAB RECESS TO GROUND FLOOR SHOWERS ONLY

• R2.5 ACOUSTIC INSULATION IN BETWEEN FLOORS  
• R2.5 ACOUSTIC INSULATION TO ALL EXTERNAL WALLS (EXCLUDING GARAGE)



**STRUCTURAL MEMBERS SCHEDULE**

POSTS	DESCRIPTION
SHS75	STEEL 75x75 SHS COLUMN WITH BASE PLATE (AS PER ENGINEERS CERTIFICATION)
TEP135	TIMBER 135x135 H3 LOSP Primed (WITH POST SUPPORT & CONNECTION DETAILS AS PER ENGINEERS SPEC.)
LINTELS	DESCRIPTION
INV/T	STEEL INVERTED T LINTEL (REQUIRES ENGINEERS SPECIFICATION)
STEEL MEMBERS TO STRUCTURAL ENGINEERS DESIGN TIMBER MEMBERS TO PRE-FABRICATED FRAMING MANUFACTURERS DESIGN	

LEGEND	LOH	Lift Off Hinge	RA	Return Air
DP	Downpipe	CT	Cooktop	REF Refrigerator
MB	Meter Box	☉	Smoke Detector/Alarm	HWS HotWaterService
MH	Maintenance Hatch	UBO	Under Bench Oven	PL Privacy Lock
DW	Dishwasher	OL	Opening Leaf	NBR No Bottom Reveal
WM	Washing Machine	TR	Translucent Glazg	LE Low E Glazing
OBS	Obscure Glazing	DCC	Dual Cycle Cond	SSC Split System Cond
PR	Plaster Reveal	TRV	Tiled Reveal	

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

Figured dimensions are to be taken in preference of scaled dimensions.

**First Floor Plan**

HOUSE TYPE	FACADE
Gilchrist 277	Custom
STATUS	Mast REVISION
NEW HOME CONTRACT	
SCALE	1:100

**PROJECT**  
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	10/10/2025	K

**FLOOR AREAS**

GRD. FLOOR	124.1m <sup>2</sup>
FIRST FLOOR	104.5m <sup>2</sup>
GARAGE	37.4m <sup>2</sup>
<b>SUB TOTAL</b>	<b>266.0m<sup>2</sup></b>
PORCH	10.1m <sup>2</sup>
ALFRESCO	20.2m <sup>2</sup>
<b>TOTAL</b>	<b>296.3m<sup>2</sup></b>

**SHEET No**  
02-2  
**of 18**

NEW HOME CONTRACT SET

ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat

**NOTE:**  
 • ROOF VENTILATOR VIA WHIRLYBIRDS WITH  
 A 306mm = 62500mm<sup>2</sup> THROAT  
 • EAVE VENTS = 23700mm<sup>2</sup> OPENING EACH

CLIMATE ZONE 7

**UPPER ROOF VENTILATION CALCULATIONS**

ROOF LENGTH 14.67m

REQUIRED VENTILATION TO LOW LEVEL 14.67 x 7000 = 102690mm<sup>2</sup>  
 REQUIRED VENTILATION TO HIGH LEVEL 14.67 x 5000 = 73350mm<sup>2</sup>

LOW LEVEL CALCULATION  
 EAVE VENT 23700mm<sup>2</sup>  
 102690 / 23700 = 4.3 (5 EAVE VENTS)

HIGH LEVEL CALCULATION  
 WHIRLYBIRD 62500mm<sup>2</sup>  
 73350 / 62500 = 1.17 (2 WHIRLLY BIRDS)

**LOWER ROOF VENTILATION CALCULATIONS (REAR ROOF)**

ROOF LENGTH 11.51m

REQUIRED VENTILATION TO LOW LEVEL 11.51 x 7000 = 80570mm<sup>2</sup>  
 REQUIRED VENTILATION TO HIGH LEVEL 11.51 x 5000 = 57550mm<sup>2</sup>

LOW LEVEL CALCULATION  
 EAVE VENT 23700mm<sup>2</sup>  
 80570 / 23700mm<sup>2</sup> = 3.39 (4 EAVE VENTS)

HIGH LEVEL CALCULATION  
 WHIRLYBIRD 62500mm<sup>2</sup>  
 57550 / 62500 = 0.9 (1 WHIRLLY BIRDS)

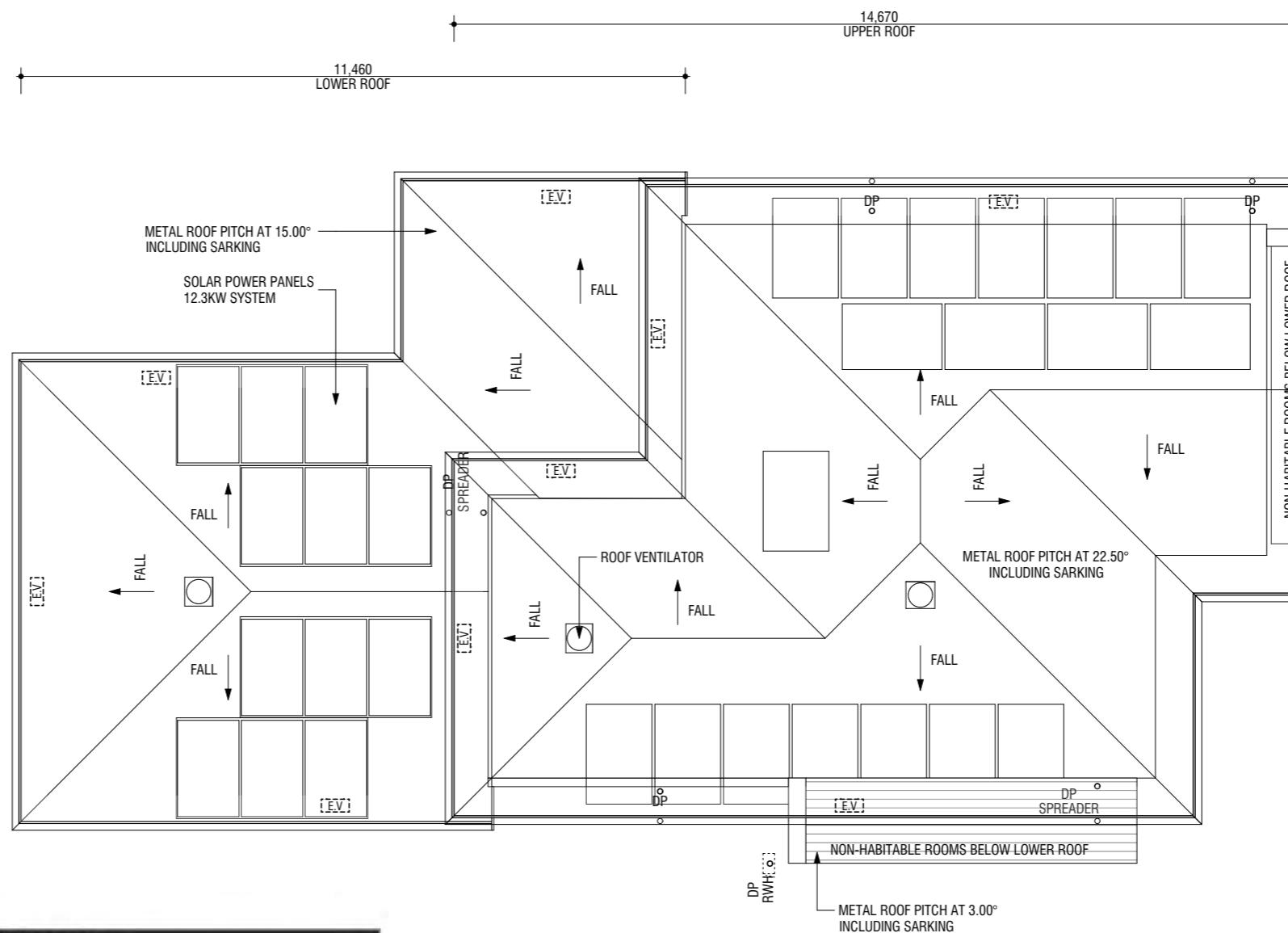


Table 10.8.3: Roof space ventilation requirements

Roof pitch	Ventilation openings
< 10°	25,000 mm <sup>2</sup> /m provided at each of two opposing ends
≥ 10° and < 15°	25,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level
≥ 15° and < 75°	7,000 mm <sup>2</sup> /m provided at the eaves and 5,000 mm <sup>2</sup> /m at high level, plus an additional 18,000 mm <sup>2</sup> /m at the eaves if the roof has a cathedral ceiling

NEW HOME CONTRACT SET

**Burbank**

Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....  
 (Signed).....Date.....

**LEGAL**

This drawing and information herein is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.

The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.

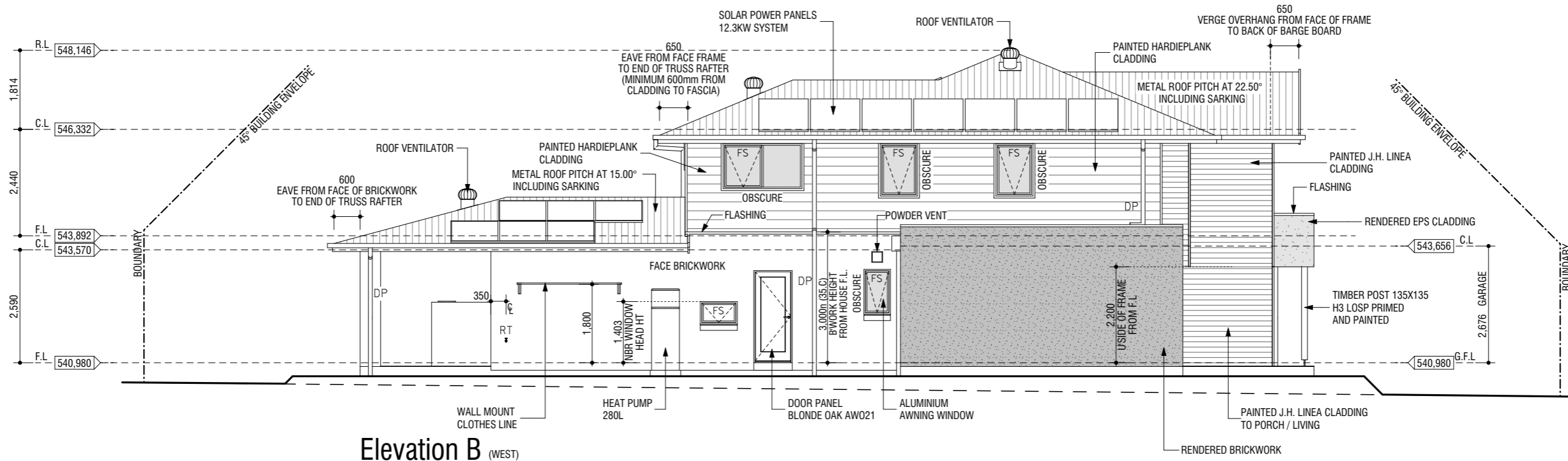
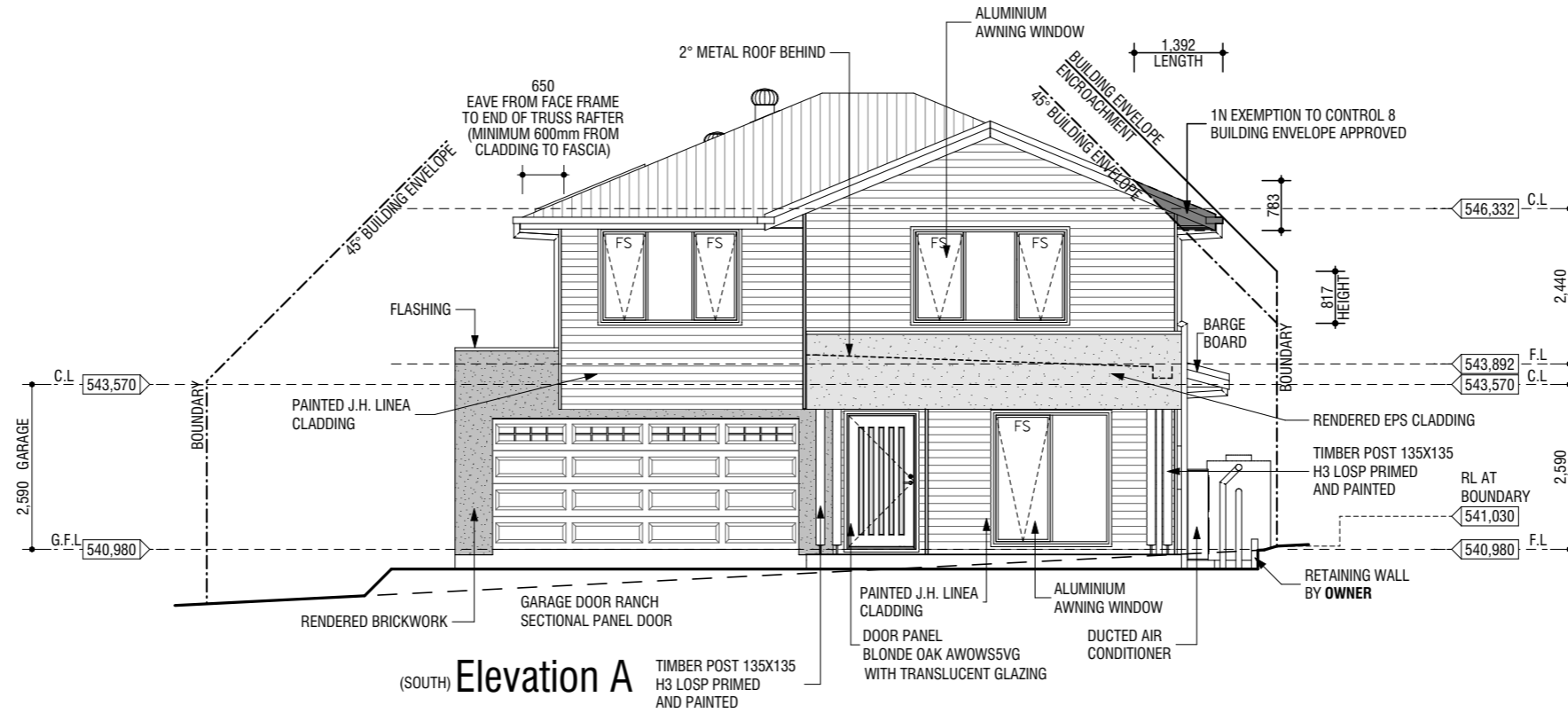
Figured dimensions are to be taken in preference of scaled dimensions.

<b>Roof Plan</b>		<b>HOUSE TYPE</b>	<b>FACADE</b>
Gilchrist 277		Custom	Custom
<b>STATUS</b>	<b>Mast REVISION</b>	<b>SCALE</b>	<b>JOB NUMBER</b>
NEW HOME CONTRACT		1:100	260328

<b>PROJECT</b>			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
<b>JOB NUMBER</b>	<b>JOB DATE</b>	<b>JOB REV DATE</b>	<b>JOB REV No.</b>
260328	29/7/2025	10/10/2025	K

**SHEET No**  
02-3  
**of 18**

WINDOW & DOOR SCREEN LEGEND	
FS	FLY SCREEN
SS	SECURITY SCREEN
FD	FLY DOOR
SD	SECURITY DOOR



INFILL OVER OPENINGS SCHEDULE	
OPENING	INFILL
GARAGE DOOR	Brickwork
FRONT ENTRY HINGED DOOR	Brickwork
REAR GARAGE DOOR	Brickwork
ALFRESCO DOORS & WINDOWS	Brickwork
FACADE WINDOWS	As Noted
REMAINING GF WINDOWS AND DOORS	Brickwork
REMAINING FF WINDOWS & DOORS	No Infill due to Eave Junction

**Burbank**  
 Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
 I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed)..... Date.....  
 (Signed)..... Date.....

**LEGAL**  
 This drawing and information herein is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

External Elevations	
HOUSE TYPE	FACADE
Gilchrist 277	Custom
STATUS	REVISION
NEW HOME CONTRACT	
SCALE	1:100

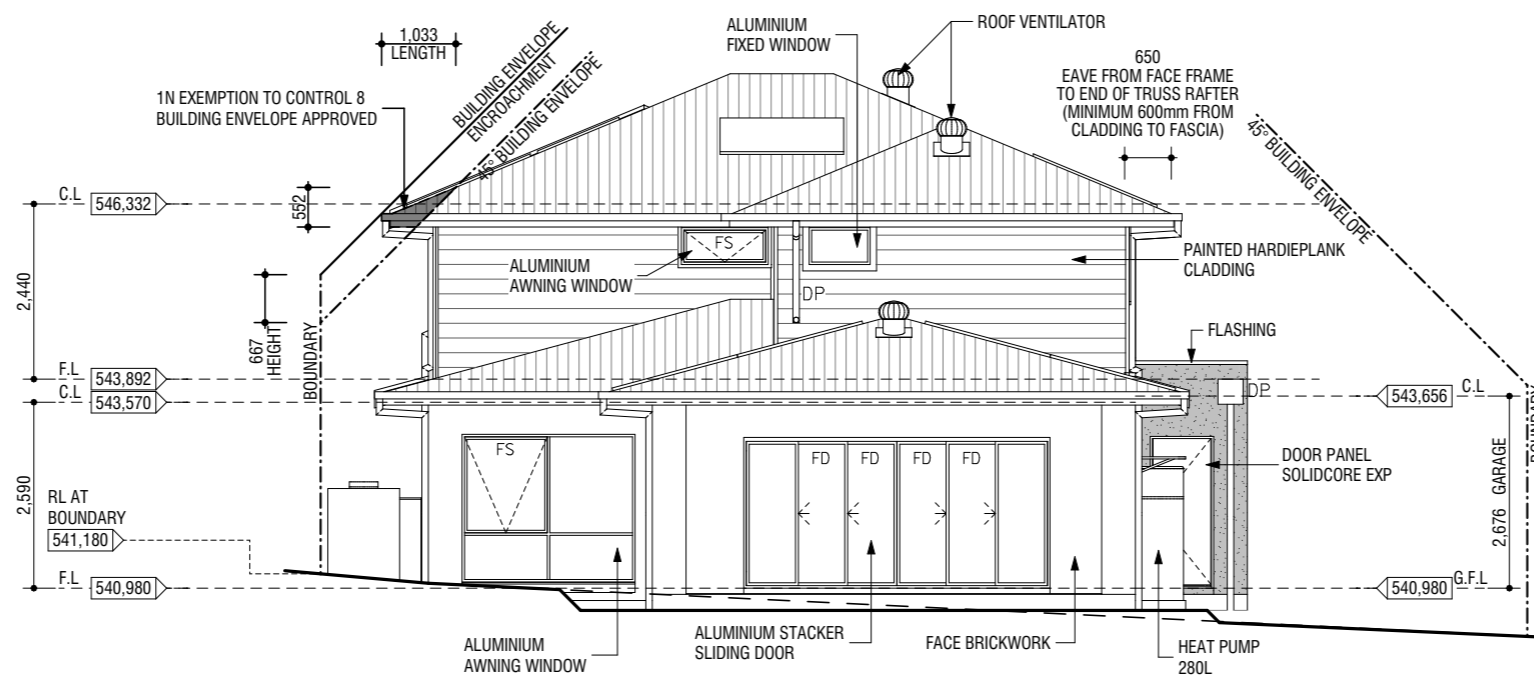
PROJECT			
Sch 2.2(a)(ii)			
Blk 11 Sec 38 No. 30 Jim Bray Loop			
Macnamara Act 2617			
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	10/10/2025	K

**SHEET No**  
03-1  
**of 18**

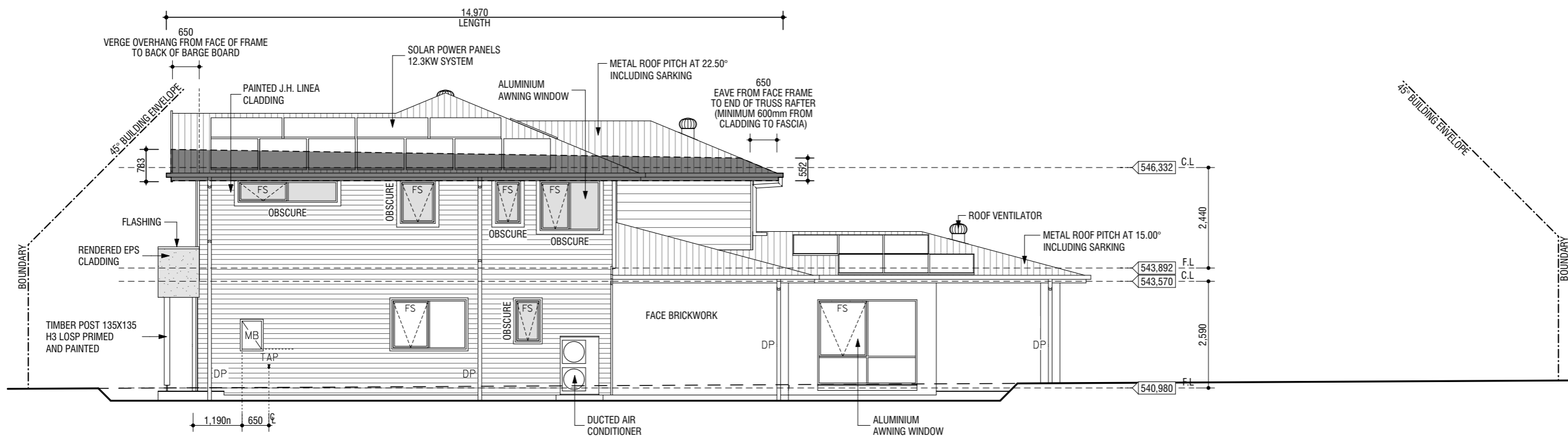
NEW HOME CONTRACT SET

ArchCAD 28 - Last Saved 22/10/2025 by Suzan-Aykat

WINDOW & DOOR SCREEN LEGEND	
FS	FLY SCREEN
SS	SECURITY SCREEN
FD	FLY DOOR
SD	SECURITY DOOR



Elevation C (NORTH)



Elevation D (EAST)

INFILL OVER OPENINGS SCHEDULE	
OPENING	INFILL
GARAGE DOOR	Brickwork
FRONT ENTRY HINGED DOOR	Brickwork
REAR GARAGE DOOR	Brickwork
ALFRESCO DOORS & WINDOWS	Brickwork
FACADE WINDOWS	As Noted
REMAINING GF WINDOWS AND DOORS	Brickwork
REMAINING FF WINDOWS & DOORS	No Infill due to Eave Junction

**Burbank**  
 Address: Level 3/88 Phillip St, Parramatta NSW 2150  
 Email: build@burbank.com.au  
 Phone: (03) 9328 0333 FAX: (03) 9328 0222  
 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
 © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

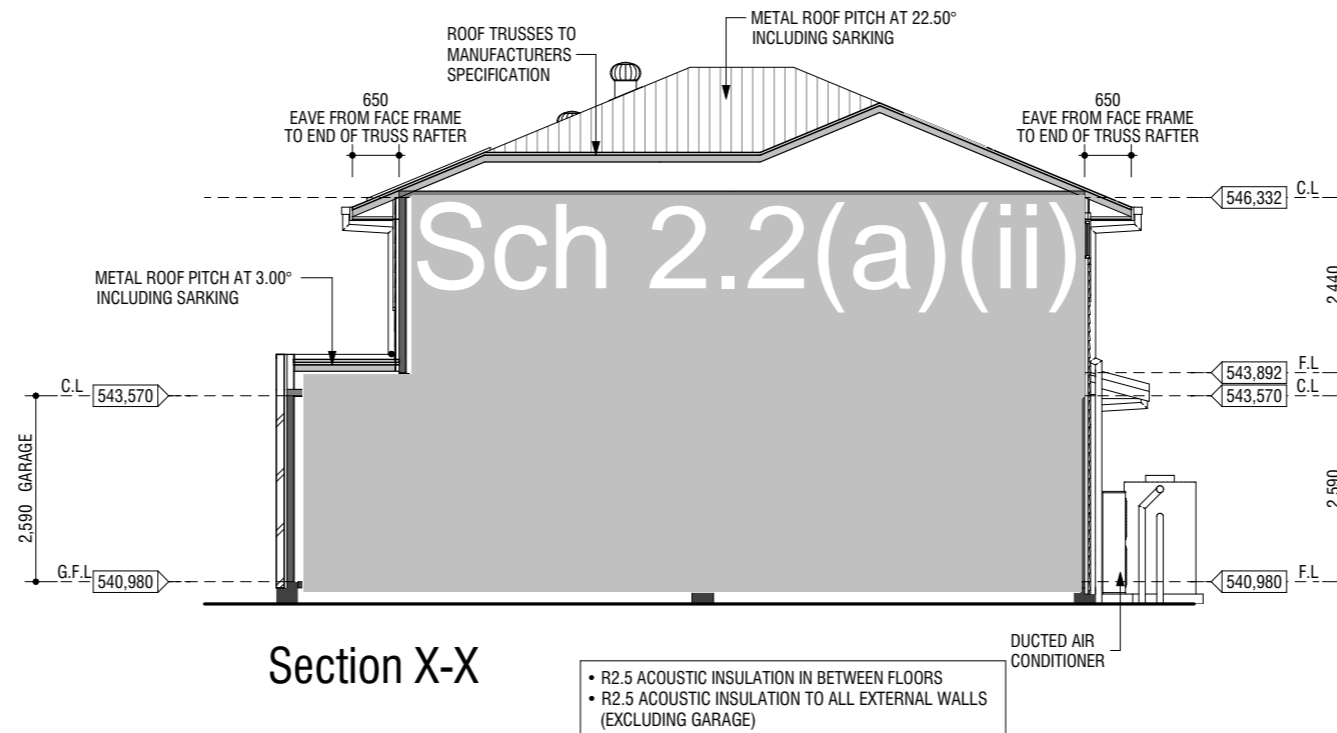
**CONTRACT**  
 I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
 (Signed)..... Date.....  
 (Signed)..... Date.....

**LEGAL**  
 This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
 The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
 Figured dimensions are to be taken in preference of scaled dimensions.

External Elevations			PROJECT			SHEET No	
HOUSE TYPE	FACADE	SCALE	Sch 2.2(a)(ii)			03-2	
Gilchrist 277	Custom	1:100	Blk 11 Sec 38 No. 30 Jim Bray Loop			of 18	
STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	
NEW HOME CONTRACT		1:100	260328	29/7/2025	10/10/2025	K	

NEW HOME CONTRACT SET

ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat



NEW HOME CONTRACT SET

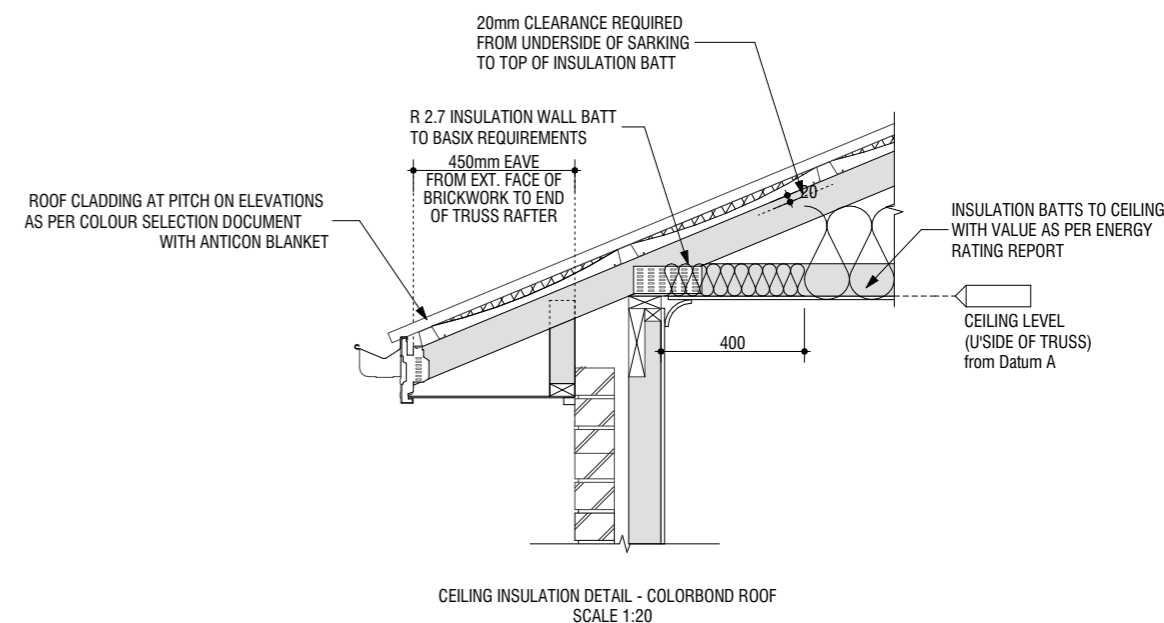
ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves. (Signed)..... Date..... (Signed)..... Date.....</p>		<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd. The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work. Figured dimensions are to be taken in preference of scaled dimensions.</p>		<p><b>External Sections</b></p> <p>HOUSE TYPE: <b>Gilchrist 277</b> FACADE: <b>Custom</b></p> <table border="1"> <thead> <tr> <th>STATUS</th> <th>Mast REVISION</th> <th>SCALE</th> <th>JOB NUMBER</th> <th>JOB DATE</th> <th>JOB REV DATE</th> <th>JOB REV No.</th> </tr> </thead> <tbody> <tr> <td>NEW HOME CONTRACT</td> <td></td> <td>1:100</td> <td><b>260328</b></td> <td>29/7/2025</td> <td>10/10/2025</td> <td><b>K</b></td> </tr> </tbody> </table>			STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	NEW HOME CONTRACT		1:100	<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>		<p><b>SHEET No</b></p> <p><b>03-3</b> <b>of 18</b></p>
	STATUS	Mast REVISION	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.																	
	NEW HOME CONTRACT		1:100	<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>																	

### BASIX NOTES TABLE

<b>WAFFLE POD SIZE:</b> • HOUSE WAFFLE POD:	310mm SLAB 225mm POD THICKNESS
<b>PROJECT TYPE:</b> • SEPARATE DWELLING HOUSE: • No. OF BED ROOMS:	VACANT LOT 4
<b>SITE DETAILS:</b> • SITE AREA: • TOTAL ROOF AREA (INCLUDING EAVES): • TOTAL SOFT LANDSCAPED AREA: (INCLUDES ALL UNBUILT UPON AREA OF SITE & EXCLUDES ALL BUILDING(S) DRIVEWAY & PATHS)	504.0 m <sup>2</sup> 249.0 m <sup>2</sup> 311.0 m <sup>2</sup>
<b>RAIN WATER:</b> • IS A RAINWATER TANK PROPOSED: • MINIMUM RAINWATER TANK SIZE: • ROOF AREA COLLECTED BY RAINWATER TANK: • RAINWATER CONNECTED TO:	YES 4000 Lt 250 m <sup>2</sup> LAUNDRY / TOILETS / GARDEN
<b>WATER SUPPLY:</b> • IS DUAL / RETICULATED WATER AVAILABLE TO SITE: • IS TOWN WATER AVAILABLE TO SITE:	NO YES
<b>WATER FIXTURES:</b> • SHOWER HEAD RATING: • TOILET FLUSHING SYSTEM RATING: • KITCHEN TAP FITTING RATING: • BASIN TAP RATING:	3 STAR - 8 LT/MIN 4 STAR 4 STAR 4 STAR
<b>HOT WATER SYSTEM:</b> • HOT WATER SYSTEM TYPE:	HEAT PUMP (32 STC)
<b>AIR CONDITIONING SYSTEM:</b> • IS AIR CONDITIONING PROPOSED TO THE DWELLING: • AIR CONDITIONING SYSTEM BY BUILDER: (ON 2 ZONES : LIVING RMS. x 1 ZONE & BEDS x 1 ZONE) • LIVING & BEDROOM AREA COOLING SYSTEM: • LIVING & BEDROOM AREA HEATING SYSTEM:	YES 1 PHASE EER 3.13 COP 3.67
<b>COOKING APPLIANCES:</b> • COOKING APPLIANCE TYPE:	ALL ELECTRIC COOKING
<b>THERMAL COMFORT:</b> • MAX. EAVE WIDTH INCLUDING EAVE, FASCIA & GUTTER: • EXTERNAL WALL INSULATION (EXCLUDING GARAGE): • ROOFED CEILING INSULATION - 400mm OF PERIMETER • ROOFED CEILING INSULATION (EXCLUDING ABOVE GARAGE ALFRESCO, 400mm PERIMETER OF ROOFED CEILING) • INTERNAL GARAGE WALL INSULATION • CEILING/FLOOR INSULATION (BETWEEN JOISTS) • INTERNAL WALL INSULATION TO DWELLING • IS ANTICON BLANKET PROVIDED TO UNDERSIDE OF ROOF: • IS SARKING PROVIDED TO UNDERSIDE OF ROOF: • IS SARKING PROVIDED TO EXTERNAL WALLS: • ROOF MATERIAL TYPE: • ROOF COLOUR CLASSIFICATION:	650 mm R2.5 R2.7 R6.0 R2.7 R4.0 R2.7 No Yes Yes Colorbond Dark
<b>GENERAL:</b> • WEATHER STRIPPING TO ALL EXTERNAL DOORS: • WELL VENTILATED REFRIDGERATOR SPACE: • CLOTHES LINE TYPE:  PHOTOVOLTANIC SOLAR SYSTEM:	Yes Yes INDOOR (BY CLIENT) OUTDOOR (BY BUILDER) 12.3KW
<b>EXHAUST:</b> • ALL EXHAUSTS TO BE SEALED:	YES
<b>DOWNLIGHTS:</b> • ALL DOWNLIGHT INSTALLATIONS TO BE UNVENTED AND COVERABLE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & AUSTRALIAN STANDARDS	

GLAZING SCHEDULE		SOUTHERN STAR / CANTERBURY			
<b>GROUND FLOOR:</b>					
<b>Windows:</b>					
ID	Size (HxW)	Frame Material	Glazing Type	Screen Type	
Bed 4 Awning, 150 Series	1200 x 1810	Aluminium	Double, Clear	Fly Screen	
Ens 2 Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen	
Family Awning, 150 Series	2057 x 2410	Aluminium	Double, Clear	Fly Screen	
Living and Porch Awning, Full Height, 150 Series	2057 x 1810	Aluminium	Double, Clear	Fly Screen	
Meals Awning, 150 Series	2057 x 2410	Aluminium	Double, Clear	Fly Screen	
Pdr Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen	
W.i.p Awning, 150 Series	514 x 850	Aluminium	Double, Clear	Fly Screen	
<b>Doors:</b>					
Alfresco and Kitchen Stacker Sliding, 150 Series	2100 x 4266	Aluminium	Double, Clear	Fly Door	
<b>FIRST FLOOR:</b>					
<b>Windows:</b>					
Activity Awning, 150 Series	1200 x 850	Aluminium	Double, Obscured	Fly Screen	
Activity Awning, 150 Series	1200 x 850	Aluminium	Double, Obscured	Fly Screen	
Bath Awning, 150 Series	1200 x 1450	Aluminium	Double, Obscured	Fly Screen	
Bed 1 Awning, 150 Series	514 x 2410	Aluminium	Double, Obscured	Fly Screen	
Bed 1 Awning, 150 Series	1457 x 2410	Aluminium	Double, Clear	Fly Screen	
Bed 2 Awning, 150 Series	1457 x 2170	Aluminium	Double, Clear	Fly Screen	
Bed 3 Awning, 150 Series	1029 x 1810	Aluminium	Double, Obscured	Fly Screen	
Ens 1 Awning, 150 Series	1029 x 850	Aluminium	Double, Obscured	Fly Screen	
Landing Awning, 150 Series	514 x 1210	Aluminium	Double, Clear	Fly Screen	
Void Fixed, 150 Series	514 x 850	Aluminium	Double, Clear		
Wc Awning, 150 Series	1029 x 610	Aluminium	Double, Obscured	Fly Screen	
<b>Doors:</b>					



NEW HOME CONTRACT SET

ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat

**Burbank**  
Address: Level 3/88 Phillip St, Parramatta NSW 2150  
Email: build@burbank.com.au  
Phone: (03) 9328 0333 FAX: (03) 9328 0222  
ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**  
I / We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.  
(Signed).....Date.....  
(Signed).....Date.....

**LEGAL**  
This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.  
The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.  
Figured dimensions are to be taken in preference of scaled dimensions.

**Notes & Schedule**

HOUSE TYPE	FACE
Gilchrist 277	Custom
STATUS	Mast REVISION
NEW HOME CONTRACT	SCALE

**PROJECT**  
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

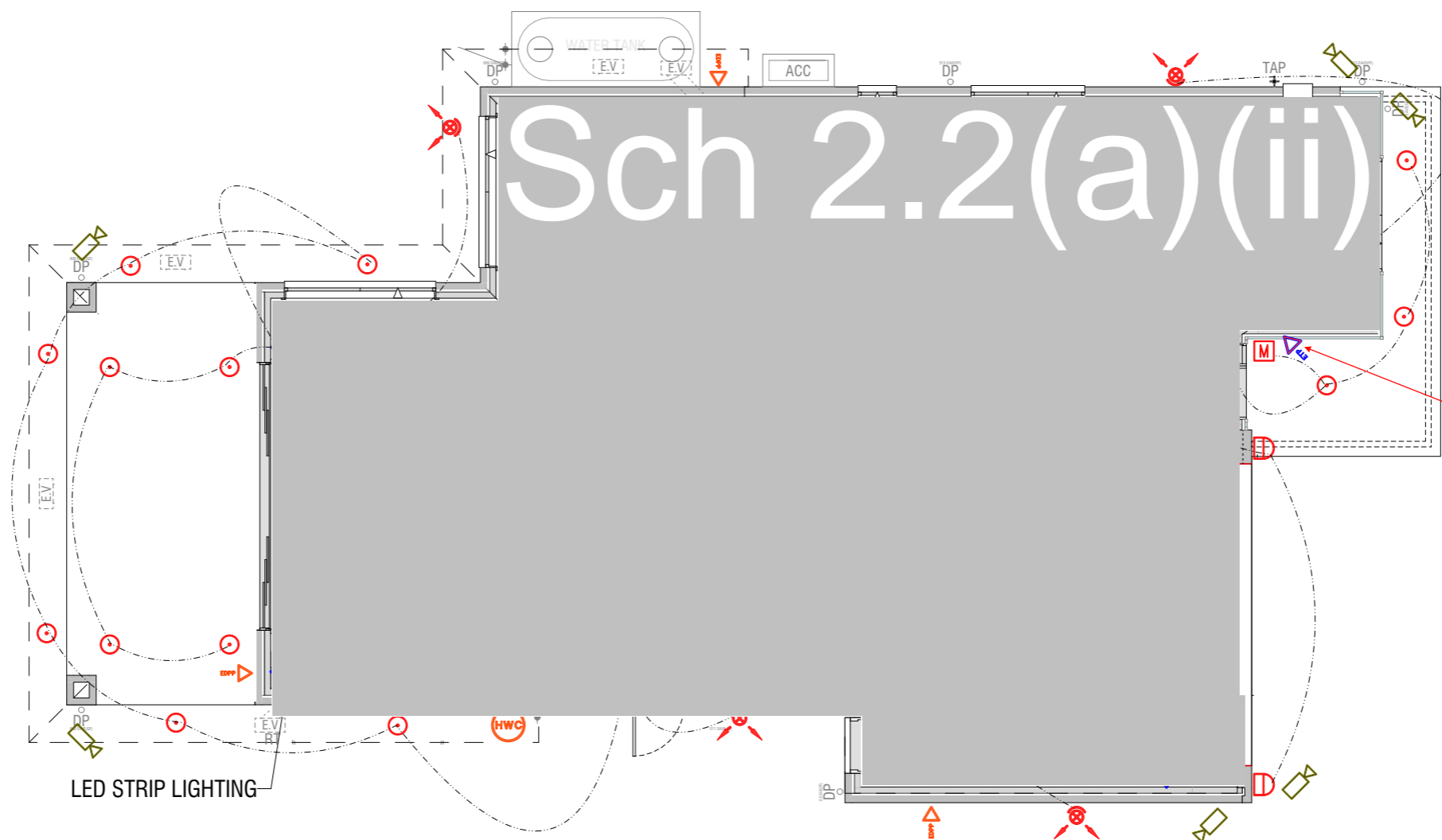
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
260328	29/7/2025	10/10/2025	K

**SHEET No**  
03-4  
of 18

Light / Power		
⊙	LED Downlight 90mm White	34 EA
●	LED Batten Holder	4 EA
⌈	External Wall Light	2 EA
⌋	Garage Type LED Batten	2 EA
⊙	LED Sensor Spot - Twin	4 EA
⊙	Internal Motion Detector Small	1 EA
M	Motion Detector	1 EA
⊙	Tastic 4 Heat	1 EA
⊙	Exhaust Fan	1 EA
⊙	Smoke Detector	1 EA
⊙	1 Gang Switch	4 EA
⊙	2 Gang Switch	2 EA
⊙	3 Gang Switch	2 EA
⊙	4 Gang Switch	2 EA
⊙	5 Gang Switch	2 EA
▶	General Power Point	15 EA
▶	External Power Point	3 EA
▶	Oven	1 EA
▶	Appliance GPO	9 EA
▶	TV Point	1 EA
▶	Data	2 EA
⊙	Camera	6 EA
⊙	Induction Cooktop 6mm Cct	1 EA
⊙	Heat Pump 16Amp	1 EA
⊙	EV Car Charger	1 EA
⊙	NBN Box	1 EA
⊙	HUB	1 EA
⊙	AirCon Vent	7 EA

Air Touch 5 - 8 Zones

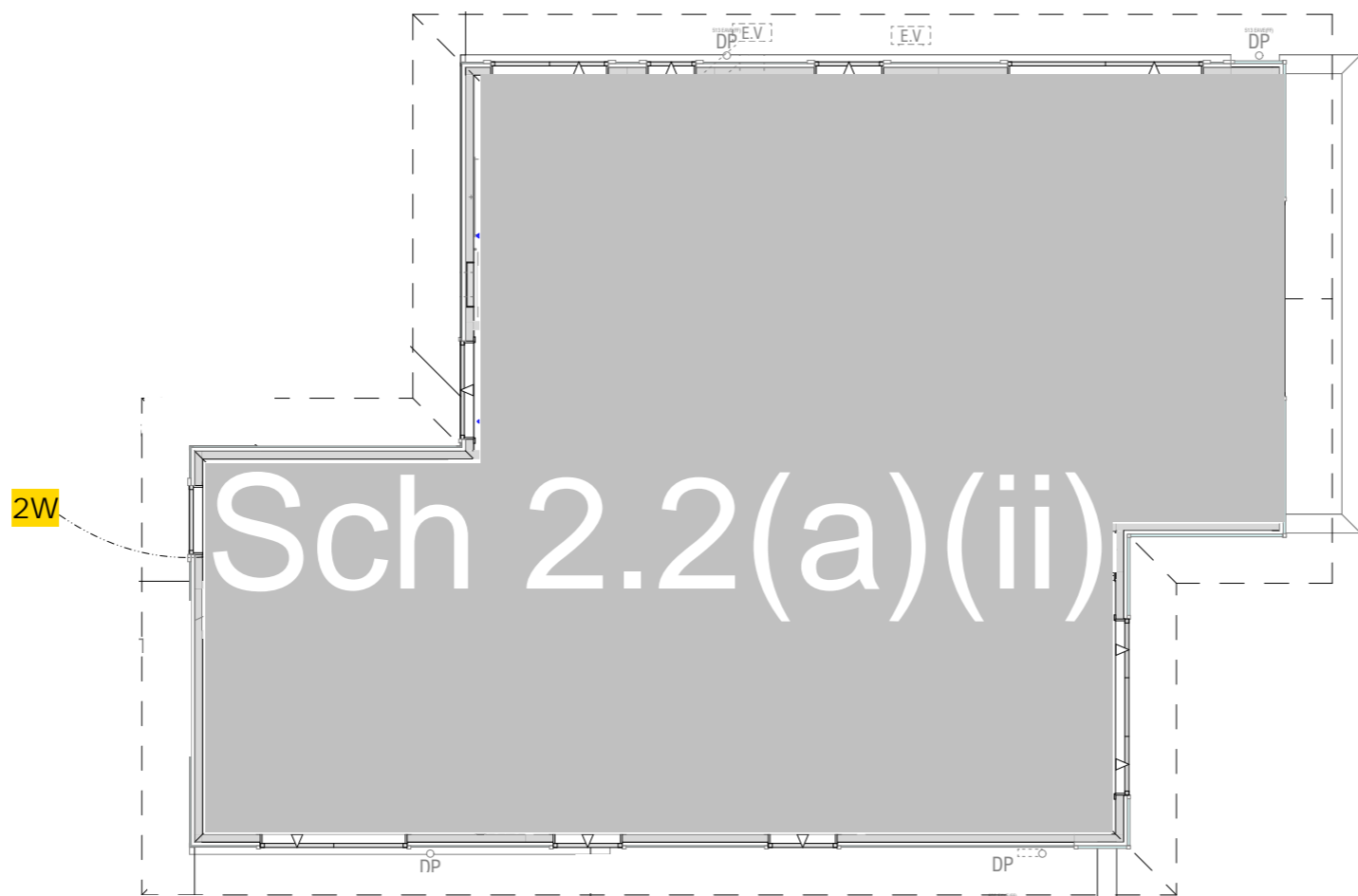
Cool White Lights



Data out brickwork for future Ring Pro Elite Doorbell

NEW HOME CONTRACT SET

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222 ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed).....Date..... (Signed).....Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Electrical Plan (GF)</b></p> <table border="1"> <tr> <td>HOUSE TYPE</td> <td>FACADE</td> </tr> <tr> <td>Gilchrist 277</td> <td>Custom</td> </tr> <tr> <td>STATUS</td> <td>Mast REVISION</td> </tr> <tr> <td>NEW HOME CONTRACT</td> <td></td> </tr> </table>	HOUSE TYPE	FACADE	Gilchrist 277	Custom	STATUS	Mast REVISION	NEW HOME CONTRACT		<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p> <table border="1"> <tr> <td>JOB NUMBER</td> <td>JOB DATE</td> <td>JOB REV DATE</td> <td>JOB REV No.</td> </tr> <tr> <td>260328</td> <td>29/7/2025</td> <td>10/10/2025</td> <td>K</td> </tr> </table>	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	260328	29/7/2025	10/10/2025	K	<p><b>SHEET No</b></p> <p>04-1 of 18</p>
	HOUSE TYPE	FACADE																			
	Gilchrist 277	Custom																			
STATUS	Mast REVISION																				
NEW HOME CONTRACT																					
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.																		
260328	29/7/2025	10/10/2025	K																		
<p>Scale: 1:100, 1:1</p>		<p>Scale: Custom</p>		<p>Scale: 1:100, 1:1</p>																	
<p>ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat</p>																					



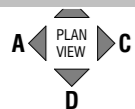
Light / Power		
⊙	LED Downlight 90mm White	17 EA
●	LED Batten Holder	1 EA
⊠	Tastic 4 Heat	2 EA
⊙	Smoke Detector	2 EA
⊕	1 Gang Switch	7 EA
⊕	3 Gang Switch	1 EA
⊕	5 Gang Switch	2 EA
⊕	General Power Point	13 EA
⊠	Return Air	1 EA
⊕	AirCon Vent	4 EA

NEW HOME CONTRACT SET

<p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222</p> <p>ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed)..... Date..... (Signed)..... Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Electrical Plan (FF)</b></p> <table border="1"> <tr> <td>HOUSE TYPE</td> <td>FACADE</td> </tr> <tr> <td><b>Gilchrist 277</b></td> <td><b>Custom</b></td> </tr> <tr> <td>STATUS</td> <td>MAST REVISION</td> </tr> <tr> <td>NEW HOME CONTRACT</td> <td></td> </tr> </table>	HOUSE TYPE	FACADE	<b>Gilchrist 277</b>	<b>Custom</b>	STATUS	MAST REVISION	NEW HOME CONTRACT		<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>	<p><b>SHEET No</b></p> <p><b>04-2</b> <b>of 18</b></p>	
	HOUSE TYPE	FACADE												
	<b>Gilchrist 277</b>	<b>Custom</b>												
STATUS	MAST REVISION													
NEW HOME CONTRACT														
			<table border="1"> <tr> <td>SCALE</td> <td>JOB NUMBER</td> <td>JOB DATE</td> <td>JOB REV DATE</td> <td>JOB REV No.</td> </tr> <tr> <td>1:100, 1:1</td> <td><b>260328</b></td> <td>29/7/2025</td> <td>10/10/2025</td> <td><b>K</b></td> </tr> </table>	SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	1:100, 1:1	<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>	
SCALE	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.										
1:100, 1:1	<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>										



AAW/C



**NOTE:**  
ALL DIMENSIONS SHOWN INTERSECTING WITH A WALL  
ON THIS SHEET ARE TAKEN FROM THE PLASTER SURFACE



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/ We .....  
acknowledge that these plans are a true and accurate reflection of our requirements and agree  
that these drawings are the drawings referred to in the Major Domestic Building Contract between  
Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....

(Signed).....Date.....

**LEGAL**

This drawing and information hereon is  
the property of and may not be used  
by any means without the prior consent  
of Burbank Australia Pty Ltd.

The contractor is responsible for setting  
out and checking all levels and dimensions  
on site prior to commencing any work.

Figured dimensions are to be taken in  
preference of scaled dimensions.

**Internal Elevations**

**HOUSE TYPE** FACADE  
**Gilchrist 277** Custom

STATUS	Mast REVISION	SCALE
NEW HOME CONTRACT		1:100, 1:50

**PROJECT**

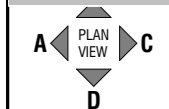
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>

**SHEET No**  
**05-1**  
**of 18**



<p><b>A</b> PLAN VIEW <b>C</b></p> <p><b>D</b></p> <p><b>NOTE:</b> ALL DIMENSIONS SHOWN INTERSECTING WITH A WALL ON THIS SHEET ARE TAKEN FROM THE PLASTER SURFACE</p>	<p><b>Burbank</b></p> <p><b>Address:</b> Level 3/88 Phillip St, Parramatta NSW 2150 <b>Email:</b> build@burbank.com.au <b>Phone:</b> (03) 9328 0333 <b>FAX:</b> (03) 9328 0222</p> <p>ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed).....Date..... (Signed).....Date.....</p>	<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>	<p><b>Internal Elevations</b></p>		<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) [REDACTED] Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>	<p><b>SHEET No</b> <b>05-2</b> <b>of 18</b></p>	
				<p><b>HOUSE TYPE</b> <b>Gilchrist 277</b></p>	<p><b>FACADE</b> <b>Custom</b></p>			<p><b>STATUS</b></p> <p>NEW HOME CONTRACT</p>



**NOTE:**  
ALL DIMENSIONS SHOWN INTERSECTING WITH A WALL  
ON THIS SHEET ARE TAKEN FROM THE PLASTER SURFACE



**Address:** Level 3/88 Phillip St, Parramatta NSW 2150  
**Email:** build@burbank.com.au  
**Phone:** (03) 9328 0333 **FAX:** (03) 9328 0222

ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C  
© COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN

**CONTRACT**

I/ We .....  
acknowledge that these plans are a true and accurate reflection of our requirements and agree  
that these drawings are the drawings referred to in the Major Domestic Building Contract between  
Burbank Australia Pty Ltd. and myself / ourselves.

(Signed).....Date.....

(Signed).....Date.....

**LEGAL**

This drawing and information hereon is  
the property of and may not be used  
by any means without the prior consent  
of Burbank Australia Pty Ltd.

The contractor is responsible for setting  
out and checking all levels and dimensions  
on site prior to commencing any work.

Figured dimensions are to be taken in  
preference of scaled dimensions.

**Internal Elevations**

**HOUSE TYPE** **FACADE**  
**Gilchrist 277** **Custom**

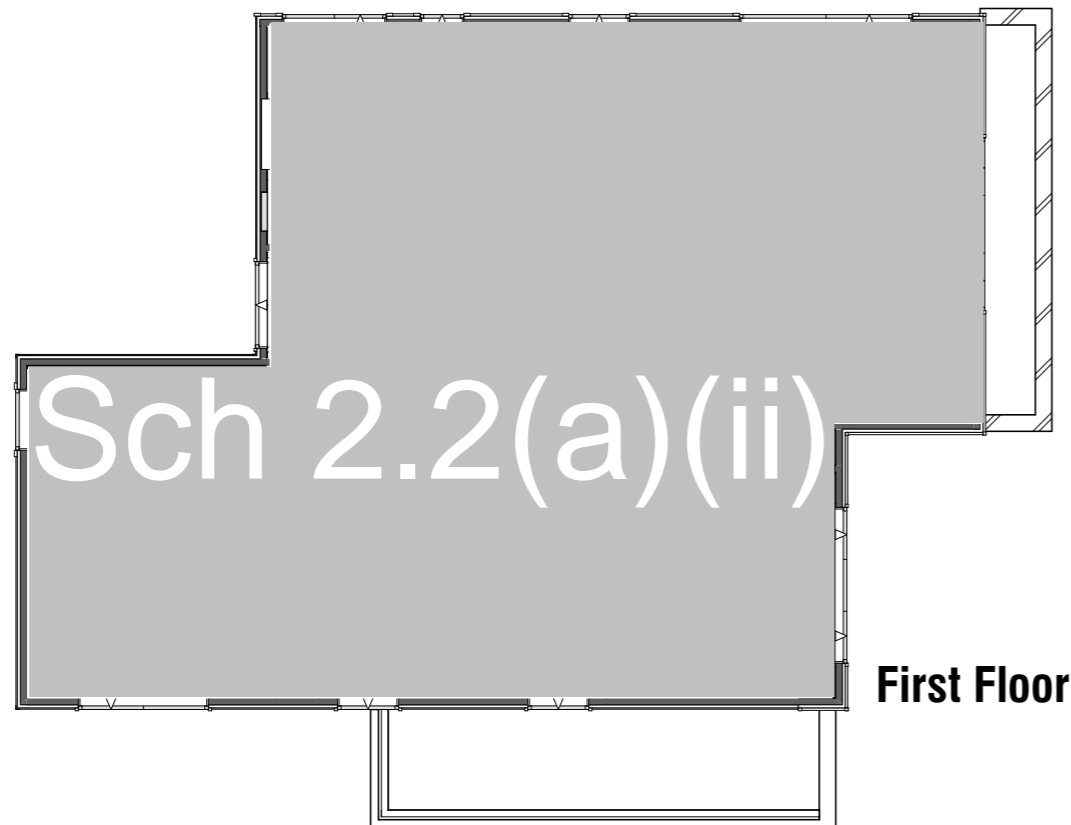
STATUS	Mast REVISION	SCALE
NEW HOME CONTRACT		1:100, 1:50

**PROJECT**

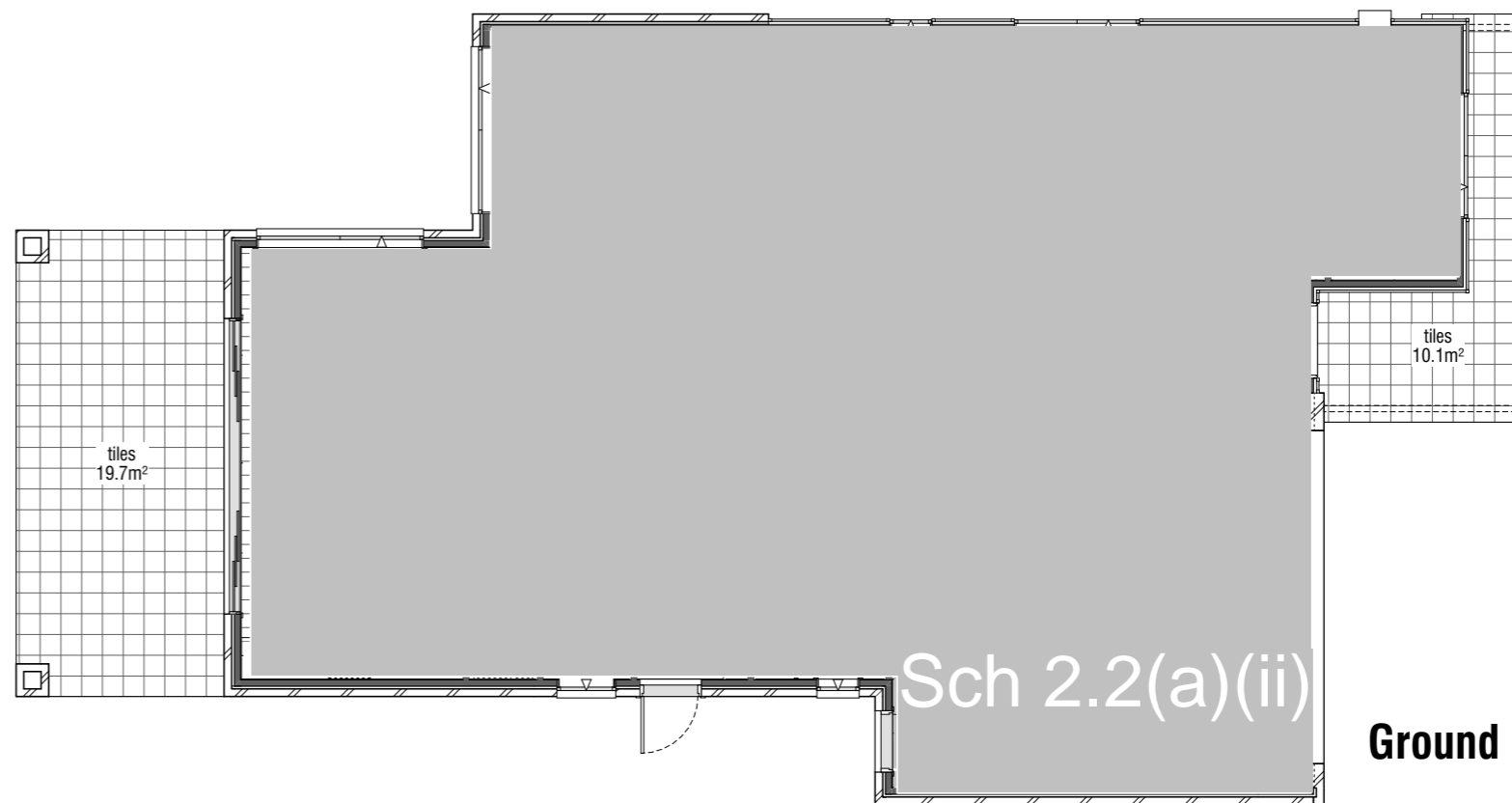
Sch 2.2(a)(ii)  
Blk 11 Sec 38 No. 30 Jim Bray Loop  
Macnamara Act 2617

JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.
<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>

**SHEET No**  
**05-3**  
**of 18**




**First Floor**



**Ground Floor**

NEW HOME CONTRACT SET





ArchCAD 28 - Last Saved 22/10/2025 by Suzan.Aykat

 <p><b>Burbank</b></p> <p>Address: Level 3/88 Phillip St, Parramatta NSW 2150 Email: build@burbank.com.au Phone: (03) 9328 0333 FAX: (03) 9328 0222</p> <p>ABN: 88 610 822 770. ACN: 610 822 770. BL: 295627C © COPYRIGHT REPRODUCTION IN PART OR WHOLE FORBIDDEN</p>	<p><b>CONTRACT</b></p> <p>I/ We ..... acknowledge that these plans are a true and accurate reflection of our requirements and agree that these drawings are the drawings referred to in the Major Domestic Building Contract between Burbank Australia Pty Ltd. and myself / ourselves.</p> <p>(Signed)..... Date..... (Signed)..... Date.....</p>		<p><b>LEGAL</b></p> <p>This drawing and information hereon is the property of and may not be used by any means without the prior consent of Burbank Australia Pty Ltd.</p> <p>The contractor is responsible for setting out and checking all levels and dimensions on site prior to commencing any work.</p> <p>Figured dimensions are to be taken in preference of scaled dimensions.</p>		<p><b>Floor Coverings Plan</b></p> <table border="1"> <tr> <td>HOUSE TYPE</td> <td colspan="2">FACADE</td> </tr> <tr> <td><b>Gilchrist 277</b></td> <td colspan="2"><b>Custom</b></td> </tr> <tr> <td>STATUS</td> <td>MAST REVISION</td> <td>SCALE</td> </tr> <tr> <td><b>NEW HOME CONTRACT</b></td> <td></td> <td>1:100</td> </tr> </table>			HOUSE TYPE	FACADE		<b>Gilchrist 277</b>	<b>Custom</b>		STATUS	MAST REVISION	SCALE	<b>NEW HOME CONTRACT</b>		1:100	<p><b>PROJECT</b></p> <p>Sch 2.2(a)(ii) Blk 11 Sec 38 No. 30 Jim Bray Loop Macnamara Act 2617</p>			<p><b>SHEET No</b></p> <p><b>05-4</b></p> <p><b>of 18</b></p>
	HOUSE TYPE	FACADE																					
	<b>Gilchrist 277</b>	<b>Custom</b>																					
STATUS	MAST REVISION	SCALE																					
<b>NEW HOME CONTRACT</b>		1:100																					
			<table border="1"> <tr> <td>JOB NUMBER</td> <td>JOB DATE</td> <td>JOB REV DATE</td> <td>JOB REV No.</td> </tr> <tr> <td><b>260328</b></td> <td>29/7/2025</td> <td>10/10/2025</td> <td><b>K</b></td> </tr> </table>	JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.	<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>												
JOB NUMBER	JOB DATE	JOB REV DATE	JOB REV No.																				
<b>260328</b>	29/7/2025	10/10/2025	<b>K</b>																				
			<p>please consider the environment before printing this sheet</p>																				

**Project Confidence.** We're with you full circle.  
ACT Inspection Record



## INSPECTION RECORD

Project Details:			
<b>Building Number:</b>	B20253494	<b>Project Number:</b>	C250535
<b>Suburb:</b>	Macnamara	<b>Project Description:</b>	Construction of New Dwelling, Garage, Porch & Alfresco
<b>Block:</b>	11	<b>Licenced Builder:</b>	Burbank Australia Pty Ltd
<b>Section:</b>	38	<b>Street Address:</b>	30 Jim Bray Loop
Inspection Details:			
<b>Inspection Stage</b>	Piers (Prior to pour)		
<b>Inspection Result</b>	Satisfactory (no issues) subject to documents being provided		
The following directions / comments are given to the licenced builder in order to achieve compliance:			
<p>1. Piers (Prior to pour)</p> <p>Ensure remaining piers are completed as per structural plans and changes to pier depths are reviewed by engineer. Ok to proceed following engineer instructions</p> <div style="display: flex; justify-content: space-around;">    </div> <div style="display: flex; justify-content: space-around; margin-top: 20px;">  </div>			

**Project Confidence.** We're with you full circle.  
ACT Inspection Record



Inspected by: Sch 2.2(a)(ii)	Sch 2.2(a)(ii)	McKenzie Group Consulting (NSW) Pty Ltd ABN: 53 093 211 995 COLA: 2013251	16 December 2025
<p><b>Note 1:</b> A visual inspection of a representative sample of the building work was undertaken from the floor level only and was found to be substantially in accordance with Section 42 of the Building Act 2004.</p> <p><b>Note 2:</b> The results of the inspection are based on the status of the building work at the time of inspection and do not cover works undertaken after the inspection or between inspection stages.</p> <p><b>Note 3:</b> It is the responsibility of the licenced builder to ensure all building works, including, but not limited to, the items identified during the inspection, are complete in a proper and skilful way.</p> <p><b>Note 4:</b> Consent to proceed does not relieve other parties of their responsibilities in ensuring compliance with relevant statutes.</p>			



**Project Confidence.** We're with you full circle.  
ACT Inspection Record



## INSPECTION RECORD

Project Details:			
<b>Building Number:</b>	B20253494	<b>Project Number:</b>	C250535
<b>Suburb:</b>	Macnamara	<b>Project Description:</b>	Construction of New Dwelling, Garage, Porch & Alfresco
<b>Block:</b>	11	<b>Licenced Builder:</b>	Burbank Australia Pty Ltd
<b>Section:</b>	38	<b>Street Address:</b>	30 Jim Bray Loop
Inspection Details:			
<b>Inspection Stage</b>	Slab (Prior to pour)		
<b>Inspection Result</b>	Satisfactory (no issues) subject to documents being provided		
<b>Structural Engineer Clearance</b>	Required		
The following directions / comments are given to the licenced builder in order to achieve compliance:			
<p>3. Slab (Prior to pour)</p> <p style="margin-left: 40px;">Ensure correct cover maintained to all reinforcement.</p>			
<b>Inspected by:</b>	<div style="border: 1px solid gray; padding: 5px; font-size: 2em; font-weight: bold; background-color: #ccc;">Sch 2.2(a)(ii)</div>	McKenzie Group Consulting (NSW) Pty Ltd ABN: 53 093 211 995 COLA: 2013251	15 January 2026
<p><b>Note 1:</b> A visual inspection of a representative sample of the building work was undertaken from the floor level only and was found to be substantially in accordance with Section 42 of the Building Act 2004.</p> <p><b>Note 2:</b> The results of the inspection are based on the status of the building work at the time of inspection and do not cover works undertaken after the inspection or between inspection stages.</p> <p><b>Note 3:</b> It is the responsibility of the licenced builder to ensure all building works, including, but not limited to, the items identified during the inspection, are complete in a proper and skilful way.</p> <p><b>Note 4:</b> Consent to proceed does not relieve other parties of their responsibilities in ensuring compliance with relevant statutes.</p>			

