



ACT
Government

Transport Canberra and
City Services

FREEDOM OF INFORMATION COVERSHEET

The following information is provided pursuant to section 28 of the *Freedom of Information Act 2016*.

FOI reference: 23-105

Information to be published	Status
1. Access application	Published
2. Decision notice	Published
3. Schedule	Published
4. Documents	Published
5. Additional information identified	Not Applicable
6. Fees	Not Applicable
7. Processing time (in working days)	38 days
8. Decision made by Ombudsman	Not applicable
9. Additional information identified by Ombudsman	Not applicable
10. Decision made by ACAT	Not applicable

11. Additional information identified by ACAT	Not applicable
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Freedom of Information - Access Application to Transport Canberra and City Services - Submission confirmation

Your submission has been successful. Please keep a copy of this receipt for your records.

Date and time

Reference code

06 Sep 2023 9:02:39 AM

W2WQGDF5

Transport Canberra and City Services (TCCS)

GPO Box 158
Canberra ACT 2601

Phone: 02 6207 2987
Email: TCCS.FOI@act.gov.au

Applicant details

Title

Given name

Family name

[REDACTED]

[REDACTED]

[REDACTED]

Preferred name

[REDACTED]

Preferred method of contact

Phone

Email

Post

Contact phone number

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Contact email address

[REDACTED]

Contact postal address

Address line 1

[REDACTED]

Address line 2

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Suburb

[REDACTED]

State

[REDACTED]

Postcode

[REDACTED]

Preferred method to receive information *

Email

Post

Same as contact email address

Information request

Who are you making the request on behalf of?

Myself

What type of information are you requesting access to? *

Other information

What information are you requesting access to under the Act? *

When the new park was proposed it stated that there was to be a path to the existing Point Hut Dog Exercise Area. The update of the new park has no mention of this connection and if the Point Hut Dog Exercise Area is to be closed and repurposed, will represent a massive reduction in a popular and well used local facility.

I request all documents including but not limited to emails, briefings, Teams messages and project plans relating to the future use of the Point Hut Dog Exercise Area, also its interaction with the new Lanyon Valley dog park and reasoning for creating a new park rather than updating the facilities at the Point Hut Dog Exercise Area.

Attach a description or additional details about the information you are requesting access to (optional)

Do you have a similar or identical request currently under review by another ACT Government Directorate?

Yes No

Are you enquiring as

A member of the public

Do you wish to apply for a waiver of fees associated with processing your application?

Yes No

Provide a statement about how the release of information is in the public interest (optional)

When the new park was proposed it stated that there was to be a path to the existing Point Hut Dog Exercise Area. The update of the new park has no mention of this connection and if the Point Hut Dog Exercise Area is to be closed and repurposed, will represent a massive reduction in a popular and well used local facility.

My request turns to the honesty and transparency of the discussion that has taken place with the public and the appropriate use of public monies.

Would you like to provide any additional information? (optional)

Attach additional documents to support your application (optional)



Dear 

Freedom of Information Request - Reference 23-105

I refer to your access application under the *Freedom of Information Act 2016* (FOI Act) received by Transport Canberra and City Services (TCCS) on 6 September 2023. It is my understanding that you are seeking access to following government information:

"I request all documents including but not limited to emails, briefings, Teams messages and project plans relating to the future use of the Point Hut Dog Exercise Area, also its interaction with the new Lanyon Valley dog park and reasoning for creating a new park rather than updating the facilities at the Point Hut Dog Exercise Area."

I thank you for liaising with our Information Access team on 17 October 2023 and providing clarification around interpreting the scope of your application. As agreed, a copy of your application has been provided to the Environment, Planning and Sustainable Development Directorate as the area responsible for the management of the Point Hut Dog Exercise area, and are best placed to answer any questions you have about its future use.

Timeframes

A decision is due on your access application by 2 November 2023.

Authority

I am an Information Officer appointed by the Director-General under section 18 of the Act to deal with access applications made under Part 5 of the FOI Act.

Decision on access

In accordance with the FOI Act, a search of TCCS records has been completed and ten records have been identified as relevant to your application. Upon reviewing the information within these records and applying the public interest test under section 17 of the FOI Act, I have decided to provide you with:

- Full access to two records; and
- Partial access to eight records.

I have refused to deal with your application under section 45 of the FOI Act where information is already available to you. These records relate to the Have Your Say consultation process and are available online at [ACT Government Your Say, Lanyon dog park location and design](#).

The records identified as relevant to your application are listed in the schedule enclosed at [Attachment A](#). A copy of the records with deletions applied to the information I have found to be contrary to the public interest is enclosed at [Attachment B](#). The reasons for my decision are detailed further below in the statement of reasons.

TCCS.FOI@act.gov.au | phone: (02) 620 72987 | www.act.gov.au

Statement of Reasons

In making my decision on disclosing the relevant government information, I must identify all relevant factors in schedule 1. I must also identify any information relevant to the factors set out under schedule 2 of the FOI Act and determine, on balance, where the public interest lies. I have also taken the following into account:

- The FOI Act generally; and
- The *Human Rights Act 2016*.

Schedule 1:

- No relevant sections identified.

Schedule 2:

Factors favouring disclosure in the public interest (Section 2.1)

- Schedule 2.1(a)(i) - promote open discussion of public affairs and enhance the government's accountability;
- Schedule 2.1(a)(ii) - contribute to positive and informed debate on important issues or matters of public interest;
- Schedule 2.1(a)(iii) - inform the community of the government's operations, including the policies, guidelines and codes of conduct followed by the government in its dealings with members of the community;
- Schedule 2.1(a)(viii) - reveal the reason for a government decision and any background or contextual information that informed the decision.

Factors favouring non-disclosure (Section 2.2)

- Section 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the *Human Rights Act 2016*;
- Schedule 2.2(a)(xiii) - prejudice the competitive commercial activities of an agency

In reviewing the relevant records, personal information relating to third parties, including information which is likely to identify a third party, has been identified. I have considered that this information is not readily available to the public and the disclosure of this information is likely to prejudice the protection of an individual's right to privacy under the *Human Rights Act 2004* and carries significant weight. I find this information is, on balance, contrary to the public interest to disclose.

Some records have been identified to contain financial information that relates to current government procurement processes. I have considered that this information, if disclosed, is likely to prejudice current competitive commercial activities and carries significant weight. I find this information is, on balance, contrary to the public interest to disclose.

I have found that the factors favouring disclosure can be satisfied with the deletion of information which is contrary to the public interest. A copy of the relevant information is enclosed at [Attachment B](#).

Charges

In accordance with [Freedom of Information \(Fees\) Determination 2018](#), a fee of \$0.35 per page of information disclosed, except for the first 50 pages, may be applied to an access application. I have not applied a fee to your application, as the total number of pages marginally exceeds this fee-free threshold.

Online publishing – disclosure log

Under section 28 of the Act, TCCS maintains an online record of access applications called a disclosure log. In accordance with section 28, your application, my decision and information

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disclosed to you will be published on the [TCCS Disclosure Log](#) within 3 – 10 business days. Your personal information, including information relating to your firm, will be removed from these documents prior to publication.

Ombudsman review

My decision on your access request is a reviewable decision as identified in Schedule 3 of the Act. You have the right to seek an Ombudsman review of this outcome under section 73 of the Act within 20 working days from the day that my decision is published in TCCS' disclosure log, or a longer period allowed by the Ombudsman. If you wish to request a review of my decision, you may write to the Ombudsman at:

The ACT Ombudsman
GPO Box 442
CANBERRA ACT 2601
Via email: actfoi@ombudsman.gov.au

ACT Civil and Administrative Tribunal (ACAT) review

Under section 84 of the Act, if a decision is made under section 82 on an Ombudsman review, you may apply to the ACAT for review of the Ombudsman decision. Further information may be obtained from ACAT at:

ACT Civil and Administrative Tribunal
Level 4, 1 Moore Street
GPO Box 370
CANBERRA CITY ACT 2601
Telephone: (02) 6207 1740
www.acat.act.gov.au

If you have any queries concerning the directorate's processing of your request, or would like further information, please contact the TCCS FOI team on (02) 6207 2987 or email to tccs.foi@act.gov.au.

Yours sincerely



Cherie Hughes
Information Officer

31 October 2023

ATTACHMENT A - ACCESS APPLICATION SCHEDULE, FREEDOM OF INFORMATION

Reference Number: 23-105

Please be aware that under the *Freedom of Information Act 2016*, some of the information provided to you will be released to the public through the ACT Government's Open Access Scheme. The Open Access release status column of the table below indicates what documents are intended for release online through open access.

Personal information or business affairs information will not be made available under this policy. If you think the content of your request would contain such information, please inform the contact officer immediately.

Information about what is published on open access is available online at: https://www.cityservices.act.gov.au/about-us/freedom_of_information/disclosure-log

Factors favouring non-disclosure:

Schedule 2.2(a)(ii) - prejudice the protection of an individual's right to privacy or any other right under the *Human Rights Act 2016*.

Schedule 2.2(a)(xii) - prejudice the competitive commercial activities of an agency.

Reference number	Page number	Description	Date	Status	Reason for non-release or deferral	Open Access release status
1	1 -16	202110 - BIF 2021-25 BUILD MORE DOGPARKS SOR	October 2021	Full access	Not applicable	Decision to be published on the TCCS Disclosure Log .
2	17 - 51	20210705 - BIF 2021-25 Build More Dog Parks Project Plan Approved	5 July 2021	Partial access	Schedule 2.2(a)(ii) Schedule 2.2(a)(xii)	
3	52	20211022 - Franklin and Lanyon Dog Parks_Telopea Park	22 October 2022	Partial access	Schedule 2.2(a)(ii)	
4	53 - 56	20211022 - Franklin and Lanyon Dog Parks_Telopea Park - Attachment	22 October 2022	Full access	Not applicable	

5	57 – 58	20220919 - BIF New Dog parks (Franklin and Lanyon) - site confirmation Lanyon	19 September 2022	Partial access	Schedule 2.2(a)(ii)	
6	59 – 60	20220919 - BIF New Dog parks (Franklin and Lanyon) - site confirmation Lanyon – Attachment	19 September 2022	Partial access	Schedule 2.2(a)(ii) Information is out of scope	
7	61 – 63	20220921 - Re_Lanyon Dog park proposal (2)	21 September 2021	Partial access	Schedule 2.2(a)(ii)	
8	64 – 133	20230214 - 22028 BUILD MORE DOG PARKS FINAL PSP DESIGN REPORT (LANYON)	14 February 2023	Partial access	Schedule 2.2(a)(ii)	
9	134 – 139	20230522 - RE_ Proposed Lanyon Dog Park	22 May 2023	Partial access	Schedule 2.2(a)(xii)	
10	140 - 150	20230823 - Re_Proposed Lanyon Dog Park	23 August 2023	Partial access	Schedule 2.2(a)(ii) Schedule 2.2(a)(xii)	
Total number of documents: 10						

CONSULTANT STATEMENT OF REQUIREMENTS

Better Infrastructure Fund (BIF) 2021-25

**BUILD MORE DOG PARKS – Lanyon and
Franklin**

October 2021

CLIENT AGENCY

INFRASTRUCTURE DELIVERY - TRANSPORT CANBERRA & CITY SERVICES

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ACKNOWLEDGEMENT OF COUNTRY

Transport Canberra and City Services (TCCS) acknowledge that Aboriginal people are the Traditional Owners of Australia.

We acknowledge and pay respect to the Ngunnawal peoples as the custodians of the land and waters that we live and thrive on today here in the ACT.

TCCS acknowledge that Canberra's cultural and natural heritage was maintained by the Ngunnawal people for many generations before colonial settlement on Australian soil.

Aboriginal people's management of the land and waters preserved the natural balance of culture, flora and fauna. This knowledge of the environment in which we live is critical to the protection and restoration of our nations land today.

It is our responsibility to preserve and encourage Aboriginal and Torres Strait Islander cultural integrity. When using this document, consider opportunities to incorporate Ngunnawal, Aboriginal and Torres Strait Islander culture into the designs for the two new dog parks.

1.0 BACKGROUND

Dog owners and their dogs represent a significant proportion of patrons using public spaces. In addition to regular exercise, it is also important that dogs in public spaces are managed to reduce user conflict and provide quality recreational opportunities for all sectors of the community.

The ACT Government has undertaken extensive engagement with the community on responsible dog ownership and dog parks provide a safe environment for members of the community to allow their dogs off-lead. Fenced dog exercise areas contribute to the effective management of dogs in public spaces by providing controlled space where dogs can freely exercise and play. They also assist in alleviating the pressure on shared recreational areas. In addition, as dog ownership increases the provision of suitable public facilities to support positive animal welfare is required.

Currently fenced dog parks are available at several locations around the ACT. This initiative seeks to complete the design and construction of two new dog parks located on government owned sites in the Lanyon valley and Franklin.

The key outputs of this project will be delivered incrementally and will be priced accordingly. Outputs will include a **Feasibility Study** that thoroughly investigates requirements, documents opportunities and challenges, and makes recommendations for achievable dog parks. **Site investigations** and **concept plans** must support the study. From the **Feasibility Study** two locations (one in Gordon (Lanyon) and the other in Franklin) will progress through to **Preliminary design**. The **Preliminary design** for works identified as feasible within the budget and available for construction is to be carried through to **detailed design** and **construction ready drawings**. **Cost estimates** that reflect the identified needs, site conditions, current market prices are to be provided at each design phase. **Construction tender preparation** and **construction supervision** are to be optional extras.

2.0 PROJECT FUNCTION

This project will plan and design improvements that will enhance public space recreation infrastructure and amenity for both dogs and their users.

This is in keeping with the ACT Government intent to improve recreation facilities throughout Canberra and to improve the health of its residences. As well as its intent to improve off leash areas for dogs to recreate and socialise in, while also improving animal welfare and enhancing patronage at Canberra's enclosed dog parks

Funding has been allocated for design and construction. Upon completion of this design stage, construction is expected to follow in 2022-23 / 2023-24.

3.0 PROJECT DESCRIPTION

This project involves identifying feasible design options, developing, and finalising these with reference to the outcomes of community and government stakeholder consultations and site investigations. Preparation of construction tender documents and construction superintendence services to be included.

In summary the project requires:

Better Infrastructure Fund 2021-25: BUILD MORE DOG PARKS

1. Feasibility Study (FS) that includes:
 - a. supporting site investigations, survey, and necessary due diligence
 - b. concept plans
 - c. targeted consultation with public and government stakeholders
2. Preliminary Sketch Plans (PSP) and report for works identified as feasible to deliver within the funds allocated to construction that includes:
3. Consultation with government stakeholders and Public consultation on the PSP
4. Detailed Design – Final Sketch Plans (FSP) and report for the feasible works
5. Construction ready drawings (DR)
6. Construction cost estimates for all design phases
7. Itemised fee proposal for
 - a. Feasibility Study (FS),
 - b. Preliminary Sketch Plans (PSP), noting that Lanyon will only proceed from FS with one site.
 - c. Final Sketch Plans (FSP) and Construction ready drawings (DR) broken up by site.
 - d. Construction tender document preparation and construction superintendent services – as separable services.

Consultant general requirements

Consultant to:

1. Participate in a scoping workshop with the Client and other relevant stakeholders to:
 - a. confirm project scope, interdependencies, staging and risks to implementation.
 - b. inform design and future works.
2. Engage all necessary expertise to conduct site investigations, develop design and inform construction. In particular consider:
 - a. Spatial and functional relationships to the nearby residential housing, access and existing private/public recreational services and amenity.
 - b. Drainage, stormwater flows and sub-surface conditions that may constrain design and construction implementation.
 - c. Full planning and land use context.
 - d. Planning requirements and approvals thoroughly investigated so that design recommendations are feasible and appropriate for current or proposed land use.
 - e. Relationship to public transport and other travel infrastructure.
 - f. Pedestrian and cycle path connectivity.
 - g. Engaging an access consultant for preliminary advice and design review.

Better Infrastructure Fund 2021-25: BUILD MORE DOG PARKS

3. Identifying necessary approvals and lead times for gaining these; include recommendations for planning and works implementation with reference to these requirements.
4. Preparing a feasibility study report and designs that clearly show the outcomes of investigations and consultations. Noting there are three site options in Lanyon that require consideration to inform a decision on which site is most appropriate.
5. Preparing preliminary design, detailed design and construction ready drawings with reference to the feasibility study concepts and findings. Concept design phases are to be workshopped early with the Client and key stakeholders to ensure the identified objectives are achieved, priorities agreed and works enabled to be delivered and maintained over time.
6. Preparing a PSP report and designs that clearly show the outcomes of investigations and consultations, and concept options.
7. Preparing detailed design and construction ready drawings with reference to the PSP outcomes and ongoing consultation.
8. Ensure that:
 - a. Design proposals accord with the relevant Standards and Guidelines.
 - b. Qualified and experienced expertise provide all necessary input to engineering, lighting, landscaping, accessibility, drainage, traffic movements and other components of the design.
 - c. *Safety in Design* workshops are undertaken.
9. Identify and show services alignments in relation to design proposals that demonstrate that full consideration has been given to construction feasibility.
10. Identify approvals, authorisations and processes that will/may be required to implement future works.

Key considerations

1. Design that is cohesive, functional, structurally sound, creative, durable, cost effective to construct and to maintain over time, to a quality commensurate with the standard of the two sites.
2. Flexible, inclusive and attractive enclosed spaces with accessible paths and recognisable entry points.
3. Connectivity between the Dog Park entrances, local path networks and parking opportunities.
4. Opportunities to enhance recreation infrastructure, dog agility equipment, green spaces (sprinklered), open spaces, seating, shade structures and other landscape; include water sensitive urban design and climate change mitigation strategies where feasible.
5. Identification of the approvals, authorisations, and processes necessary for design approval and construction.

6. Scheduling that allows sufficient time for approvals and authorisations to enable project progress to the agreed milestone timing.
7. Design with potential for construction staging and staging plan that also identifies works achievable within the budget available for construction.
8. Identification of access requirements and temporary traffic management requirements for construction.
9. Identification of possible Inclusion of Aboriginal and Torres Strait Islander culture, community and/or Indigenous Business into your project
10. Opportunities for Aboriginal and Torres Strait Islander contribution in the design of functional elements, screening, artwork or plantings.

4.0 LOCATION

The ACT Government has made commitments to provide two new dog parks located on government owned sites in the Lanyon valley and Franklin. Three sites have been identified in Gordon as possible locations for the Lanyon valley dog park and one in Franklin. Feasibility Study will be undertaken on all sites to identify the preferred option to be carried to Preliminary Sketch Plans and beyond.

Lanyon (Gordon)



Figure 1 Gordon Dog Park Precinct location plan, Not to Scale- Sites are in red

Site 1A

Site 1A is currently on Environment, Planning and Sustainable Development Directorate (EPSDD) leased land. The block is currently used as an unofficial off leash dog park and is designated as an off-leash area by TCCS. Currently the general public are accessing the site off Woodcock Drive and walking over the Bicentennial National Trail into the fenced area. Key considerations for this site are parking, safe vehicular access, and egress, weed eradication and access to water. It is expected that a dog park of 5,000 - 7,000 m² would be appropriate in this location.

A dog park in this location would be expected to include:

- Car parking for 8-16 car;
- A water station;
- Bin;
- Access gates and air lock style gating; and
- Comply with current TCCS standards.

Site 1B

Site 1B sits southeast of site 1A and straddles both EPSDD and TCCS leased land. Currently the land is unused but for a small incursion of the Bicentennial National Trail to the west. Key considerations for this site are parking, safe vehicular access, and egress, weed eradication and access to water. It is expected that a dog park of 6,000 - 8,000 m² would be appropriate in this location.

A dog park in this location would be expected to include:

- Car parking for 8-16 car;
- A water station;
- Bin;
- Access gates and air lock style gating; and
- Comply with current TCCS standards.

Site 2

This site sits to the north of the Point Hut Pond District Park and is bounded by Point Hut Pond to the north and west, the District Park to the south and McGilvary Close to the east. The land is relatively flat with a slight decline from the road and carpark to the edge of the pond. It is expected that the approximate size of this dog park will be between 4,000m² and 5,500m². Careful consideration will need to be given to the close proximity of housing and the visual interruption and noise generated by the dogs.

A dog park in this location would be expected to include:

- A water station;
- Bin;
- Accessible path network or loop;
- Access gates and air lock style gating; and
- Comply with current TCCS standards (size excluded).

Franklin

The proposed site for the Franklin dog park is situated on Block 2 and 3, Section 57 Franklin, close to both Franklin Primary School, and Franklin District Park. The land is relatively flat with a

slight decline from the north to the south. It is expected that the approximate size of this dog park will be between 3,000 - 4,000m². TCCS has been advised that ICON water have future plans to utilise the southeast length of the block for a tank. This would be consistent with the dog park use on the remainder of the site and negates the opportunity for future residential development of this block

A dog park in this location would be expected to include:

- Car parking for 8-16 car;
- A water station;
- Bin;
- Access gates and air lock style gating; and
- Comply with current TCCS standards (size excluded).



Figure 2 Franklin Dog Park Precinct location plan, Not to Scale- Site is in red

Refer to the Territory Plan to clarify and confirm land use, land ownership, zoning, land release and cadastral information to ensure the most current information capture when preparing the feasibility study and design proposals.

5.0 PROJECT REQUIREMENTS

Project team

The consultant must convene and coordinate a suitably experienced, qualified, and certified multidisciplinary team that comprises resources from the variety of disciplines essential to delivering this project. These include civil and Landscape Architects, access and mobility services and cost planning. Other fields of expertise may be required and must be clearly identified.

Scope of services

The consultant must:

- * Record minutes and maintain records of all meetings relating to the project and distribute as appropriate to the relevant parties within three days of meeting.
- * Provide brief weekly email reports itemising works undertaken in that week and work to be undertaken the following week.
- * Provide all documentation relating to the deliverables of the project and administer the project to completion.
- * Identify critical risks and issues as these arise and propose mitigation.
- * Participate in meetings with government stakeholders and presentations to key community stakeholder representatives as outlined in the communications section of this brief.

General requirements

Standards: Concept plans must reference the most current AS/NZS Standards. Durable and cost-effective long-term maintenance features to be proposed; check at time of design to ensure the current TCCS Standards and Technical Specifications are used.

Note: Exceptions to Standards to be clearly justified, agreed and highlighted in plans, reports and other relevant documents.

Approvals: The necessary approvals, authorisations and licences must be identified as early as possible with risks to the project identified; provide an itemised schedule for obtaining the above in the draft project program

Services: Liaison with relevant authorities and services stakeholders is essential throughout the project to ensure compliance with service provider requirements. Feasibility and design stages must include services alignments to show that:

- * Clearances have been specified as required for the identified services.
- * Due diligence has been undertaken to minimise risk of adverse impact on other services and infrastructure.

Design and plans must clearly show services alignments in relation to design proposals and demonstrate that required clearances have been specified.

Lighting: Lighting for function and ambience in use areas and pathways to enable safe access, use and security for night-time users. Note Dog Parks are not normally light at night. Although both these sites are in close proximity to existing infrastructure. A continuation of the existing lighting systems is expected.

Schedule: The potential for indirect costs and schedule delays due to extended procurement lead times and risks associated with long distance deliveries and imported products must be considered early and risks mitigated when specifying materials.

Survey and Site Investigations: Survey requirements to be identified early in the PSP designs. Survey must be by registered surveyors, with the level of detail necessary to inform design, ensure constructability; manage uncertainty in high-risk locations and minimise risk of scope change during future construction. Survey to include but not be limited to identifying:

1. Above and underground services and sub-surface conditions as accurately as possible.
2. Locations where drainage and soil profile are an issue.
3. High risk areas of the project site that may need geotechnical or other investigations. The consultant is to advise if such work is needed. Client approval to be given before such work takes place.
4. Tree survey and tree assessment requirements
5. Interface with adjacent buildings, car parks, roadways, private lease boundaries and drainage.
6. Service lid checks to identify possible replacement needs and costs.
7. Technical and practical requirements likely to influence design and construction, such as infill quantities needed to accommodate grade changes or replace unsuitable sub-grade.

A Survey Brief is available from TCCS. Survey to be presented in *dwg.* and *pdf.* formats
Tenders to include provision sums for survey.

Program: Include a draft project implementation program in the tender submission. This should demonstrate an understanding of project deliverables and their interdependencies as well as show that the project will be completed within the scheduled timeframe. Time to be allowed for workshops, consultations, and materials procurement lead times.

Design: Before plans are presented for Client and stakeholder review, suitably qualified and experienced expertise must confirm that:

- * Design meets the relevant Standards and Guidelines for access and mobility.
- * Qualified and experienced expertise has provided the necessary input to engineering, lighting, landscaping, and other components of the design.
- * Design is fully integrated with recent public space and paths at each site this includes pedestrian networks, community routes and accessible pedestrian routes.

6.0 DELIVERABLES

Prepare plans, presentation materials, reports, and cost estimates so that these are clear, legible and in formats suitable for public display, media release as well as website and hard

copy media reproduction as relevant. 3-D visualisation to be provided. Accessible formats must be used whenever possible.

The following are required:

1. **Feasibility study** – Feasibility Study and that identifies opportunities, limitations and risks for potential the new dog parks; achievable concept design options within the allocated construction budget, construction staging plan and recommendations for priority design and construction. Plans in *dwg.* & *pdf.* formats.
2. **Preliminary design** – develop concept plans to PSP for priority works identified as achievable and agreed with the Client and with reference to public and government stakeholder consultations. **Draft PSP** for stakeholder review. **Final PSP** incorporating agreed changes. Include section views and one (1) perspective view. Plans in *dwg.* & *pdf.* formats.
3. **Detailed design** – develop FSP to a standard of detail suitable for TCCS *Design Approval*, and *Development Application* submission if required. Design to be the best quality achievable within the identified construction budget. Show how the design responds to the outcomes and priorities of the public and government stakeholder consultations as well as the site conditions. Include section views one (1) perspective view. **Draft FSP** for stakeholder review and **Final FSP** with agreed changes. Plans in *dwg.* & *pdf.* formats.
4. **Construction drawings** – DR prepared for works to be delivered in 2022-23 / 2023-24. Draft Traffic Control Devices plan (TCD) and draft Temporary Traffic Management Plan (TTMP) to be included. **Draft DR** for review and **Final DR** Plans in *dwg.* & *pdf.* formats.
5. **Presentation material** is required to inform consultations and present outcomes at concept, draft and detailed design phases.to:
6. **Reports: Draft** and **final** design reports with sub-consultant reports appended are required at Feasibility, PSP and FSP project phases. *Word* and *pdf.* formats. Include as relevant:
 - Summary and analysis of investigations; design process and approvals status.
 - Justification for all design features that deviate from Standards.
 - Recommendations for construction staging.
 - **Note any unresolved matters and identify exclusions.**
 - Tabulate responses to stakeholder comments in order of importance; show how concerns have been addressed in the design or give reasons for not doing so.
7. **Cost estimates** – itemised cost plans are to accompany all draft and final design submissions; revisions of the cost plan may be required. *Excel* and *pdf.* format.

Cost plans must:

- Reflect rates and market conditions at time of preparation
- Be revised together with the design if this is needed to bring scope within a feasible construction budget.
- Include construction contingency sum commensurate with the relevant design stage and identified risks as documented in the project delivery risk plan. Provision for approvals fees to be included as relevant.

- Include Provisional Sums for survey/testing; asbestos removal, unsuitable sub-grade removal and other items and works where final costs are uncertain
- Escalation and GST to be shown in the price summaries.

7.0 CONSULTATION / COMMUNICATION

Consultation

Government and utility consultation is required. Firstly, to inform for the project and secondly, to present designs for review and/or information.

The Consultant for this project will participate in the consultation meetings itemised below and engage directly with asset and/ or utility owners, other government stakeholders and public stakeholder representatives as required for a fully informed design outcome.

DESIGN STAGE	GOVT. STAKEHOLDERS	PUBLIC CONSULTATION	CONSULTANT COMMITMENT
Feasibility – Gather information.	1.0 hour	TCCS Website update	<ul style="list-style-type: none"> • Govt stakeholder meeting
PSP- Draft presentation and review	1.5 hour		<ul style="list-style-type: none"> • Govt stakeholder meeting - design development
FSP – Design Approval review	2:00 hours	TCCS Website update	<ul style="list-style-type: none"> • Govt stakeholder meeting • Allow 10 DAYS for review & comment
DR - Asset Manager review			<ul style="list-style-type: none"> • Allow 10 DAYS for DR circulation

The consultant will prepare materials and conduct the presentations for TCCS convened stakeholder consultation meetings to inform the project and review draft design. Presentation material for the public consultations may also be required.

Liaison with relevant authorities and services stakeholders will be required throughout to ensure proposals are feasible and comply with requirements. The consultant will also:

- seek regular clarification to ensure design meets the agreed expectations, requirements and standards. Such consultations may be in the form of targeted meetings, telephone liaison or correspondence.
- liaise, consult and provide regular progress updates throughout the life of the project.

Regular and ongoing communication within the project team will be required for the duration of the project.

The project communication and reporting schedule will be confirmed at project inception.

8.0 PROJECT ACCEPTANCE AND HANDOVER REQUIREMENTS

The consultant shall refer to the most current TCCS Reference Documents for design approval requirements, drawing standards and handover requirements. The requirements and procedures for handover to be addressed and re-confirmed at the construction phase of the project. Discussions with TCCS and IDP must take place and alternative approaches agreed if divergence from requirements is deemed necessary or would improve project outcomes.

9.0 CRITICAL DATES

The indicative program below may need to respond to current and ongoing delays due to Covid-19 restrictions and attendant changing circumstances.

The feasibility and design component of this project is scheduled to be completed in September 2022. The consultant is to propose a program to meet this delivery date with reference to the program below and potential for Covid-19 related delay.

Key Deliverables		Target Date
Design and Construction		
Tender Phase	Design tender release	Feb 2022
	Design tender close	Mar 2022
	Design tender Evaluation	Apr 2022
	Consultant engaged & start-up meeting	May 2022
DESIGN Feasibility & PSP	Site investigations / survey completed	May 2022
	Consult 1 - Government stakeholders	May 2022
	Feasibility study and concept plans completed	Jul 2022
	Draft PSP completed	Aug 2022
	Targeted public stakeholder consultations commenced	
	Draft PSP completed	Aug 2022
	PSP completed	Sep 2022
DESIGN FSP & DR	FSP commenced	Sep 2022
	Draft FSP (detailed design) finalised for <i>Design Approval</i>	Sep 2022
	Consult 2 - Government stakeholders – Design Approval review completed	Sep 2022
	Targeted public stakeholder consultations complete	Oct 2022
	FSP finalised	Oct 2022
	DR commenced	Oct 2022
	Construction ready drawings (DR) including technical check completed	
Construction Tender	Construction tender released	Oct 2022
	Construction tender closed	Nov 2022
	Construction tender evaluation	Dec 2022

Construction	Start up meeting	Jan 2023
	Construction commences	Feb 2023
	Construction complete	Jun 2023
	Project close - WAE	Jun 2023
	DLP complete	Jun 2024

Note:

¹ Milestone dates may be adjusted within this timeframe in consultation with the Client if the changes are expected to improve project delivery and outcomes.

⁴ Key consultation milestones are included to show how these relate to the overall program.

10.0 PROJECT MEETINGS AND REPORTING

Progress meetings will be held every two weeks unless otherwise agreed at project inception.

Reporting will be via the meeting minutes and weekly email updates. Include at a minimum:

- * WHS report
- * Work completed
- * Future work
- * Issues / risks update noting that if these must be reported to the Client ad IDP immediately and not be limited to the minutes.
- * Variations: potential, pending or approved. Note that all variation proposals must be approved by the Client before implementation.
- * Program update
- * Finance and claims update

11.0 PROJECT QUALITY REQUIREMENTS & STANDARDS

Unless otherwise specified in the project brief, the concept plans for this project must be completed in accordance with the following reference documents and Standards.

- AS/NZS www.standards.com
- *Municipal Infrastructure Standards (ACT)*
- *Municipal Infrastructure Technical Specifications (ACT)*
- *Municipal Design Standard Drawings (ACT)*
- *TCCS Drafting Standard*
- *TCCS Reference Document*
- *Standard Technical Exception Clauses Land Development*
- *Active Living Principles*
- *Universal Design Principles*
- *Water Sensitive Urban Design (WSUD) guidelines*
- *Crime Prevention Through Environment Design (CPTED) principles*
- *National Security Requirements in line with Australia's Strategy for Protecting Crowded Places from Terrorism*
- *National Construction Code*

- *ACT Planning Guidelines for Access and Mobility - ACT Government 200*
- *All other relevant Standards, Codes, Policies and Guidelines currently in force on the ACT*
- *Guidelines for Incorporating Aboriginal and Torres Strait Islander culture, community and Indigenous Business into TCCS Operations; and*
- *ACT Aboriginal and Torres Strait Islander Agreement 2019-2028*

The TCCS Municipal Infrastructure Standards reference other standards and guidelines. The TCCS-ID project manager is to be advised if an alternative to a Standard is recommended for acceptance and justification is to be provided before this is agreed.

12.0 REFERENCES

Consultants are encouraged to refer to the following information. The list is not exhaustive and other references may usefully inform this project.

- * *ACT Crime Prevention and Urban Design Resource Manual 2000*
- * *ACT Climate Change Adaptation Strategy 2016*
- * *Work Health and Safety Act 2011*
- * *Government Procurement Act 2001*
- * *Environment Protection Act 1997*
- * *Planning and Development Act 2007*
- * *Active Living Principles*
- * *Water Sensitive Urban Design (WSUD) Principles*
- * *ACT Planning Strategy 2015*
- * *Active Living Principles*
- * *Active Travel Practitioner's Tool <http://activeinfrastructure.net.au/practitioner-tool/index.php>*
- * *Draft CBR Cycle Routes plan Building and Integrated Transport Network – ACT Government 2015*
- * *ACT Planning Guidelines for Access and Mobility - ACT Government 2001*
- * *Outdoor Cafes in Public Places Policy - ACT Government 2001*
- * *The Canberra Spatial Plan - ACT Government 2005*
- * *The Canberra Plan - ACT Government 2005*



ACT
Government

Transport Canberra
and City Services

Better Infrastructure Fund 2021-25

Build More Dog Parks

Project Plan

Version No: 0.3 - 05-07-2021

Copy: Uncontrolled

Acknowledgements

This document has been derived from a template prepared by the Department of Premier and Cabinet, Tasmania.

Document Development History

Build Status:

Version	Date	Author	Reason	Sections	
0.1	26/05/2021	K. Ivancic G Diamand	Initial	ALL	
0.2	18/06/2021	K. Ivancic	Additional project added - \$300k refurbishment	Sections 1, 2, 5.1.5, 5.1.10	
0.3	05/07/2021	O.Earl	Final IP edits	1 and 2	
0.4	19/07/2021	R.Henty	Final draft for review	All	
0.5	16/08/2021	S.Clement	Review	All	

Amendments in this Release:

Section Title	Section Number	Amendment Summary
		This is the first release of this document.

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Term	Definition
Senior Responsible Officer (SRO) (Deputy Director General responsible for the Infrastructure Delivery Branch)	The Senior Responsible Officer is ultimately accountable for the program ensuring that it meets its objectives and realises the expected benefits. The individual who fulfils this role should be able to lead the program with energy and drive and must be empowered to direct the program and make decisions. They must have enough seniority and authority to provide leadership to the program team and take on accountability for delivery.
Project Sponsor (Executive Branch Manager responsible for the asset owner or business unit to receive the deliverables).	Project Sponsor is <ul style="list-style-type: none"> • responsible for specifying the benefits upon which the business case is approved; • ensuring the desired outcome of the project is specified; • ensuring that the expected benefits (derived from the project's outcomes) are realised; and • Providing actual versus forecast benefits at the benefit's reviews.
Asset Owner (Director/ Executive Branch Manager responsible for the maintenance and use of deliverables)	The Asset Owner is responsible for managing the project outputs (deliverables) for utilisation by the operational areas. The Asset Owner must be satisfied that the project includes all of the outputs necessary for outcome/benefits realisation. Each output must be specified and delivered fit-for-purpose. During the development of the project outputs, the Asset Owner may also be required to contribute resources to the project, in order to ensure that the outputs are being developed to the requirements. This involvement is continuous from the early conceptual stages through to reviewing and/or testing the completed products.

The following delegates are to be included when uploading a contract into PMARS.

**PMARS CONTRACT DELEGATES
CITY SERVICES AND WASTE**

Name	PMARS Role
Jim Corrigan	Approver
Bruce Fitzgerald	Approver
Jeremy Smith	Approver
Carl Dias	Approver
Michael McGrath	Approver
SophieJ Clements	Approver
Nick Taylor	Approver
Richmond Henty	Endorser
Jayde Hayman	Endorser
Slawek Makula	Endorser

Additional Information:	
Ministerial Portfolio	Minister for Transport
Name of Government Priority	Public realm and playgrounds
Project Numbers EBS (Oracle)	30751
PMARS Parent / Child information	N/A

Project Plan Approval

Date approved	<i>September 2021</i>
Date effective	<i>September 2021</i>
Project Plan Expiry Date	<i>On completion of the project</i>
Approved by	Senior Responsible Officer (SRO) (Executive Director)

Delivery/Procurement Method

There will likely be multiple design consultancies and construction tenders therefore final procurement models will be decided in consultation with Infrastructure Delivery Partner (IDP). It is anticipated that design and construction services will be procured via either Select Tender for a minimum of three quotes or Public Tender.

The Procurement Method has been checked and the Project Plan is approved by the SRO.

Jim Corrigan
Deputy Director-General, City Services
Senior Responsible Officer
Date: *<insert date>*

1 Overview

1.1 Purpose of Project Plan

The Project Plan is the high-level management document for the project. It is owned by the Project Sponsor. It is maintained and utilised by Infrastructure Delivery (ID) to ensure the delivery of defined project outcomes.

The document will be reviewed and amended to meet changed conditions or objectives during the project’s life span. These changes are initiated by the Project Manager in consultation with IDP and the Asset Owner endorsed by the Project Sponsor and Steering Committee where appropriate and approved by the Senior Responsible Officer (SRO).

1.2 Project Title

Build More Dog Parks

1.3 Project Initiation

The total funding for this BIF project over four years is \$2.1 million.

The project was initiated following a 2020 Election Commitment by the ACT Government for the design and construction of two new dog parks, one in Lanyon and the other one in Franklin. The total allocation for these two new dog parks is \$1.8 million. The funding profile is shown in table 1 below, however it is expected that Infrastructure Delivery (ID) will accelerate the construction phase of the new dog parks in Lanyon and Franklin. The actual spend over the four years for the project will be forecast based on project delivery methodology. It is expected that funds will be brought forward across the four years to match the actual delivery timeframes.

In addition \$300,000 has been allocated for the refurbishment of the Casey and O’Conner dog parks. This component of the program is to start and finish in the 2022-2023 financial year as shown.

Financial Impacts Summary¹	2021-22	2022-23	2022-23	2023-24	Totals
	\$’000	\$’000	\$’000	\$’000	\$’000
New Dog Parks (Lanyon and Franklin)					1,800
Dog Park Refurbishment (Casey and O’Connor)					300

1.4 Background

Dog owners and their dogs represent a significant proportion of patrons using public spaces. In addition to regular exercise, it is also important that dogs in public spaces are managed to reduce user conflict and provide quality recreational opportunities for all sectors of the community.

The ACT Government has undertaken extensive engagement with the community on responsible dog ownership and dog parks provide a safe environment for members of the community to allow their dogs off-lead. Fenced dog exercise areas contribute to the effective management of dogs in public spaces by providing controlled space where dogs can freely exercise and play. They also assist in alleviating the pressure on shared recreational areas. In addition, as dog ownership increases the provision of suitable public facilities to support positive animal welfare is required.

Currently fenced dog parks are available at several locations around the ACT. This initiative seeks to complete the design and construction of two new dog parks located on government owned sites in Lanyon and Franklin, as well as undertake the refurbishment of existing dog parks in Casey and O'Connor.

Election commitment references:

LAB 018	Dog Parks - Lanyon	Build more dog parks, including a facility in Lanyon	Andrew Barr Facebook
LAB 068-c	Plan for Gungahlin - Dog Park in Franklin	Deliver a new dog park in Franklin.	https://www.actlabor.org.au/blog/act-election-announcements/labor-s-plan-for-gungahlin/

2 Objectives and Scope

2.1 Project Objective (s)

The project objectives to be delivered are:

- to provide sufficient dog parks that meet the expectations of the community
- to support the management of responsible pet ownership
- to consider whole of life asset management
- Improved amenity and safety for dogs and their owners at Canberra's fenced dog parks
- Improved experience for dogs and their owners using Canberra's fenced dog parks

2.2 Project Outcomes /Benefits

The project is expected to deliver the following outcomes and benefits:

- Additional amenity for dogs and their owners at Canberra's fenced dog parks, through provision of the (two) new facilities along with the refurbishment of (two) existing facilities.

2.2.1 Target Outcomes/Benefits

The project is expected to deliver the following outcomes and benefits:

Outcomes

- Rectification of hazards and improved amenity for dogs and their owners at Canberra's existing enclosed dog parks
- Improved experience for dogs and their owners using Canberra's existing enclosed dog parks

Benefits

- Two additional off leash areas for dogs and their owners to recreate and socialise
- Improved off leash areas for dogs to recreate and socialise
- Removal of potential hazards to improve safety for dogs and their owners
- Improved animal welfare and improved patronage at Canberra's enclosed dog parks

Target Outcomes/Benefits Measurement

Table 1 - New Dog Parks

Target Outcome/Benefits	Performance Indicator	Measure	Baseline	Target Level	Completion Date	Accountability
1. Additional (dog) facilities at Lanyon and Franklin for the ACT community to enjoy	Community Satisfaction	Local community satisfaction with the facility	TBD through community consultation process	Sustained satisfaction	June 2025	Project Director / Manager
2. Additional (dog) facilities at Lanyon and Franklin for the ACT community to enjoy	Number of enclosed dog parks in the ACT	Number of existing enclosed dog parks	Currently 7 parks	+2 (9 total dog parks)	June 2025	Project Director / Manager
3. Deliver on-time and within budget.	Project completion date and expenditure and completion.	Compare with target date and cost.	Date: refer to Section 2.8.2 Error! Reference source not found.. Cost: refer to Section 3 Error! Reference source not found..	No project delay and deliver scope within funding allocation.	June of the financial year for which the project commences.	Infrastructure Delivery.
4. Satisfy the relevant design standards and specifications.	Compliance.	The number of non-compliance not agreed with the asset owner.	N/A.	No non-compliance to standards unless deviation is agreed with the asset owner.	June of the financial year for which the project commences.	Infrastructure Delivery.

Table 2 - Refurbished Dog Parks

Target Outcome/Benefits	Performance Indicator	Measure	Baseline	Target Level	Completion Date	Accountability
1. Additional / improved (dog) facilities at Casey and O'Connor for the ACT community to enjoy	Community Satisfaction	Local community satisfaction with the facility	TBD through community consultation process	Sustained satisfaction	June 2025	Project Director / Manager
3. Deliver on-time and within budget.	Project completion date and expenditure and completion.	Compare with target date and cost.	Date: refer to Section 2.8.2 Error! Reference source not found.. Cost: refer to Section 3 Error! Reference source not found..	No project delay and deliver scope within funding allocation.	June of the financial year for which the project commences.	Infrastructure Delivery.
4. Satisfy the relevant design standards and specifications.	Compliance.	The number of non-compliance not agreed with the asset owner.	N/A.	No non-compliance to standards unless deviation is agreed with the asset owner.	June of the financial year for which the project commences.	Infrastructure Delivery.

2.3 Outputs/Outcomes

Table 3

Outcomes	Outputs
Responsible pet ownership	New dog parks constructed in Lanyon and Franklin Refurbishment of existing dog parks in Casey and O'Connor

2.4 Scope of Work / Services

Under this Project Plan there are two sub projects to be delivered:

- design and construction of two new dog parks, one in Lanyon and the other one in Franklin with an allocated budget of \$1.8m over four years.
- Scoping, design and construction of improvements to two existing dog parks at Casey and O'Connor with an allocated budget of \$0.3m allocated in FY 22-23.

New Dog Parks – Lanyon and Franklin

This project includes the following work activities in order to deliver new enclosed dog parks in Lanyon and Franklin. Each site will need to undertake the following processes: (not necessarily in sequential order). It is expected that the two new dogparks will be delivered over two years.

The two new enclosed dog parks will be a 'local' style dog park similar in size and scale to the dog parks provided in Forde and Casey. Noting that Belconnen has a 'district' level dog park and Gungahlin has two existing smaller enclosed dog parks.

Project Initiation and Planning

- Project Plan approval;
- Initiate Procurement; and
- Prepare a Statement of Requirements in consultation with Place Management.

Site Investigations

- Undertake preliminary site assessments for both Lanyon and Franklin. To determine potential sites
- Site assessments for Franklin should consider the urban open space between Oodgeroo and Nullarbor Avenues.

Stakeholder Consultation

- Consultation will be undertaken by Infrastructure Delivery (ID) with internal government stakeholders including Place Management;
- Undertake Public Consultation on prefer site options with the community to determine preferences within Lanyon and Franklin;
- Scope of construction work will be dependent on the recommendations following government and community stakeholder consultation, and budget consideration; and
- Inform the community, users of the dog parks and other impacted community members prior and during the construction phase.

Design the improvements

- Procure and engage a suitably qualified consultant/ consultants (landscape architect & civil engineer) through SELECT TENDER processes to undertake detailed design of the works of both sites;
- Design shall be informed by stakeholder and user group consultation and provide specific design requirements relevant to each site.
- Detailed design will be reviewed by TCCS and IDP and approved through a Design Acceptance stage with Place Management;
- Cost estimates are to be developed by the consultant at detailed design stage to inform what can be delivered,

Construct the improvements

- Procure and engage a suitably qualified contractor through OPEN TENDER processes to undertake the construction works;
- The contractor will obtain all approvals such as DA, utilities, Temporary Traffic Management Plans; and

Handover the works

- Receive all documentation for the completion of works including Work as Executed documentation from the contractor; and
- Handover the works to the asset manager – PC, Consolidation, DLP, Final Acceptance.

Review the Project

- Lessons learned and post implementation review with project team.

Dog Park Improvements – Cassy and O’connor

This project includes the following work activities in order to deliver refurbish the existing dog parks in Casey and O’Connor. Each site will need to undertake the following processes, either individually or as a single package:

Project Initiation and Planning

- Project Plan approval;
- Condition audit of existing facilities undertaken;
- Initiate Procurement; and
- Prepare a Statement of Requirements in consultation with Place Management.

Stakeholder Consultation

- Consultation will be undertaken by Infrastructure Delivery (ID) with internal government stakeholders including Place Management
- Usage data to be collected / analysed by ID
- Scope of construction work will be dependent on the recommendations following government and targeted community stakeholder consultation as required, and with budget considerations.
- Inform the community prior and during the construction phase, this should include user survey’s and/or “YourSay” polling to be facilitated by TCCS Comms team.

Design and Construct the improvements

- Procure and engage a suitably qualified contractor to undertake the detailed design and construct the works;
- Detailed design will be reviewed by TCCS and IDP and approved through a Design Acceptance stage with Place Management;
- Cost estimates are to be provided at detailed design stage to inform what can be delivered,
- The contractor will obtain all approvals such as DA, utilities, Temporary Traffic Management Plans; and

Handover the works

- Receive all documentation for the completion of works including Work as Executed documentation from the contractor; and
- Handover the works to the asset manager – PC, Consolidation, DLP, Final Acceptance.

Review the Project

- Lessons learned and post implementation review with project team.

2.5 Assumptions, Constraints and Opportunities

2.5.1 Assumptions

- Consultation will be undertaken by Infrastructure Delivery (ID) with Government stakeholders
- Members of the local community will be engaged in consultation to determining the location of the dog parks at in Lanyon and Franklin
- Scope of construction work will be dependent on the recommendations following Government consultation and within the budget.
- Both the Lanyon and Franklin dog parks are expected to be “local” style of dog park. A local neighbourhood dog park would:
 - not necessarily include car parking.
 - be smaller in scale and would likely but not necessarily be contained by waist high fencing and have other forms of amenity to those bigger dog parks found around Canberra.
- TCCS will manage the project within the funding cap and meet any administration costs through internal resources
- The proposed construction will be assessed against the Development Approval exemption criteria to confirm requirement for DA lodgement

2.5.2 Constraints

- Scope of works (including design) for the new dog parks is limited to \$1,800,000 budget from funds appropriated in the 21-22 through 2024-25 financial years. Breakdown over each of the four years is initially anticipated to be [REDACTED] however this timeframe maybe accelerated.
- The project includes site investigation, design, consultation, and construction for two new dog park sites to be completed within the four-year period.
- Scope of works (including design) for the two refurbished dog parks is limited to \$300,000 budget appropriated in the 22-23 financial year.

2.5.3 Opportunities

- Project opportunities to be assessed during the project initiation and design phases. This includes the project design and construction staging/sequencing and phasing.

2.6 Relevant Government Policy, and Legislation

Work Health and Safety Act 2011.

ACT Crime Prevention & Urban Design Resource Manual 2000.

Municipal Infrastructure Standards MIS, particularly DRAFT MIS 05 www.tccs.act.gov.au

Municipal Infrastructure Technical Specifications (MITS) www.tccs.act.gov.au

TCCS Reference Documents 6 to 11 and others as relevant www.tccs.act.gov.au

Canberra's Infrastructure Plan,
https://www.environment.act.gov.au/__data/assets/pdf_file/0005/1413770/Canberras-Living-Infrastructure-Plan.pdf

TCCS Project Management Framework and all other relevant TCCS requirements.

Best Practice Project Management principles will be applied to manage this project.

Current and relevant *Australian /New Zealand Standards* www.standards.com

Other relevant Acts and Ordinances currently in force in the ACT.

Water Sensitive Urban Design (WSUD) principles

Active Living Principles

All Territory Plans and Codes.

Note: The TCCS Standards reference other standards and guidelines. If the Standards are considered to be inappropriate the Design Consultant shall advise the Infrastructure Delivery project manager and recommend alternative standards for acceptance.

2.7 Specific and Key Issues

The project will need to consider the following key issues:

- Evaluate existing locations and conditions including (as relevant) provision and utility of existing services, drainage, existing pedestrian access / movement and safety;
- Undertake all necessary administration and documentation in the course of the works.
- Efficient coordination and incorporation of stakeholder requirements throughout SOR development, detailed design and during construction to ensure design reflects community and Government priority requests; and
- Stakeholder input will be managed by scheduling strict timeframes in which to provide comments on the deliverables and decision-making points. These will be mapped out in the project program.

Approach and Strategies:

- Continual communication and coordination will be required in the early design development stage of the project prior to construction between the contractor and Place Management.

- Regular communication will be undertaken with Place Management and the Project Manager to inform and receive comments prior to final approval of final construction work.

2.8 Project Procurement Plan

2.8.1 Project Procurement Strategy

Infrastructure Delivery Partner (IDP) will procure design and construction services via Select or Open Tenders for a minimum of three quotes for each portion of works, that being:

- New Dog Parks at Lanyon and Franklin – likely this will be a select tender for a design consultant to prepare documentation up to DR and then a Public Tender for construction contractor.
- Refurbished Dog Parks at Casey and O'Connor – likely this will be a design and construct contract with a SOR prepared by ID procured via a Public Tender process

Design and Construction Stage

Infrastructure Delivery will procure design and construction services via Select or Open Tenders (minimum of three quotes). The budget allocated for design and construction of the new dog parks is **\$1,800,000** (incl GST). Funding in 2021-2022 is projected to be [REDACTED]

The budget allocated for design and construction of the refurbishment of existing dog parks is \$300,000 (incl GST) in 2022-2023.

The total budget allocated for this project is \$2.1 million.

2.8.2 Project Procurement Values

Infrastructure Delivery Partner (IDP) will procure design and construction targeting the following Procurement Values:

- Business Development and Innovation
- Environmental Responsibility
- Fair and Safe Conditions for Workers
- Transparent and Ethical Engagement

2.8.3 Project Schedule

Table 4: Project Schedule (New Dog Parks – Franklin and Lanyon)

Key Deliverables	Target Date	Who
Project Plan approved	Sep 2021	ID / IDP
Site analysis and consultation on site and park amenity		
Site analysis	Sep 2021	ID
Government stakeholder and Targeted community consultation	Sep 2021	ID
Shortlist sites (aim x3 options per suburb)	Oct 2021	ID
Public Consultation – sites and amenity	Oct 2021	ID/ Comms
Minister approval of sites	Jan 2022	ID
Design and Construction		

	SOR finalised and approved	Jan 2022	ID
	Procurement Plan Minute Approved	Jan 2021	ID / IDP
	Design tender release	Feb 2022	IDP
	Design tender close	Mar 2022	IDP
	Design tender Evaluation	Apr 2022	IDP / ID
	Consultant engaged & start-up meeting	May 2022	IDP / ID / Consultant
	Concept/ PSP	Jul 2022	IDP / ID / Consultant
	FSP	Sep 2022	IDP / ID / Consultant
	DR	Oct 2022	IDP / ID / Consultant
	Construction tender released	Oct 2022	IDP / ID
	Construction tender closed	Nov 2022	IDP / ID
	Construction tender evaluation	Dec 2022	IDP / ID
	Start up meeting	Jan 2023	IDP / ID / Contractor
	Construction commences	Feb 2023	Contractor (16 weeks?)
	Construction complete	Jun 2023	Contractor
	Project close - WAE	Jun 2023	Contractor
	DLP complete	Jun 2024	

Table 5 - Project Schedule (Refurbished Dog Parks – Casey and O’Connor) 2022-23 FY

Key Deliverables	Target Date	Who
Project Plan approved	Aug 2021	ID / IDP
Government Stakeholder Consultation	Mar 2022	ID
Community Consultation / User Survey	Apr 2022	ID / TCCS Comms
SOR to be finalised and approved	May 2022	ID
Procurement Plan Approved	Jun 2022	ID / IDP
Design & Construct Tender release	Jul 2022	IDP
Tender close	Aug 2022	IDP
Tender Evaluation	Sep 2022	IDP / ID
Contractor engaged & start-up meeting	Sep 2022	IDP / ID / Contractor
Confirmation of scope	Oct 2022	IDP / ID / Contractor
Detailed design	Nov 2022	Contractor
Government consultation – design approval	Nov 2022	IDP / ID / Contractor
Construction commences	Dec 2022	Contractor (12 weeks)
Construction complete	Apr 2023	Contractor
Project close - WAE	Apr 2023	Contractor
DLP ends	Apr 2024	IDP / ID / Contractor

3 Budget and Expenditure

3.1.1 Estimated Project Budget Overview

Two New Dog Parks – Franklin and Lanyon

Breakdown of Construction Project Costs	Cost \$m
Total	1.800m

Refurbished Dog Parks – Casey and O’Connor:

Breakdown of Construction Project Costs	Cost \$m
Total	0.300m

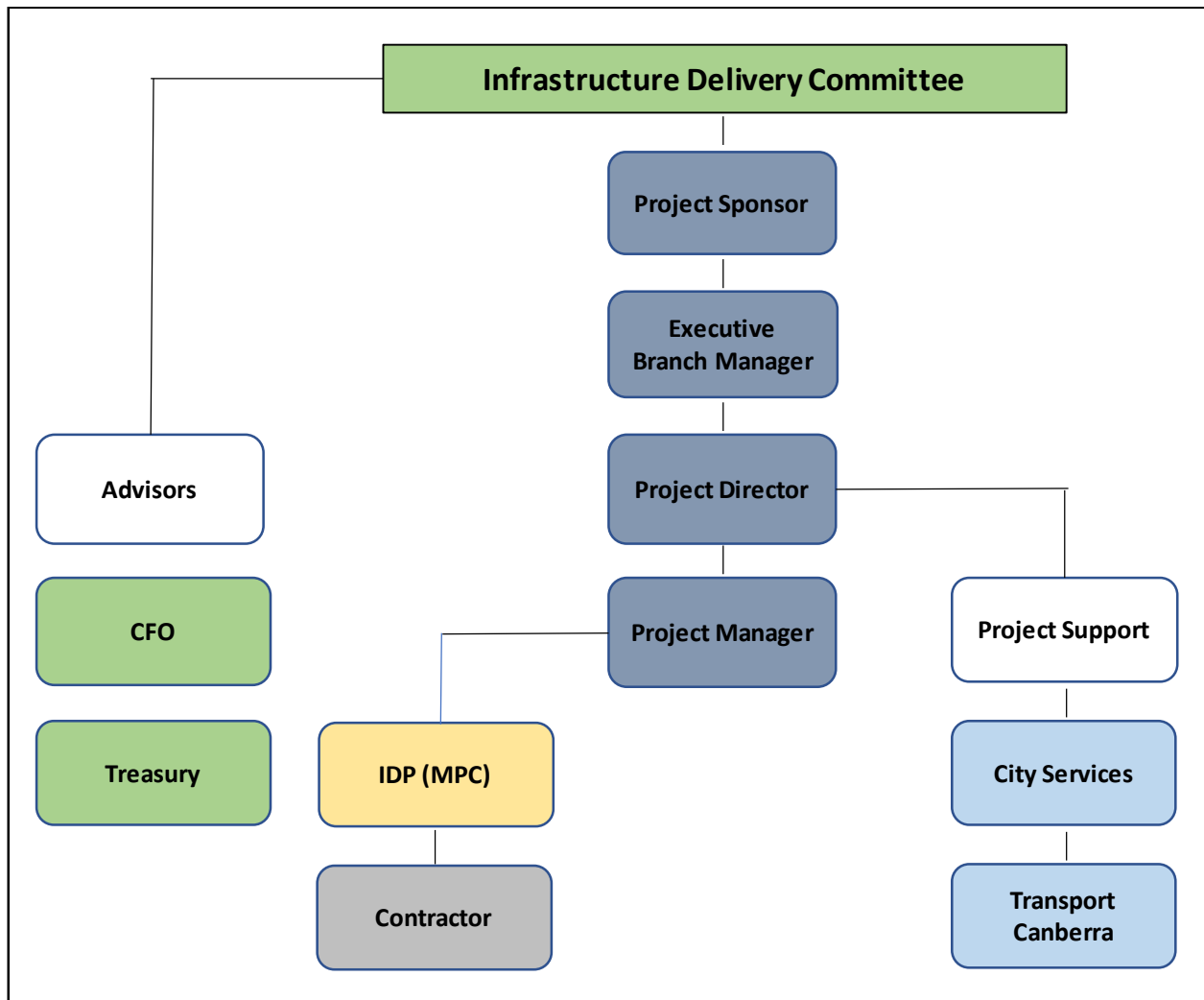
4 Risk Management Plan

Risk Reference	<u>The Risk:</u> What can happen?	<u>Source</u> How can this happen?	<u>Impact /Outcome</u> Consequence?	<u>Risk Owner</u>
1	Funding availability	Outside project team control	Impacts on deliverable scope. Scope may need to be reduced resulting in required outcomes not being fully achieved	N/A
2	Insufficient time to complete the project	Delays to: <ul style="list-style-type: none"> • Approval process • Consultation process • Tender release-Evaluation • Supply lead times • Construction works 	Project might not be completed within required timeframe	IDP / ID
3	Adverse stakeholder satisfaction during life of project	Communication Strategy unclear or misleading	Stakeholders unhappy with outcomes of consultation	Consultants / ID
4	Poorly documented scope	Lack of co-ordination with stakeholders Lack of information from IP and asset area provided to ID	Impacts stakeholder satisfaction, program is delayed, poor project outcomes (variations, cost, time)	ID /IDP/ IP
5	Poor consultant / Contractor performance	Poor evaluation criterion in tender documents. Poor tender evaluation Lack of clarity in scope/ SOR	Project outcomes might be compromised in quality and compliance to required standards	IDP / ID
6	End results do not meet requirements	Poorly documented scope. Poor consultant performance	Affects stakeholder satisfaction, poor project outcomes (Quality, variations, cost, time)	IDP /ID
7	Weather	Unforeseen extended wet weather conditions	Project might not be completed within required timeframe	IDP / ID
8	Uncovering asbestos/ contaminated soil/ unexpected site conditions	Latent site conditions	Project might not be completed within required budget and timeframe	IDP / ID

5 Project Management Plan

5.1 Governance

Figure 1: Governance Structure for the BIF 2021-22 Build More Dog Parks project



5.1.1 Project Sponsor

The Project Sponsor is the champion of the project. They promote the benefits of the project to the community and may be viewed as the ‘public face’ of the project.

The Project Sponsor lends support, by advocacy, representation at senior levels, and ensuring that the receiving business area is prepared and ready for the acceptance of the project outputs on completion and that necessary resources (both financial and human) are available to support the new assets.

The Project Sponsor has delegated authority to assist with project management issues that are raised by the SRO or ID.

The Project Sponsor is ultimately responsible for ensuring that project Target Outcomes are achieved before formally closing the project.

The Project Sponsor is: **Stephen Alegria – Executive Branch Manager – City Presentation**

5.1.2 Asset Owners

The Asset Owner is responsible for managing the project outputs (deliverables) for utilisation by the operational areas. The Asset Owner must be satisfied that the project includes all of the outputs necessary for outcomes/benefits realisation. Each output must be specified and delivered fit-for-purpose. During the development of the project outputs, the Asset Owner also may be required to contribute resources to the project, in order to ensure that the outputs are being developed satisfactorily. This involvement is continuous from the early conceptual stages through to reviewing and/or testing the completed products.

The Asset Owner is accountable to the Project Sponsor or their delegate, who may be Senior Management in the Directorate, for the realisation of project Target Outcomes.

The Asset Owner is: **Sue Marriage, Manager, Place Management**

5.1.3 Executive Branch Manager

The ID group is responsible for the delivery of project outputs and the attainment of project outcomes. It is also responsible for ensuring appropriate management of the project components outlined in this Project Plan, including risk monitoring, quality and timeliness.

The Executive Branch Manager of ID is responsible for resourcing decisions essential for the delivery of project outputs and the attainment of project outcomes. The role is also responsible for:

- a) approving milestone release of funds to the project;
- b) ensuring appropriate management of the project components outlined in this project plan including risk monitoring, quality and timeliness;
- c) project assurance; and
- d) conflict arbitration.

The Executive Branch Manager also lends support, at senior levels and ensures that the necessary resources (both financial and human) are available to the project. The Executive Branch Manager is ultimately responsible for ensuring that project outcomes are achieved.

The Executive Branch Manager is: **Jeremy Smith – Executive Branch Manager – Infrastructure Delivery**

5.1.4 Project Director

The Project Director ID is responsible for the delivery of project outputs, the attainment of project outcomes. As well as being responsible for ensuring appropriate management of the project components outlined in this Project Plan, including risk monitoring, quality and timeliness.

The Project Director is: **Sophie Clement, Director, Infrastructure Delivery, Urban**

5.1.5 Project Manager

The Project Manager is accountable to the Project Sponsor to deliver the defined project outputs to the required quality within specified time and cost parameters.

They are responsible for managing the day-to-day aspects of the project, resolving planning and implementation issues, and monitoring progress and budget.

The Project Manager will:

- a) develop and maintain the Project Plan and Project Schedule;
- b) manage and monitor the project activity through detailed plans and schedules;
- c) deliver a Monthly Project Status Report;
- d) report to the Project Sponsor at regular intervals;
- e) develop and maintain the project's risk register;
- f) manage change control and implementation of project outputs; and
- g) manage stakeholder expectations through formal specification and agreement of goals, objectives, scope, outputs, resources required, budget, schedule, project structure, roles and responsibilities.

Develop a Project Closure Report at the completion of the project.

The Project Manager is: **Richmond Henty, Project Manager, Infrastructure Delivery**

5.1.6 Contract Manager (Infrastructure Delivery Project)

The Contract Manager will undertake all procurement activities for the project and manage the consultant and contractor to physical and financial completion. This includes:

- a) Procurement:
 - i. preparation of a Procurement Plan Minute;
 - ii. prepare Project Brief in consultation with Project Manager;
 - iii. preparation of tender documentation and management of the tender process;
 - iv. prepare Tender Evaluation Report;
 - v. prepare Contract Documentation and award contract;
 - vi. upload the signed contract into PMARs and notify the Project Manager; and
 - vii. notify unsuccessful tenderers, arrange and hold debriefs.
- b) Design:
 - i. undertake effective communication with relevant parties to enable the timely progress of the project, including formalising and holding regular Project Control Group meetings;
 - ii. manage the delivery of the design consultancy including the milestones in the program and the budget;
 - iii. review and assess variations for the Project Manager's approval; and
 - iv. co-ordinate and distribute design documentation and report as necessary to the Project Manager to provide to relevant ACT Government Directorates for review and comment.
- c) Construction:
 - i. effective communication between relevant parties to enable the timely progress of the project, including formalising Project Control Group;
 - ii. manage the delivery of the construction;
 - iii. review and assess variation claims and extensions of time for Project Manager's approval; and
 - iv. manage incidents and WHS checklists, reporting and Active Certification.

The Contract Manager is: **Briar Champness - MPC**

5.1.7 Finance

Finance is responsible for:

- a) providing guidance and assistance with project costing and financial reporting to Project Managers;

- b) reviewing project variation requests for completeness and accuracy of financial information;
- c) ensuring the approved project budget figures are entered in financial management systems;
- d) accounting for the costs of the project;
- e) monitoring the project actual costs against the budget;
- f) monitoring availability of approved funds and warning the Project Manager of potential overruns;
- g) providing transaction reports to Project Managers;
- h) capitalising assets in accordance with capitalisation procedures; and
- i) reviewing the Project Closure Report to confirm final actual expenditure of the project.

The Finance representative for the Project is: **Slawek Makula, Finance Manager**

5.1.8 Project Support Team

5.1.9 ID Administration

ID Administration team is responsible for:

- a) co-ordination of approvals of project plans;
- b) ensure project plan revisions are up to date; and
- c) assist project officers with the input of project data into PMARS.

The ID Administration team representative for the Project is: **Joanna Lewis, A/g Senior Director Business Management, Infrastructure Delivery.**

5.1.10 Work Group

The PCG for *More Dog Parks* comprises the following core members from TCCS, and specialist members who will represent their respective Business Entities and champion specialist areas within their respective groups. These specialist representatives will be called upon to provide input through the various stages of the project delivery.

PCG members:

- Stephen Alegria – Executive Branch Manager – City Presentation
- Sue Marriage – Manager – Place Management
- Terry McLeary – Operations Manager – Assistant Director South
- Tessa Roberts – Operational Manager – Contracts
- Brian Bathgate –Assistant Director – Place Management
- Joel Kelly – Contracts and Environmental Programs Coordinator
- Richmond Henty – Project Manager

5.1.11 Project Output Requirements

ID/IDP shall be responsible for ensuring that the works are constructed in accordance with TCCS Municipal Infrastructure Standards (MIS)

Works As Executed (WAE) or Final Design Plans are to be submitted through ProjectWise ACT Government portal. Individual project plan will specify which is applicable.

- IDP shall assist ID with the Handover of the project to the Asset Owner (Client)
- ID is responsible project capitalisation and for providing this information to TCCS Finance.
- Inclusion of new assets is in the asset register through ASSETIC (old IAMS) from the WAEs and Final Design Plans and is managed by Asset Data Integration team.

Following process is applicable for all projects:

- All drawings must be submitted through ProjectWise portal (Bentley) pw:\\actgov-pw.bentley.com:actgov-pw-01
 - Full submission of WAE documents and relevant supporting documentation in compliance with the latest version of “Ref-08 Requirements for works as executed records”;
 - The submission of AutoCAD drawings must be compliant with the latest version of “Ref-11 TCCS Drafting Standard”;
- Once submitted, the appropriate authorising officer will receive email with the link to ProjectWise of the WAE or Final Design plan.
 - If the WAE or Final Design Plan is submitted in .dwg format, it also requires CAD conformance. Confirmation email will be sent to project officer to Roads ACT and ID for their records and to Place Coordination for handover purposes
- Project Manager must consult with the business unit (the Client) before authorising final design plans.
- Operational Acceptance from Roads ACT is required. It is expected that IDPG will implement contractual arrangements that will ensure the works are constructed in accordance with the Specification.
- IDPG shall advise ID in advance of the anticipated date of Practical Completion or where there are several separable portions the dates of Practical Completion for each separable portion.
- Where Roads ACT resumes responsibility for the assets at Practical Completion it is essential that IDPG ensure that the submission of WAE or Final Design Plans is submitted to Place Coordination via ProjectWise within the timeframe nominated in the contract documents.
- Operational Handover process in accordance with “Ref-07 Requirements for Operational Acceptance Submission”;
- Upon successful handover of the project, a Project Closure Report will be developed as a standalone document with reference to the TCCS Directorate Project Management Framework, if required.

5.2 Reporting Requirements

Current reporting requirements are:

Reported By	To Whom	Reporting requirements	Frequency	Format
Project Manager	Finance and Treasury	Complete TM1 report (until decommissioned)	Monthly	Excel
Project Manager	All interested parties	Complete report in PMARS (once commissioned)	Monthly	PMARS
Project Manager	Project Director	Project Status, community impacts, risks and issues	Monthly	Verbal
Project Manager	Internal managers	Update project schedule, risks and issues using	Monthly	Internal docs/ TMI
Project Manager	As required	Additional reporting: E.g. Minister Weekly Brief, QTB, QON, Budget Estimates, Annual Report & additional as requested.	Scheduled or Requested	As required
IDP	TCCS/ID (PD & PM)	Progress reports and Financial review update	Monthly	Word email
Contractor	TCCS/ID IDP	WHS, issues, progress, achievements	fortnightly	Word email

6 Stakeholder Management and Communication

6.1 Stakeholder Identification and Classification

Group	Group Description	Stakeholders
Review	Transport Canberra and City Services (TCCS)	Place Management
Related Projects	E33 Supporting The Urban Forest Strategy	
Outcome Impacted	NA	NA
Provider	Transport Canberra and City Services (TCCS)	Place Management
Output Delivery	Urban Tree escapes	
Output Utilisation	Communications support	TCCS Communications Unit
Outcome	Procurement support	IDP

The key stakeholders for this project include:

Stakeholders	Role
Infrastructure Planning TCCS	Provide project scope; engage in project development, delivery and completion. Client and technical review and input.
Traffic Management and Safety, Roads ACT, TCCS	Technical input concerning operations and safety for all transport infrastructure users – paths, road access, carparks
Strategic Planning and SLA, EPSDD	Consult on future planning on land/ sites
Roads Maintenance, Roads ACT, TCCS	Asset managers of roads infrastructure – consulted in relation to existing and proposed assets
Place Management, TCCS	Asset managers of urban open space – consulted in relation to existing and proposed assets
Urban Treescapes - Place Management, TCCS	Supporting The Urban Forest Strategy

6.2 Stakeholder Communication and Management

Stakeholder communication and management will be the responsibility of the project manager.

Targeted stakeholders will be confirmed upon commencement of the project and will include both public and Government stakeholders.

Communication requirements for public stakeholders will be developed as part of the project in consultation with the TCCS Communications unit, once the scope is defined by the client. All costs related to communications will be funded from the project budget.

The consultant engaged to undertake the investigations and the design will also be responsible for aiding the project team during consultation with Government and public stakeholders.

Public consultation will primarily be around the sites and level of amenity at the new parks and scope of improvements at the refurbished parks.

6.2.1 Key Issues

The project's success will be dependent upon early consultation with government and public stakeholders including Place Management and individual asset managers.

Consultation with Government will focus on identifying priority works achievable within the budget and will be informed by site investigations and initial cost estimates by the consultant.

6.2.2 Approach and Strategies

Continual communication and coordination will be required in the early investigation stage of the project between the design consultant, Place Management and Infrastructure Delivery. This will be captured via email to ensure decisions on design and scope can be clearly agreed and confirmed.

Regular communication with the Place Management officers by the Project Manager to keep them informed and to gather input into the priority improvements and the final scope for construction.

Liaison with relevant authorities and relevant service providers may be required to ensure suitable authorisation, timely coordination as well as compliance with Territory requirements for all works associated with the upgrade will be the responsibility of the consultant. Early liaison is essential to enable timely progress of the project will be the responsibility of the contractor.

Communication and coordination are anticipated to be through:

Weekly meetings with timely circulation and agreement to meeting minutes, email communications, telephone.

6.3 Related Projects and Programs

E33 Supporting The Urban Forest

7 Guidelines & Standards

The design standards and specifications will be in accordance with:

- a) TCCS Standard Specification for Urban Infrastructure Works;
- b) TCCS Design Standards for Urban Infrastructure;
- c) TCCS Trunk Road Infrastructure Technical Specifications (TRITS); and
- d) TCCS Municipal Infrastructure Standards (MITS) for landscaping components.

All plans, documentation or designs will be undertaken in accordance with all relevant guidelines and standards including (but not limited to):

- Municipal Infrastructure Standards (ACT)
- Municipal Infrastructure Technical Specifications (ACT)
- Municipal Design Standard Drawings (ACT)
- TCCS's Drafting Standard

- TCCS's Reference Document
- Standard Technical Exception Clauses Land Development
- Roads ACT Noise Management Guidelines
- Universal Design Principles
- Water Sensitive Urban Design (WSUD) guidelines
- Crime Prevention Through Environment Design (CPTED) principles
- ACT Crime Prevention & Urban Design Resource Manual 2000.
- National Security Requirements in line with Australia's Strategy for Protecting Crowded Places from Terrorism
- Best Practice Project Management principles will be applied to manage this project.
- Current and relevant *Australian /New Zealand Standards* www.standards.com
- Other relevant Acts and Ordinances currently in force in the ACT.
- All Territory Plans and Codes.

8 Quality Management Plan

Infrastructure Delivery (ID) along with Infrastructure Delivery Partners (IDP) will regularly review the outputs throughout the project.

TCCS Internal

Project Managers, Contract Managers and Operational Managers will regularly review the agreed and documented project outputs throughout the project and provide their endorsement of the designs.

IDP Contract Managers will monitor the outputs with reference to hold points- inspections as stated in the consultant/ contractor contracts and also monitor performance against the agreed and documented schedule.

Project Manager to check the works are consistent with the TCCS reference documents as these apply. www.tccs.act.gov.au as far as their expertise or ensure this quality checking has been enabled within the project contract.

Project Manager to check WAEs for general review of completeness

TCCS Asset Integration to check WAE's against the *TCCS Reference Documents 6 to 11*.

Project Manager to regularly refer to TCCS reference documents at <http://www.TCCS.act.gov.au>:

External

Expert and appropriately qualified consultants to verify compliance

Quality checks to be undertaken by consultants in compliance with their contracts

IDP will continuously monitor the outputs using a Project Quality Control Checklist and refer to the initial Gantt chart put forth by the consultant/ contractor

9 Evaluation

Lessons Learnt

'Lessons Learnt' will capture stages of the process that were either successful or difficult to achieve. Throughout this project, 'lessons learnt' will be discussed at regular internal reviews and with the project team. The lessons learnt from this project will be applied to future projects.

Measuring Project Success

Evaluating the Project Control Plan, Status and TM1 reports will determine whether Key Performance Indicators (KPIs) have been met, how well managed the project is, and whether specified project outputs have been delivered and the outcomes realised. This includes:

- Deliver capital work upgrade within allocated budget and timeframe.
- Cost to maintain this type of asset is lesser cost than the traditional facility.
- Significant milestones have been achieved in regard to the construction components.

Formal Review Process

IDP will conduct a performance review of the team including the consultant, contractor, superintendent, ID and IDP. This will be conducted over the course of the project and on project completion.

The performance of the project and its success or otherwise would be evaluated on the levels of satisfaction of outcomes from government asset owners in the consultation process.

10 Project Closure

Upon completion of the works, the project will be closed by the Asset Owner upon reviewing and accepting the improvements and assets.

Further, a project closes out report detailing performance against the project objectives and outcomes, scope, budget and program will be prepared by ID. This report will also include a section on lessons learnt.

General

Project Handover

The order and requirements of the TCCS handover procedures will be provided in the tender documentation and confirmed at the Inception Meeting for this project.

The document Infrastructure Delivery Handover Procedures – Summary should be followed to guide project closure and hand over of all elements of work and Works as Executed drawings.

The procedures include the following main steps:

1. Physical completion – construction 100% complete and inspected by the superintendent.
2. Handover documentation –WAEs, warranties and manuals to be provided to the Territory and checked.
3. Operational Acceptance – handover inspection to confirm works done as specified and to the Territory's satisfaction.
4. Practical Completion
5. Consolidation for soft assets
6. Defects Liability Period – 52 weeks commence upon successful Operational Acceptance.
7. Final Acceptance – final inspection of works at end of Defects Liability Period.
8. Certification of Final Acceptance issued

Financial handover

- Final financial reconciliation
- Project capitalisation

Post Project Review

11 Appendices

Appendix A: Risk Register

Project Life Cycle	Risk Ref. No.	Risk Description/Source	Consequence	Risk Owner	Risk Controls-What is in place to manager risks	Consequence	Likelihood	Risk Rating	Control Effectiveness
Planning & Development	1	The scope defined by the client does not align to available budget	<p>**Delays in design process</p> <p>**Descoping required</p> <p>**Some priorities may need to be reduced and therefore needs explanation to stakeholders and community</p> <p>**Delay of implementation and execution processes</p>	IDP/ TCCS project manager	<p>Early review and realistic costing</p> <p>Review of Descoping options with client and consultants before design commence</p>	Moderate	Possible	Medium	Adequate
	2	Design documents incomplete or with missing information	<p>**Delays in delivery process</p> <p>**Delayed implementation and execution processes</p> <p>**Adverse consequences for construction</p>	IDP/ TCCS project manager	Design documents to be checked by project managers, technical experts and asset owners at relevant milestones and at regular project progress review.	Minor	Possible	Medium	Adequate
	3	Timely document review, comment and approvals not provided by relevant government stakeholders.	**Delayed implementation and execution processes	TCCS project manager	Documentation provided in sufficient time for diligent review by stakeholders; due date specified and follow up as required	Moderate	Possible	Medium	Adequate
	4	Public stakeholders inadequately engaged and/or consulted	<p>**Project outcomes not suited to public needs</p> <p>**Public dissatisfaction with project outcomes</p> <p>**Adverse public opinion of government.</p>	TCCS project manager /Comms unit		Moderate	Possible	Medium	

	5	Project Plans/Functional Briefs inadequately defined	**Delayed approval by IDP and the tendering process	TCCS project manager	Project Plans to be checked by Senior Managers	Minor	Possible	Medium	Adequate
Implementation & execution	5	Statement of Requirements inadequately scoped	**Project outcomes not achieved **Additional cost to project to resolve issues at design and construction stages **Multiple addenda issued to resolve confusion in market. **Delay in the tendering process. ** Tender responses and prices may not be comparable due to opportunity to misinterpret requirements.	IDP	**Due diligence in preparation of statement of requirements **Statement of Requirements reviewed by senior manager **Use past experience of lessons learnt and issues to identify risk areas for scoping and take measures to redress.	Moderate	Possible	Medium	Adequate
	6	Delay in advertising tenders.	**Delay in engaging consultants **Roll-on effect to engaging construction contractors.	IDP	**Allow sufficient time in the program **identify circumstances likely to delay tendering and redress as early as possible	Minor	Likely	Medium	Adequate
	7	Timeframe for the evaluation of tenders exceeded Evaluation Team members unavailable to undertake the evaluation; tenders received require extensive clarifications; post tender negotiations required; evaluation team members dispute in relation to criteria and weightings	**Request for Tender lacks clarity making it difficult for industry to provide a clear and consistent response. **Nominated evaluation team members shift their priorities; backup unavailable **Evaluation criteria, methodology and/or services sought not consistently understood by members of the evaluation team.	IDP	**ID to review tender documents in collaboration with IDP to ensure clarity and common understanding. **Evaluation Team members availability confirmed and assured; backup nominated for exceptional circumstances **Consistent evaluation criteria agreed and documented prior to tendering	Moderate	Unlikely	Medium	Adequate
Procurement									

8	<p>Unethical conduct during the Tender evaluation process.</p> <p>Tender evaluation not undertaken in an ethical and/or transparent manner.</p>	<p>**Evaluation team chair inexperienced in conducting the evaluation process.</p> <p>**Evaluation Team members do not understand or are unaware of the probity framework for tender evaluations.</p> <p>**Value for money outcome compromised.</p> <p>**Aborted tender process</p>	IDP	<p>**Evaluation Team members informed of specific probity requirements in the tendering process.</p> <p>**Tender panel trained undertaken in ethical behaviour as part of required development.</p> <p>**Deeds of confidentiality and conflict of interest declaration by the team involved in evaluation.</p>	Moderate	Unlikely	Medium	Adequate	
	Tenders exceed project budget	<p>**Re-visit tender documents to ensure scope identified appropriately.</p> <p>**Negotiation with preferred tenderer to achieve project outcomes.</p> <p>**Re-tender with reduced scope if it is impossible to identify preferred tenderer for negotiation.</p> <p>**Delay in engaging contractor.</p>	IDP/ TCCS project manager	<p>**Ensure RFT and statement of requirements outline scope of works appropriately.</p> <p>**Project costing/estimates prepared based on current rates.</p> <p>**Allow appropriate contingency.</p> <p>**Undertake value management exercises prior to tendering to work towards the best value for money within the available budget.</p> <p>**Seek additional funding.</p>	Moderate	Possible	Medium	Adequate	

12 Related Documents and Contacts

Below is a list of documents that you may utilise to support your Project Plan:

- TCCS Risk Management Framework;
- Project Concept Brief template (Treasury template);
- Project Concept Brief template (TCCS template);
- Business Case (Treasury template);
- Project Brief (SSICT template);
- Change Management template; and
- ACT Government Evaluation Policy and Guidelines
(http://www.cmd.act.gov.au/data/assets/pdf_file/0004/175432/ACT-Evaluation-Policy-Guidelines.pdf)

From: [Smith, Jeremy](#)
To: [REDACTED]
Cc: [TCCS_DLO](#); [REDACTED]; [Corrigan, Jim](#); [Fitzgerald, Bruce](#); [Clement, Sophie](#); [Fitzgerald, Bruce](#)
Subject: Franklin and Lanyon Dog Parks/Telopea Park
Date: Friday, 22 October 2021 2:57:37 PM
Attachments: [Lanyon dog park - site analysis.pdf](#)
[Franklin dog park - site analysis.pdf](#)
[21027 TELOPEA PARK CONCEPT FINAL compressed.pdf](#)

UNOFFICIAL

Hi [REDACTED]

Apologies for the delay.

Please find attached reference material that we will use to brief the Minister on Monday. No drama if he isn't able to look, we will use screen share to make sure we go through important items.

Thanks

Jez

Jeremy Smith | Executive Branch Manager, Infrastructure Delivery

Phone 02 6207 2738 | Fax 02 6207 6212

Transport Canberra and City Services | **ACT Government**

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Lanyon dog park – site analysis and recommendations



Note: Sporting grounds, hills and buffers, educational facility's, Car Parks, cultural land, ecologically sensitive land, flood and waterways and land that is leased to non TCCS entities have not been considered.

Location 1 Woodcock Drive off leash Area



Location 1 Point Hut Pond District Park



Location 1 Woodcock Drive off leash Area - images



Looking into the recreation area and to the Bicentennial Trail



Looking north on Jim Pike Ave into the recreation area and to the Bicentennial Trail

Location 2 Point Hut Pond District Park



Looking south towards the play equipment

Looking north



Looking north next to McGilvay Close



Looking north Looking across to the pond

Site Investigation Matrix

LOCATION	BLOCK SIZE (4,000 M2 MIN)	LAND USE ZONE & CUST- ODIANSHIP	COMPLE- MENTARY USES	LOCATION AND LANDFORM	PARKING	RESIDENTU AL DWELLINGS PROXIMITY	PROXIMITY SERVICES	MEETS CRITERIA
<p>1. WOODCOCK DRIVE OFFLEASH AREA</p> <p>This existing off leash area is frequently used by dog owners and their families as a free ranging style park. Services such as water and electricity are NOT easily accessible and need to come from Attwood Ci or Fingeton Cres (under existing blocks). Parking and access are also problematic for this site, as traffic can only take a left off Woodcock Dr to enter the site and there is no formal parking area. To the west sits the Bicentennial Trail and a dog prohibited area. Custodianship is with EPSDD.</p>	✓	✗	✗	✗	✗	✓	✗	✗
<p>2. POINT HUT POND DISTRICT PARK</p> <p>This site sits adjacent to the Point Hut District Park. Easily accessible by both road and path networks this site is both flat and near to services such as drinking water and electricity. Both on and of street parking is in proximity.</p>	✓	✓	✓	✓	✓	✗	✓	✓

From: [Smith, Jeremy](#)
To: [Eveille, JamesB](#)
Cc: [TCCS_DLO](#); [Clement, Sophie](#); [Fitzgerald, Bruce](#)
Subject: BIF New Dog parks (Franklin and Lanyon) - site confirmation Lanyon
Date: Monday, 19 September 2022 1:16:41 PM
Attachments: [Design and Project Catch-Up \(251021\).msg](#)
[Franklin and Lanyon Dog ParksTelopea Park .msg](#)
[22028 SK15_C FRANKLIN DOG PARK LANDSCAPE CONCEPT 01SEPTEMBER2022.pdf](#)
[22028 SK17_C JIM PIKE AVE DOG PARK LANDSCAPE CONCEPT 01SEPTEMBER2022.pdf](#)

Importance: High

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Hey James,

Sites and concept options for the new dog parks at Lanyon and Franklin are planned to be released for public consultation next **Wednesday 28 September**. This is a follow up to show you the concept options and on the initial corro that we had with the Office back in October 2021 where the two sites were agreed with the Office based on a meeting held with myself, Sophie, [REDACTED] and the Minster. Emails attached for your reference.

Seeking your confirmation that the MO is supportive of the following:

- The two sites are proposed as follows: The Lanyon site has been confirmed on corner John Pike Dv and Woodcock Ave and Franklin proceeds as agreed previously on the southern corner Nullarbor Ave and Oodgeroo Ave. Details below including reference to Concept Plans which are attached.
- The YourSay material will include a tab with the site assessment matrix to share with the community the site analysis similar to the approach with playgrounds.

Lanyon dog park

- Last year two sites were identified as potential with one being on the edge of the suburb in an existing off lead area on the corner of Woodcock Drive and Jim Pike Ave (Location 1 in attached email) and one at the pond near the District Park (Location 2 in attached email).
- Location 1 on the suburb edge (Woodcock Dv/Jim Pike Ave) was the preferred as it is away from residential properties and is currently a dog off lead area.
- The feasibility undertaken by the consultant investigated both options to ensure the preferred option would be within the budget and that it is the most appropriate to meet the objectives of the project,.
- **The feasibility study confirmed Location 1 at Woodcock Dv/Jim Pike Ave is still most suitable and can be delivered within the budget** based on current cost estimates and has proposed the most suitable location on this site.
- Refer attached **SK17 Jim Pike Ave Landscape Dog Park concept** – for the plan to be released on YourSay. Noting screen planting on southern border to be added, entrance gate moves north and car park to be crushed granite not asphalt)
- The Bicentennial National Trail runs adjacent to the southern boundary. There will be some screening plants and sufficient distance to manage potential visual disturbance to horses. The area is an existing well used dog off lead area. ACTEA will be informed of the plan prior to consultation opening next week.

Franklin Dog park

- The site adjacent to the ICON utility area has been confirmed as feasible and a concept design has been prepared on this basis. ICON are supportive of the area adjacent to their facility being used as a dog park.
- Refer attached **SK15 Franklin Landscape Dog Park concept** which will be released on YourSay. Noting service gate will move south and car park is crushed granite not asphalt.

Thanks

Jez

Jeremy Smith | Executive Branch Manager, Infrastructure Delivery

Phone 02 6207 2738 | Fax 02 6207 6212

Transport Canberra and City Services | **ACT Government**

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From: [Smith, Jeremy](#)
To: [REDACTED]
Cc: [REDACTED] [TCCS_DLO](#); [Fitzgerald, Bruce](#); [Clement, Sophie](#); [Froehlich, Hanna](#)
Subject: Design and Project Catch-Up (25/10/21)
Date: Tuesday, 26 October 2021 8:48:58 AM
Attachments: [image001.png](#)

UNOFFICIAL

Hi [REDACTED]

Thanks for the catch up yesterday with Minister, [REDACTED] Anton and yourself.

As discussed late last week I agreed that I would provide a really brief dot point list of indicative direction post meetings. I am happy to correct things if you have feedback.

Franklin and Lanyon Valley Dog Parks Site Identification

- * We will continue to investigate the Franklin site as indicated in the ICON water correspondence as the preferred at this point. Thanks for both you and the Minister for both sending the correspondence through.
- * We will continue to investigate the Lanyon Valley site located in the TCCS land on the corner of Woodcock Drive and Jim Pike Ave which current operates as an off leash area.
- * The team will keep the office abreast of investigations and then put a formal brief up when possible.

Information is out of scope of this application



Thanks

Jez

Jeremy Smith | Executive Branch Manager, Infrastructure Delivery

Phone 02 6207 2738 | Fax 02 6207 6212

Transport Canberra and City Services | ACT Government

Level 2, 480 Northbourne Ave, Dickson ACT 2602 | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

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From: Summers, Brian
Sent: Wednesday, 21 September 2022 12:52 PM
To: Roso, Darren; Henty, Richmond; Swain, Shelley; Orgill, Oliver
Cc: Clement, SophieJ; Bathgate, Brian
Subject: RE: Lanyon Dog park proposal

OFFICIAL

Thanks Daz.

The western side may be a tricky one. Be good to get the area formalised/fenced like the many existing dog parks across the ACT.

Brian.

Brian Summers
Project Officer/Acting RiC - Murrumbidgee.

ACT Parks and Conservation Service | Environment, Planning & Sustainable Development Directorate | **ACT Government**
Phone 02 6205 0764, Mob [REDACTED] [REDACTED] | Email brian.summers@act.gov.au
1541 Cotter Rd Casuarina Sands ACT 2611 | GPO Box 158 Canberra ACT 2601 | www.act.gov.au



From: Roso, Darren <Darren.Roso@act.gov.au>
Sent: Tuesday, 20 September 2022 7:48 AM
To: Henty, Richmond <Richmond.Henty@act.gov.au>; Summers, Brian <Brian.Summers@act.gov.au>; Swain, Shelley <Shelley.Swain@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>
Cc: Clement, SophieJ <SophieJ.Clement@act.gov.au>; Bathgate, Brian <Brian.Bathgate@act.gov.au>
Subject: RE: Lanyon Dog park proposal

OFFICIAL

Yuma Richmond

That's **great!** Thanks so much. There has been call for it for decades and we have been maintaining a small informal, now kind of formalised, off lead area for 3 decades waiting for this to happen.

Dog Parks are not our business and it's hard.

We shouldn't let the existing fences and boundaries get in the way of developing a great community facility so I suggest we expand that sketch boundary.

Like your area the whole EPSDD area is zoned MRC Recreation so we don't have to stick to those fences.

The tree scape is good now. We have been working on that for 40 years.

Good to see a plan come together.

Oli, BrianS, Shelley, I recommend that when this new development comes on line we close down the old MRC off lead area we "maintain" and make it consistent use with the rest of the MRC, Stranger Reserve area.

It'll need some promotion to change a few peoples old behaviours.

cheers

Darren Roso
Senior Ranger
ACT Parks and Conservation.
Murrumbidgee Depot
1541 Cotter Road ACT 2611
Ph. [REDACTED]
Email : darren.roso@act.gov.au

I acknowledge and pay my respects to Elders and Traditional Custodians of this land, both past and present, and acknowledge their continuing cultures and connection to Country.

“Nations may battle and the world rocked by revolution, but the Land will care for those who care for it.”
(The standing committee on Californian Canals 1930’s)

From: Henty, Richmond <Richmond.Henty@act.gov.au>
Sent: Monday, 19 September 2022 4:51 PM
To: Summers, Brian <Brian.Summers@act.gov.au>; Swain, Shelley <Shelley.Swain@act.gov.au>; Roso, Darren <Darren.Roso@act.gov.au>
Cc: Clement, SophieJ <SophieJ.Clement@act.gov.au>; Bathgate, Brian <Brian.Bathgate@act.gov.au>
Subject: Lanyon Dog park proposal

Good afternoon All,

Earlier in the year Tom McElory, Shelley and Brian met with Sophie and myself regarding constructing a dog park on a block of land by Jim Pike Ave and Woodcock Dr.
See below.



The block is partially leased by TCCS and partially by EPSDD.

At the time of the meeting there was support for the development of the park in this location, with the understanding that we (TCCS) would come back at a time in the future to gain further support and get any approvals needed to undertake these works. As such I present the preliminary sketch plan (see attached). My understanding is that we would take over the maintenance of the land on which the dog park sat. What would be good is to formalise that process and deal with issues now before we get too far down the track. We are keen to start this soon so that we can brief the minister get any approvals required.



Regards

Richmond Henty

Richmond Henty | Project Manager | Infrastructure Delivery

M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au

Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au



I acknowledge the Traditional Custodians of the ACT, the N
people. We acknowledge and respect their continuing cult
the contribution they make to the life of this city and this r
Artwork "Relationships" by Lynnice Letty Church

FINAL PSP DESIGN REPORT

BUILD MORE DOG PARKS

Block 1411 Tuggeranong and Block 1 Section 455 Gordon

Jim Pike Avenue

Issue A: 14.02.2023

Prepared for:

INFRASTRUCTURE DELIVERY PARTNERS

MAJOR PROJECTS

480 Northbourne Avenue

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ABN 64 078 436 478

DOCUMENT CONTROL TABLE

REVISION	ISSUED FOR	BY	APPROVED	DATE
A	FINAL PSP	■	■	14.02.23

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 - Driveway Access **Error! Bookmark not defined.**
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1. EXECUTIVE SUMMARY

Enviro Links Design Pty Ltd was engaged by Infrastructure Delivery Partners Major Projects to undertake the design and documentation of the Build More Dog Parks Project. The purpose of the project is to develop two off-lead dog parks that will be maintained and operated by the client TCCS.

The site focused on in this report is located at block 1411 Tuggeranong and block 1 section 455 Gordon near the intersection of Woodcock Drive and Jim Pike Avenue.

This report identifies the key outcomes of the feasibility study, draft PSP and community consultation.

2. SITE INVESTIGATION

Jim Pike Avenue

The proposed site is located on Block 1411 Tuggeranong and Block 1 Section 455 Gordon. The site is located on the corner of Jim Pike Avenue and Woodcock Drive.

The site has an existing fall from north-east to the south-west of approximately six metres to the existing stormwater headwall at Jim Pike Avenue (Refer to Appendix A for site survey).

This site has a significant number of existing native trees including many recent juvenile plantings (Refer to Appendix D for Tree Assessment Report and Appendix E for Tree Assessment Plans).

The current land usage for both blocks is designated as NUZ4: River Corridor and blocks have split ownership between EPSDD for Block 1411 Tuggeranong and TCCS for Block 1 Section 455 Gordon.

Currently, users of the existing off-leash dog area and Bicentennial Trail utilise the verge on Woodcock Drive to park causing damage to the existing verge and trees in the verge.

This site has four key environmental issues:

1. African lovegrass is growing throughout the site. Remediation work would be required in order to remove the grass and seed before the construction works commence and minimise potential seed spread into the wider ACT surrounds. This may add risk during construction works for requirements of washdown areas and other environmental protection measures to limit the spread of weeds.
2. Poor drainage/overland flow. There are areas of boggy soil and standing water across the site.
3. Location within the Outer Asset Protection Zone. The location adds certain complexities and requirements for new infrastructure and may also add risk during construction. Assets built in the OAPZ have a greater risk of fire damage and therefore hold a greater financial risk to the Territory.
4. Proximity to the adjacent nature reserve which is a dog exclusion zone.



FIGURE 1: Jim Pike Avenue Site Investigation Extents

Two locations were considered for this site. These options positioned the dog park either to the north inside the existing EPSDD off-leash dog area between the two groups of existing trees or to the south in the open space (refer to Appendix C for Spatial Diagrams).

Both sites were discussed with Place Management and ACT Roads. It was determined that retaining the existing off-leash area as is and adding an additional dog park with access from Jim Pike Avenue be the best value add for the site as users would have the ability to use both the existing off-leash area and the new dog park. Parking and entering the site off Woodcock Drive was not supported by Place Management and ACT Roads.

Site Investigation Matrix

CRITERIA	SUITABILITY	NOTES
LOCATION	Partially	<ul style="list-style-type: none"> Separated from the community by major and minor collectors 5.5km from the nearest dog park (Tuggeranong)
COMPLEMENTARY USES	No	<ul style="list-style-type: none"> The proposed development may have some incompatibilities or perceived inconsistencies with the NUZ4 zoning and adjacent Lanyon Landscape Conservation area There is the opportunity to connect to existing off-leash area and walking track around the adjacent hill to the Point Hut Picnic Area and Point Hut West off-leash Dog Beach
ACCESSIBILITY	Partially	<ul style="list-style-type: none"> DDA compliant access is possible from the boundary to the proposed car park and inside the enclosure. Compliant access from the adjacent pedestrian network not possible due to verge grades.
LANDFORM	Partially	<ul style="list-style-type: none"> East part of the site has an average of 1 in 30 fall to the east West part of the site has an average of 1 in 20 fall to the north west There is a relatively flat high point in the centre of the site
PARKING OPPORTUNITIES	Partially	<ul style="list-style-type: none"> Parking possible off Jim Pike Avenue Parking not supported off Woodcock Drive
TREES	Yes	<ul style="list-style-type: none"> Existing trees throughout the site particularly in the north and west
ISSUES & CONSTRAINTS		<ul style="list-style-type: none"> No existing pedestrian infrastructure (new links crossing adjacent roads would be required) Equestrian bicentennial trail runs adjacent to the site (posing a risk of spooking horses) Parking entry needs to consider vehicle approach speeds and distance to intersections Existing African lovegrass requires remediation Poor site drainage and boggy soil Higher risk of fire damage to assets built in the outer asset protection zone

3. DESIGN STATEMENT

The following statements refer to the final preliminary sketch plans (refer to Appendix F for landscape and Appendix G for civil). The statements outline the design intent for each site, where the design departs from the Project Brief and provides reasoning for each departure.

Jim Pike Avenue

The ACT Government preferred location for Gordon utilises the flat section of the Jim Pike Avenue verge to provide access for parking on a simple gravel surface.

The dog park will feature a natural materiality with accessible paths, dryland grass, native trees, low shrubs and agility elements to suit the more natural situation of the site. The design diverts overland flow around the northern edge of the enclosure.

With some minor regrading, this site will be able to achieve an accessible path of travel from the block boundary to the DDA compliant parking spaces and through the enclosures to enable access and inclusion for the community throughout the space.

The proposed dog park is approximately 2,280m² including 1880m² for all sizes and a small 400m² for small dogs. Like the Franklin site, this proposal is smaller than what is typically allowed for however the amenity that is provided throughout the park should be seen as a greater asset than a higher spatial yield.

This site is currently not easily or safely accessed by pedestrians or cyclists and will require some modification to the roadway to enable pedestrian access from the path on the opposite side of Jim Pike Avenue. This has been allowed for via the inclusion of a pedestrian crossing.

Stormwater

The stormwater infrastructure across this site will be minimal as the carpark will drain onto the surrounding landscape. Having the stormwater runoff onto the landscape areas takes away the need to use OSD and OSR tanks as the post developed runoff volumes and flowrates will be unchanged from the predeveloped site. Landscape features and swales will slow down the flow of stormwater and allow it to enter the downstream system in a more controlled manner. This only works for sites with a considerably greater percentage of pervious to impervious area, such as the proposed Jim Pike site. Considering that the impact on downstream stormwater infrastructure is negligible there is no need for OSD and OSR tanks.

For this site, a culvert crossing will need to be installed under the driveway as it crosses a substantial overland flow path. There will be swales used to direct the upstream runoff around the carpark and towards existing overland flow paths.

Driveway Access

The Jim Pike driveway access is along the local frontage of Jim Pike Avenue. Since the carpark has less than 25 parking spaces it falls under an access facility category of 1, and therefore needs to have an entry width of 3.0 to 5.5m. The original carpark layout was flipped to make the access driveway not intersect the filter lane exiting Birchall St onto the northbound lane of Jim Pike Ave. This enables both left and right-hand turning for entering and exiting the development.

Pavements

The proposed carpark for the Jim Pike site will have a gravel finish using a 150mm DGB20 layer and a 200mm DGS20 layer, both compacted to 98%MMDD. The choice of a gravel finish is the cheaper option, but it has increased maintenance and upkeep over a standard asphalt carpark to ensure it stays functional and aesthetically pleasing over time. All internal pedestrian pavements and driveways will be of concrete finish. Footpaths will be constructed with 100mm concrete, reinforced with SL72 mesh at 40mm top cover on a 100mm layer of DGB20 compacted to 98% MMDD. Access

driveways and DDA compliant car spaces will be constructed with 150mm thick concrete, reinforced with SL82 mesh at 50mm top cover on a 100mm layer of DGB20 compacted to 98% MMDD.

Carpark Access Design

The Jim Pike site carpark can comply with DDA carpark grade standards with minimal earthworks involved. Some minor cut and fill will be required along the southern end of the carpark where the existing grades steepen. The new car spaces have widths of 2.6m, length of 5.4m and an aisle width of 5.8m and have been designed to accommodate a user class 3 as per the PVAGC. These parking dimensions will be shown using wheel stops and reflective pavement markers.

Design Response Matrix

CRITERIA	SUITABILITY	METHODOLOGY
LOCATION	Yes	<ul style="list-style-type: none"> Set within existing open space Generous landscape buffer between adjacent residents and the fenced dog park provides visual and noise buffers
COMPLEMENTARY USES	Yes	<ul style="list-style-type: none"> The proposed development is compatible with NUZ4 zoning
ACCESSIBILITY	Yes	<ul style="list-style-type: none"> Accessible parking provision is provided in the proposed carpark All paths within the proposal are DDA compliant from the block boundary. No stairs or ramps are required
PARKING OPPORTUNITIES	Yes	<ul style="list-style-type: none"> Parking is proposed. The proposed parking bays will require grade adjustments to be DDA complaint accessible. 2 DDA compliant spaces and 20 standard spaces have been provided.
ISSUES & CONSTRAINTS		<ul style="list-style-type: none"> No existing pedestrian infrastructure (new links crossing adjacent roads would be required) Equestrian bicentennial trail runs adjacent to the site. A 10m wide zone has been provided for equestrian users. Parking entry considers vehicle approach speeds and distance to intersections. Minor changes to existing required.



FIGURE 2: Jim Pike Dog Park Concept



FIGURE 3: Jim Pike Dog Park Gravel Car Park Arrangement

4. AUTHORITY CONSULTATION

The site works and works external to the site boundary proposed in the PSP will require approval from ACTPLA and TCCS.

Initial consultation with TCCS shall be undertaken on approval of the PSP layout. After the initial TCCS consultation ACTION Buses will be consulted for their approval of proposed bus facilities.

Consultation with ACTPLA is expected to consist of a DA submission. It is anticipated that by DA stage approvals from TCCS and ACTION will have been granted and shall be submitted as supporting information with the DA.

5. UNRESOLVED ISSUES

The following issues remain unresolved at the draft PSP stage and will be resolved throughout the final PSP and FSP stages:

- Fire risk and building in the outer asset protection zone

6. RESOLVED ISSUES

The following issues have been resolved during the Final PSP stage:

- Community consultation
- Services connections and scope (Closest water connection on opposite site of Jim Pike Avenue)
- Pedestrian connection back to main Point Hut Pond District Park
- Proximity to equestrian trail (Bicentennial Trail)

7. PRELIMINARY COST ESTIMATE

The below figures factor in a nominal 10% contingency however are not guaranteed and are opinions of probable cost based on recent landscape and civil projects delivered in the ACT region. All figures are subject to confirmation through standard tender processes.

It should also be noted that prices for all elements are fluctuating due to the rising cost of living, materials shortages and supply timings can vary substantially due to the Covid-19 pandemic.

Project Budget Breakdown

\$1,800,000.00 total project budget

[REDACTED]

Jim Pike Avenue

[REDACTED]

8. ACT PLANNING AND LAND AUTHORITY SUBMISSION REQUIREMENTS

Jim Pike Avenue

The current land usage for both blocks is designated as NUZ4: River Corridor.

The following general codes may apply to this site:

Access and Mobility General Code

Parking and Vehicular Access General Code

Bicycle Parking General Code

Crime Prevention Through Environmental Design General Code

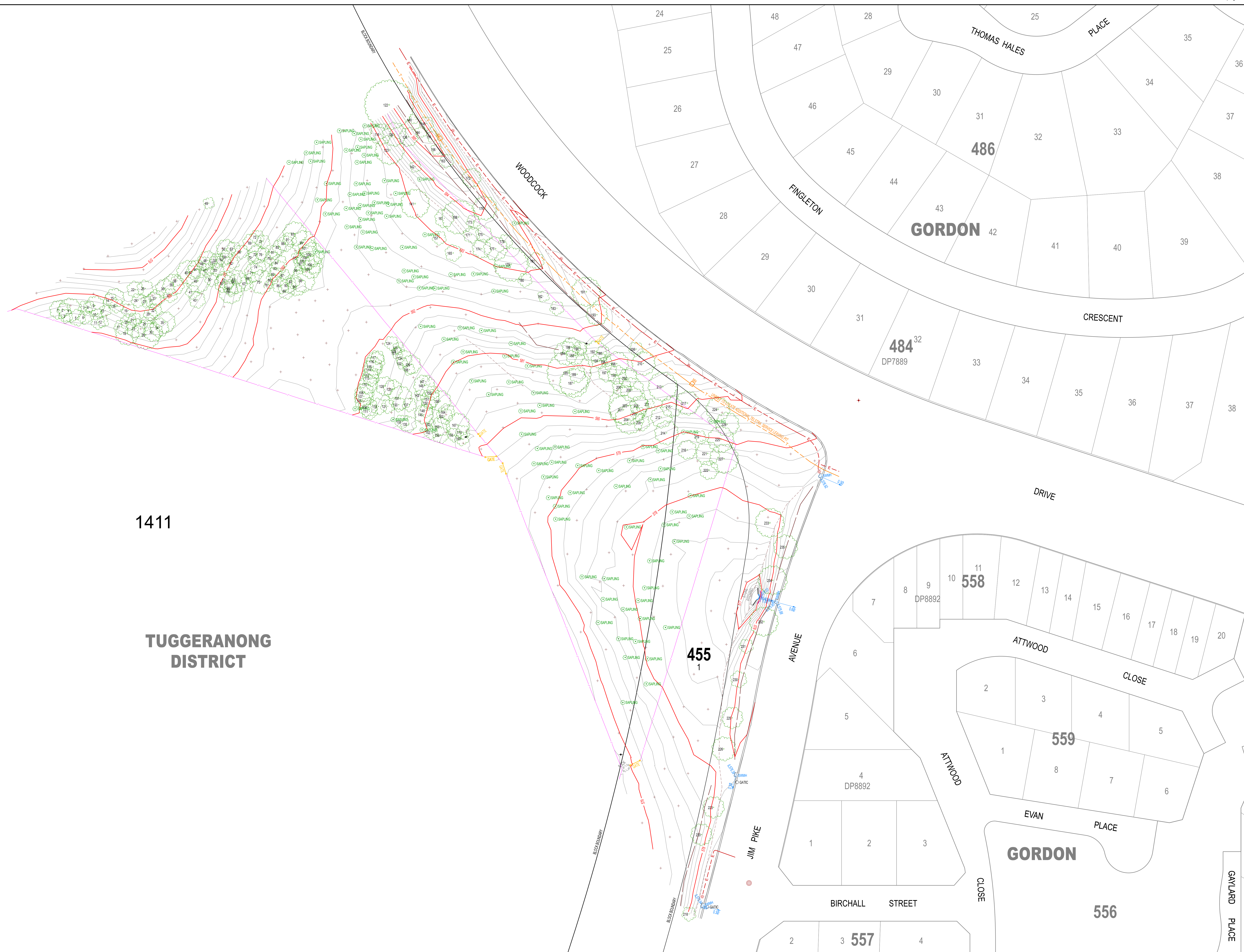
Parking and Vehicular Access General Code

Planning for Bushfire Risk Management General Code

Signs General Code Water Use and Catchment General Code

Water Ways: Water Sensitive Urban Design General Code

APPENDIX A: SURVEY INFORMATION



NOTES: ALL STORMWATER MANHOLE LIDS WERE IN GOOD CONDITION AT TIME OF SURVEY

LEGEND	
	AG DRAIN
	STORMWATER MANHOLE INVERT
	STORMWATER MANHOLE
	GATIC MANHOLE
	LIGHT POLE
	TELECOM MANHOLE SIGN
	SURVEY STEEL ROD
	SURVEY CSM
	TREE
	FENCE
	LOG BARRIER
	EL POWERLINE US
	TELECOM LINE US
	KERB SLAB
	ROCK
	STONE RYTHING
	BOTTOM OF BANK
	TOP OF BANK
	MAJOR CONTOUR
	MINOR CONTOUR

Amendments		
No.	Description	Date
A	ORIGINAL SURVEY	21-07-2022
B	SURVEY CERTIFICATE	18-01-2023

Surveyed by:	ACT SURVEY PTY LTD
Date:	JANUARY 2023
Proj No.:	2022072101
Drawn by:	CUYEE DESIGN



DETAIL SURVEY & SURVEY CERTIFICATE

ROBERT J MCCAULEY - REGISTERED SURVEYOR No.325
Surveyor, Registered Under Surveyors ACT 2007

Designed by	
Drawn by	
Checked by	
Approved by	

DA Number:	SITE DETAILS
	PART BLK 1 SEC 455
	DIVISION OF GORDON
	& PART BLOCK 1411
	TUGGERANONG
	DISTRICT
APPLICATION NAME	ENVIROLINKS





PROJECT

**DETAIL SURVEY
GORDON DOG PARK SITE 1
PART BLK 1 SEC 455 DIVISION OF GORDON
AND PART BLOCK 1411
TUGGERANONG DISTRICT**

Drawing Title		VER B
DETAIL SURVEY & SURVEY CERTIFICATE		Sheet No.
Scale 1:500	Contour Interval 0.2	A0
Drg No. 2022072101-B		Datum AHD 1 OF 1

APPENDIX B: SITE ANALYSIS

LEGEND

-  EXISTING TREE CANOPY
To be retained
-  EXISTING PEDESTRIAN MOVEMENT
-  BICENTENNIAL TRAIL
-  EXISTING LOW POINT / SWALE WITH STANDING WATER AND BOGGY SOIL

NOTES

- (A)** EXISTING INFORMAL DOG PARK
Extends west nom 3750m²
- (B)** GATE ACCESS
- (C)** CULVERT
- (D)** CLOSEST WATER CONNECTION POINT (BIRCHALL STREET)



NOT FOR CONSTRUCTION

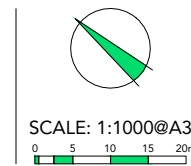
COPYRIGHT ©

LANDSCAPE ARCHITECT



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5 / 61 Dundas Court PHILLIP ACT 2606

CLIENT



BLOCK 1411 TUGGERANONG AND BLOCK 1 SECTION 455 GORDON ACT

SITE 3 ANALYSIS
21 JULY 2022

JOB NO.

22028

ISSUE.

B

SK10

APPENDIX C: SITE SPATIAL DIAGRAMS

- LEGEND**
- ACCESS POINT
 - EXISTING PEDESTRIAN MOVEMENT
 - BICENTENNIAL TRAIL
 - EXISTING LOW POINT / SWALE WITH STANDING WATER AND BOGGY SOIL

- NOTES**
- (A)** PROPOSED DOG PARK
To be organic shape
Enclosed with 1.8m high fence
 - (B)** NEW CARPARK
For 6 - 8 spaces
 - (C)** SIGNAGE
Refer SK14 inspiration images
 - (D)** LANDSCAPE BUFFER
Mix of native & exotic trees as green buffer
 - (E)** POP UP ACTIVATION SPACE
Area for small pop up venues eg cafe vendor, dog training
 - (F)** EXISTING INFORMAL DOG PARK
To be retained with African Lovegrass remediation works delivered as a separate body of works
 - (G)** CLOSEST WATER CONNECTION POINT (BIRCHALL STREET)
NOM 130m of pipe including under bore of Jim Pike Avenue

SITE CHARACTER



INSPIRATION



NOT FOR CONSTRUCTION

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LANDSCAPE ARCHITECT

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CLIENT





ACT
Government

SCALE: 1:1000@A3
0 5 10 15 20m

BLOCK 1411 TUGGERANONG AND BLOCK 1 SECTION 455 GORDON ACT
SITE 3 SPATIAL DIAGRAM
OPTION 1
21 JULY 2022

JOB NO. 22028
ISSUE. **SK11**
B

LEGEND

-  ACCESS POINT
-  EXISTING PEDESTRIAN MOVEMENT
-  BICENTENNIAL TRAIL
-  EXISTING LOW POINT / SWALE WITH STANDING WATER AND BOGGY SOIL

NOTES

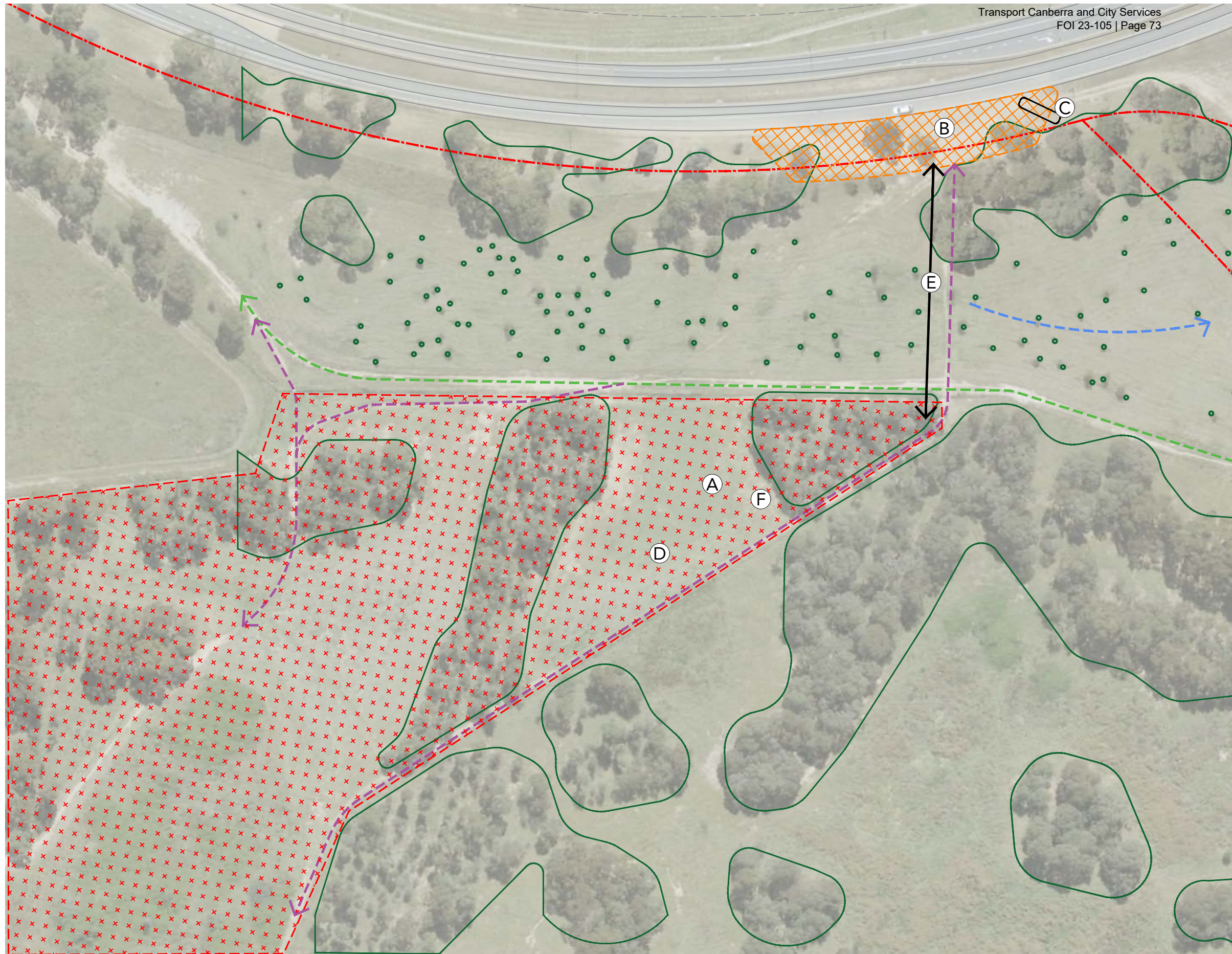
- (A)** EXISTING OFF LEASH DOG PARK UPGRADED
Build on natural / native character of site with dog nature play style
Upgrade all fencing to 1.8m height
- (B)** INFORMAL CARPARK FORMALISED WITH LINE MARKING
6 - 8 spaces
- (C)** SIGNAGE
- (D)** ADDITIONAL TREE PLANTINGS
- (E)** MAIN ACCESS
Access track made good with small grp bridge to ensure water flow through site maintained
- (F)** SHELTER LOCATION

CLOSEST WATER CONNECTION POINT (BIRCHALL STREET)
NOM 350m of pipe including under bore of Jim Pike Avenue

SITE CHARACTER



INSPIRATION



NOT FOR CONSTRUCTION

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APPENDIX D: TREE ASSESSMENT REPORT

TREE ASSESSMENT REPORT

BUILD MORE DOG PARKS

Site 3: Block 1411 Tuggeranong and Block 1 Section 455 Gordon

Jim Pike Avenue

Issue A: 26.08.2022

Prepared for:

INFRASTRUCTURE DELIVERY PARTNERS

MAJOR PROJECTS

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DOCUMENT CONTROL TABLE

REVISION	ISSUED FOR	BY	APPROVED	DATE
A	INFORMATION	█	█	26.08.22

1. INTRODUCTION

Enviro Links Design Pty Ltd was engaged by Infrastructure Delivery Partners Major Projects to undertake the design and documentation of the Build More Dog Parks Project. As part of this process, Enviro Links Design Pty Ltd has prepared a Tree Assessment (TA) for the nominated area located on Block 1411 Tuggeranong and Block 1 Section 455 Gordon. This report highlights the value of individual trees to assist with development.



FIGURE 1: Jim Pike Avenue Site Investigation Extents

2. METHODOLOGY

This Tree Assessment was undertaken by non-invasive visual review means only. No coring, probing, excavation, dissection or laboratory analysis was undertaken. Assessments were made on visual and physical (external and above-ground measurements) only.

The following describes in general terms the processes and criteria with which trees were assessed.

Tree No / Group No

- A unique reference number assigned to each tree / tree group

Botanical Name

- Botanical name of the tree / predominant species of tree group

Height / Canopy Diameter (Physical Dimensions)

- Height of tree / average height of tree group in metres (m)
- Canopy diameter in metres shown as the maximum crown width of the tree or group of trees

Number of Trunks

- Number of trunks at 1 metre above ground level

Trunk Circumference

- Single trunks circumference in metres at 1 metre above ground level
- Multiple trunks cumulative total of all trunks in metres at 1 metre above ground level

General Health

- Excellent (E), Medium (M), Fair (F) or Poor (P)

Structural Defects / Decay

- Structural defects or evidence of internal decay

Past Damage / Root Disturbance

- Evidence of past damage to the tree or disturbance within the root zone

Disease / Infestation

- Evidence of past or present disease or insect infestation

Growth Stage

- Juvenile (J), Semi-Mature (SM), Mature (M) or Over-Mature (OM)

Quality Rating

- Exceptional (E), High (H), Medium (M), Poor (P) or Low (L)

Notes

- General comments and notes

3. QUALITY RATING

E - EXCEPTIONAL

A tree / tree group that is an outstanding example of their species and have significant visual impact.

They have most of the following: mature specimens with grand appearance and stature, may have unusual character, may be a rare species, well balanced, cultural heritage importance, significant scientific value, presents a low hazard/safety risk.

Significant value within the landscape context of the site and should be preserved.

H - HIGH

A tree / tree group that is a good example of their species and have significant visual impact.

They have most of the following: high arboricultural value or potential, good form, good health, good size, little or no epicormic shoots or other arboricultural problems.

Good value within the landscape context of the site and should be preserved if possible.

M - MEDIUM

A tree / tree group that is generally complying with most of the following: reasonable form / reasonable current size, good health / growth potential, healthy specimen, presents a medium to low hazard / safety risk.

Has some value within the landscape context of the site and should be retained if appropriate to land use and future management cost and risks.

P - POOR

A tree / tree group generally complying with most of the following: specimen with poor growth or poor form and possible health problems, presents a high or very high hazard/safety risk.

Has little value within the landscape context and to be removed if necessary. Can be retained if appropriate to land use and future management costs and risks.

L - LOW

A tree / tree group that is generally complying with most of the following: specimen with low growth or poor form and possible health problems, presents a high or very high hazard/safety risk.

Has little to no value within the landscape context and should be removed as part of development.

D - DEAD

Dead tree

4. TREE ASSESSMENT SUMMARY

This Tree Assessment was undertaken on 17 August 2022. A total of 25 individual trees and 6 tree groups were assessed. All trees are on unleased territory land and require approval for removal or tree damaging activities. There are no registered trees in the area.

The assessment identified the following individual trees:

- 23 Medium Value
- 2 Poor Value
- 3 Medium Value Groups
- 3 Low Value Groups

The trees are a mix of native species including *Callitris endlicheri*, *Casuarina Cunninghiana*, *Eucalyptus blakelyi*, *Eucalyptus dives*, *Eucalyptus mannifera*, *Eucalyptus melliodora*, *Eucalyptus stellulata* and *Eucalyptus mannifera* and exotic *Quercus palustris*. The trees are of some landscape value and should be retained and protected wherever possible.



Figure 2: Tree group 5 – Recent Eucalypt plantings



Figure 3: View north from Jim Pike Avenue



Figure 4: Tree group 4 – View from entry to existing off leash dog park



Figure 5: Tree 191



Figure 6: Tree 233

APPENDIX E: TREE ASSESSMENT PLANS

**LEGEND - Tree Assessment
Sheets 2101-2105**

 BLOCK BOUNDARY

TREE IDENTIFICATION

9 EMF M TREE NUMBER
9 EMF M TREE SPECIES CODE
9 EMF M TREE QUALITY RATING

VALUE RANKING

The delineation within the value classification is based on the works being on leased land and therefore under the jurisdiction of the TCCS Urban Tree Unit (UTU) All trees on Government Land are regarded as protected trees and can not be removed or damaged or works undertaken near them without the approval of the UTU. (The Tree Act. and Regulated Tree definitions are therefore applicable to leased site, unless otherwise advised).

	E EXCEPTIONAL	A tree / tree group that is an outstanding example of their species and have significant visual impact. They have most of the following: mature specimens with grand appearance and stature, may have unusual character, may be a rare species, well balanced, cultural heritage importance, significant scientific value, presents a low hazard/safety risk. Significant value within the landscape context of the site and should be preserved.
	H HIGH	A tree / tree group that is a good example of their species and have significant visual impact. They have most of the following: high arboricultural value or potential, good form, good health, good size, little or no epicormic shoots or other arboricultural problems. Good value within the landscape context of the site and should be preserved if possible.
	M MEDIUM	A tree / tree group that is generally complying with most of the following: reasonable form / reasonable current size, good health / growth potential, healthy specimen, presents a medium to low hazard / safety risk. Has some value within the landscape context of the site and should be retained if appropriate to land use and future management cost and risks.
	P POOR	A tree / tree group generally complying with most of the following: specimen with poor growth or poor form and possible health problems, presents a high or very high hazard/safety risk. Has little value within the landscape context and to be removed if necessary. Can be retained if appropriate to land use and future management costs and risks.
	L LOW	A tree / tree group that is generally complying with most of the following: specimen with low growth or poor form and possible health problems, presents a high or very high hazard/safety risk. Has little to no value within the landscape context and should be removed as part of development.
	D DEAD	Dead tree

TREE ASSESSMENT NOTES:

1 - Please note tree locations & numbers were located by surveyor on plan and were verified from site inspection undertaken by enviro links design pty ltd. Tree numbers allocated by enviro links design.

2 - Please note the inspection was limited to visual review by a Landscape Architect without coring, probing, excavation, dissection and laboratory analysis. No qualified Arborist review was undertaken. There is no guarantee or warranty that problems or deficiencies in the assessed trees may not arise in the near future or once construction activities commence.

3 - It should be noted that trees are not geometric elements; their positions, shapes, sizes and heights as indicated by the Surveyor and ELD are indicative only. Field checks are required on any tree or items or detail which are considered critical to the design.

TREE ASSESSMENT SPECIES LIST

Refer sheet 2106 for full assessment

CODE	BOTANICAL NAME	COMMON NAME
CLE	<i>Callitris endlicheri</i>	Black Cypress Pine
CSC	<i>Casuarina cunninghamiana</i>	River She-oak
EBL	<i>Eucalyptus blakelyi</i>	Blakely's red gum
EDI	<i>Eucalyptus dives</i>	Lemon-scented Gum
EMF	<i>Eucalyptus mannifera</i>	Brittle Gum
EME	<i>Eucalyptus melliodora</i>	Yellow Box
E sp.	<i>Eucalyptus species</i>	Eucalyptus species
MIX	Mixed natives	Mixed natives

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GORDON JIM PIKE AVENUE ACT**

**TREE ASSESSMENT
LEGEND & NOTES**

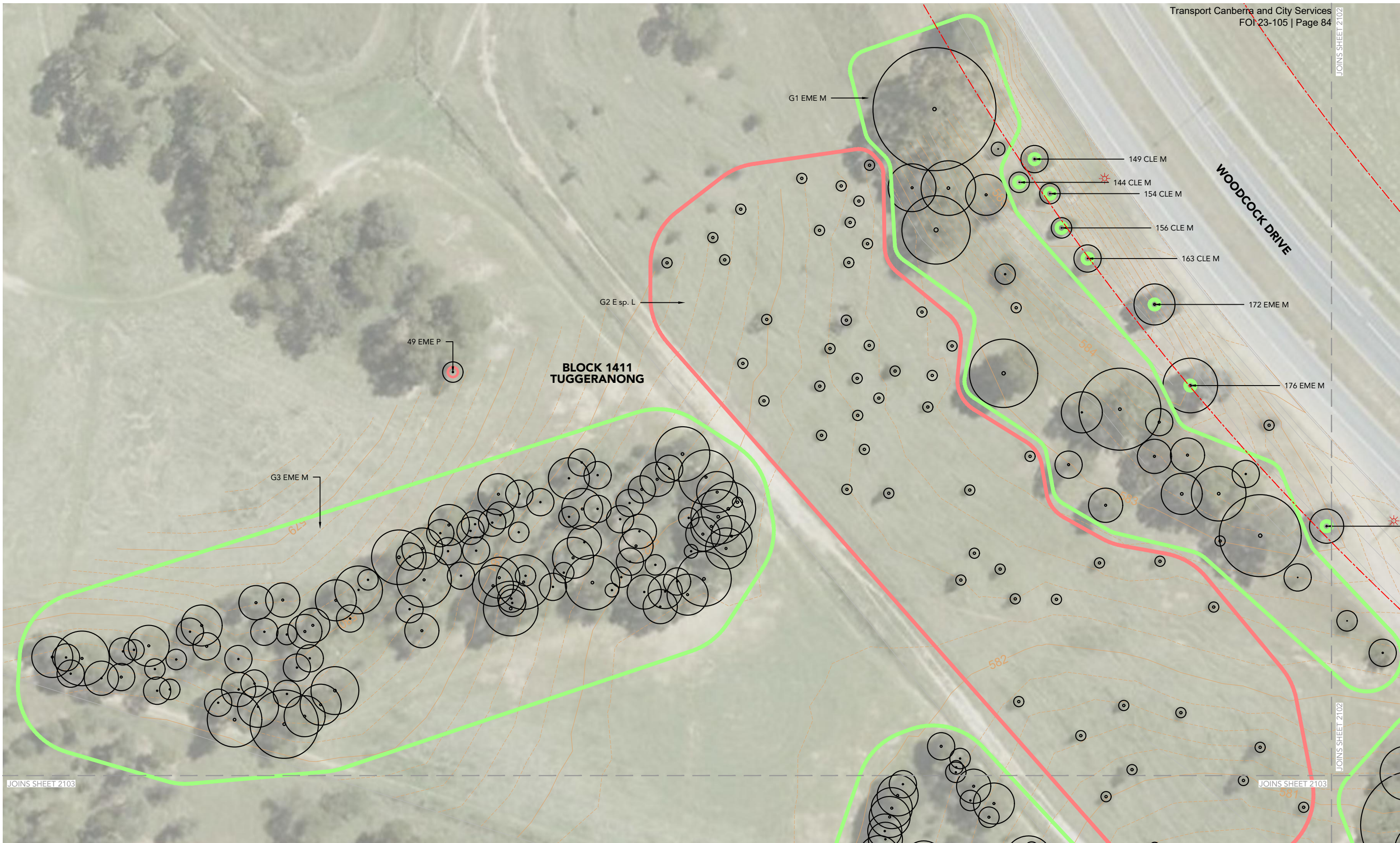
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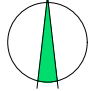
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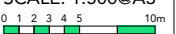
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**TREE ASSESSMENT
PLAN 1**

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
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**TREE ASSESSMENT
PLAN 2**

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
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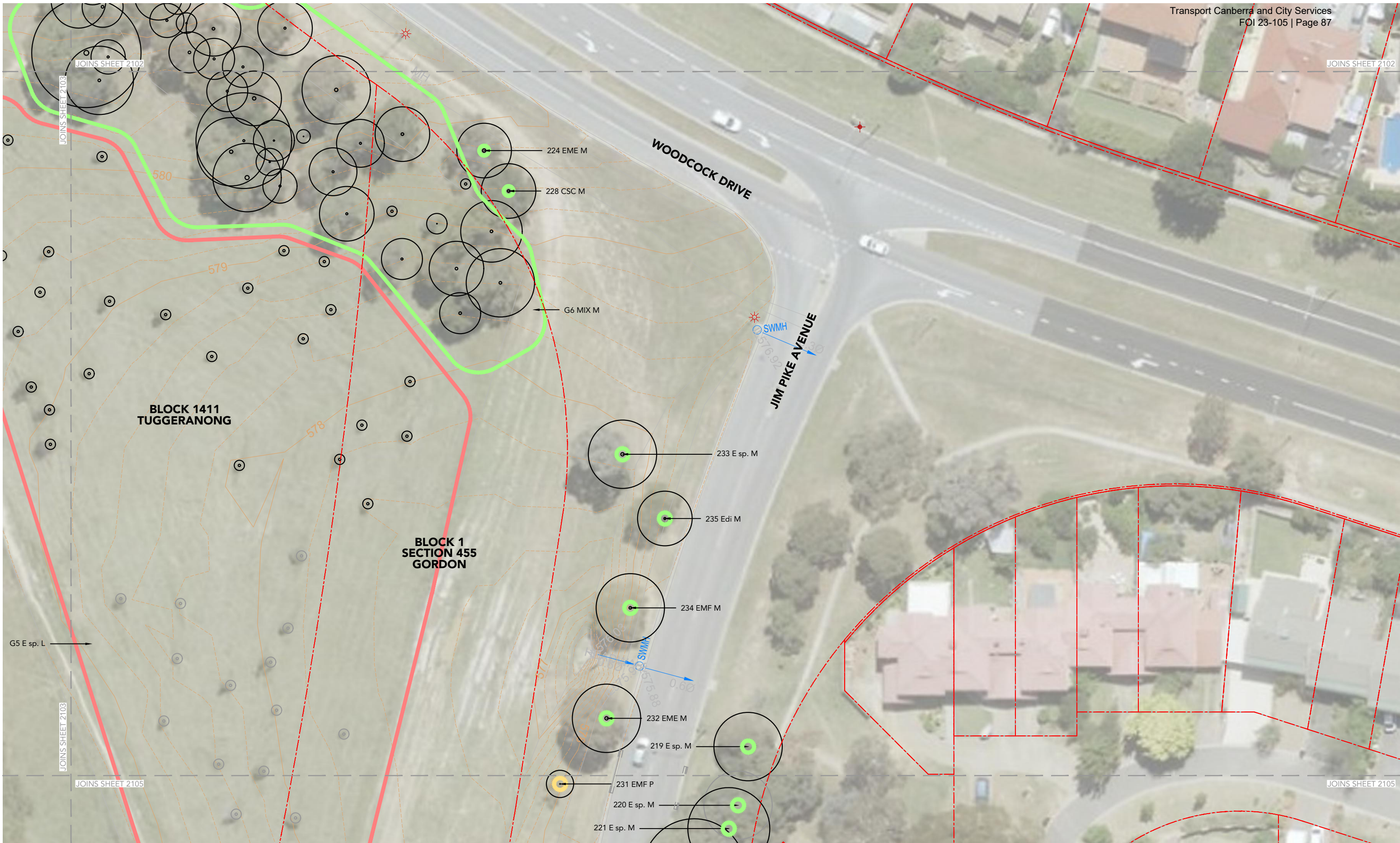
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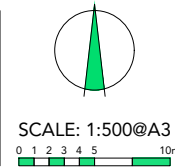
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**TREE ASSESSMENT
PLAN 4**

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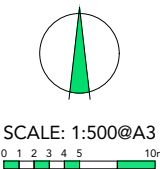
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**BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT**
**TREE ASSESSMENT
PLAN 5**

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2105

Tree No / Group No	Botanical Name	Height (m)	Canopy dia. (m)	No. Trunks	Trunk circ. (m)	General Health (E/M/F/P)	Structural Defects/ Decay (Y/N)	Past Damage / Root Disturbance (Y/N)	Disease / Infestation (Y/N)	Growth Stage (J/SM/M/OM)	Quality Rating (E/H/M/P/L)	Protected Status (Y/N/TCCS)	Comments
49	<i>Eucalyptus melliodora</i>	6	3	1	0.63	F	N	N	N	SM	P	TCCS	Dead wood
149	<i>Callitris endlicheri</i>	4	4	3	0.63	M	N	N	N	SM	M	TCCS	
144	<i>Callitris endlicheri</i>	4	3	1	0.3	M	N	N	N	SM	M	TCCS	
154	<i>Callitris endlicheri</i>	4	3	1	0.3	M	N	N	N	SM	M	TCCS	
156	<i>Callitris endlicheri</i>	4	3	1	0.3	M	N	N	N	SM	M	TCCS	
163	<i>Callitris endlicheri</i>	4	4	1	0.3	M	N	N	N	SM	M	TCCS	
172	<i>Eucalyptus melliodora</i>	8	6	1	0.94	M	N	N	N	SM	M	TCCS	Robust
176	<i>Eucalyptus melliodora</i>	8	8	1	0.94	M	N	N	N	SM	M	TCCS	Robust
181	<i>Eucalyptus melliodora</i>	6	5	1	0.63	M	N	N	N	SM	M	TCCS	Dead wood on lower limbs
191	<i>Eucalyptus melliodora</i>	12	10	1	1.2	M	N	N	N	SM	M	TCCS	Robust
193	<i>Eucalyptus mannifera</i>	9	7	1	0.94	M	N	N	N	SM	M	TCCS	Robust
206	<i>Casuarina cunninghamiana</i>	6	4	1	0.94	M	N	N	N	SM	M	TCCS	
224	<i>Eucalyptus melliodora</i>	9	8	3	1.57	M	N	N	N	SM	M	TCCS	
228	<i>Casuarina cunninghamiana</i>	12	8	2	1.26	M	N	N	N	M	M	TCCS	Growing entwined with <i>Callitris endlicheri</i>
233	<i>Eucalyptus species</i>	14	10	1	1.57	M	N	N	N	M	M	TCCS	
235	<i>Eucalyptus dives</i>	7	8	1	0.94	M	N	N	N	M	M	TCCS	Twisted form
234	<i>Eucalyptus mannifera</i>	8	10	2	1.26	M	N	N	N	SM	M	TCCS	Graceful tree
232	<i>Eucalyptus melliodora</i>	14	10	1	1.57	M	Y	N	N	M	M	TCCS	Suckering from base. Bark damage at base
231	<i>Eucalyptus mannifera</i>	4	4	1	0.31	F	N	N	N	SM	P	TCCS	Dead wood. Struggling.
230	<i>Eucalyptus melliodora</i>	5	5	1	0.6	F	Y	N	N	SM	M	TCCS	Lost limbs have caused trunk damage. Canopy healthy.
229	<i>Eucalyptus melliodora</i>	6	7	2	0.94	M	N	N	N	SM	M	TCCS	Robust
226	<i>Eucalyptus blakelyi</i>	9	8	1	0.94	M	N	N	N	SM	M	TCCS	
223	<i>Eucalyptus species</i>	9	7	1	0.94	M	N	N	N	SM	M	TCCS	
220	<i>Eucalyptus mannifera</i>	7	7	2	0.94	M	N	N	N	SM	M	TCCS	Graceful tree
218	<i>Eucalyptus species</i>	3	4	2	0.63	P	N	N	N	SM	L	TCCS	Indeterminate species, badly damaged. Lots of dead wood.
219	<i>Eucalyptus species</i>					M	N	N	N	M	M	TCCS	On opposite side of Jim Pike Avenue to proposed dog park
220	<i>Eucalyptus species</i>					M	N	N	N	M	M	TCCS	On opposite side of Jim Pike Avenue to proposed dog park
221	<i>Eucalyptus species</i>					M	N	N	N	M	M	TCCS	On opposite side of Jim Pike Avenue to proposed dog park
222	<i>Eucalyptus species</i>					M	N	N	N	M	M	TCCS	On opposite side of Jim Pike Avenue to proposed dog park
G1	<i>Eucalyptus melliodora</i>	1-12	1-10	1-3	0.4-1.2	M	N	N	N	SM	L	TCCS	In good health. <i>Eucalyptus mannifera</i> , <i>Casuarina cunninghamiana</i> . Some good specimens. Tree survey numbers 119, 122, 123, 126, 136, 140, 141, 142, 157, 161, 168, 171, 173, 174, 175, 177, 178, 179, 180, 182, 183.
G2	<i>Eucalyptus species</i>	1-4	1-3	1	0.3	M	N	N	N	J	L	TCCS	Young trees, in good health
G3	<i>Eucalyptus melliodora</i>	1-8	1-6	1-3	0.2-1	M	N	N	N	SM	M	TCCS	Single species group. Some dead wood. Understory of juvenile trees and weeds. Tree survey numbers 1 - 48, 50 - 105
G4	<i>Eucalyptus melliodora</i>	1-8	1-6	1-3	0.2-2	M	N	N	N	SM	M	TCCS	Single species group. Some dead wood. Tree survey numbers 106 - 118, 120 - 121, 124, 125, 127 - 135, 137 - 139, 143, 145 - 148, 150 - 153, 155, 158 - 160, 162, 164, 166, 167, 169, 170.
G5	<i>Eucalyptus species</i>	1-4	1-3	1-2	0.1-0.3	M	N	N	N	J	L	TCCS	
G6	Mixed natives	3-15	1-15	1-3	0.2-2	M	N	N	N	SM-M	M	TCCS	Group contains <i>E. mannifera</i> , <i>E. melliodora</i> , <i>Acacia decurrens</i> . Some fine examples of these species.

I:\ELD Server\01 Projects\2022\22028 Build More Dog Parks\01 Drawings\00 AutoCAD\GORDON JIM PIKE AVE\22028 TREE (GORDON JIM PIKE AVE).dwg

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REV	ISSUE	DATE	CHECK	DRAWN
A	FOR INFORMATION	26.08.2022	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
B	FINAL PRELIMINARY SKETCH PLAN / DA	14.02.2022	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT

TREE ASSESSMENT
SCHEDULE

JOB NO.
22028

ISSUE.
B



APPENDIX F: DRAFT PRELIMINARY SKETCH PLANS (LANDSCAPE)

BLOCK 1411 TUGGERANONG AND BLOCK 1 SECTION 455 GORDON ACT **BUILD MORE DOG PARKS**

FINAL PRELIMINARY SKETCH PLAN / DEVELOPMENT APPLICATION LANDSCAPE WORKS PACKAGE



LOCATION PLAN

DRAWING SCHEDULE

DWG NO.	TITLE	DATE	REV
22028-LA2000	COVER PAGE	14.02.2022	
22028-LA2100	TREE ASSESSMENT LEGEND & NOTES	14.02.2022	B
22028-LA2101	TREE ASSESSMENT PLAN 1	14.02.2022	B
22028-LA2102	TREE ASSESSMENT PLAN 2	14.02.2022	B
22028-LA2103	TREE ASSESSMENT PLAN 3	14.02.2022	B
22028-LA2104	TREE ASSESSMENT PLAN 4	14.02.2022	B
22028-LA2105	TREE ASSESSMENT PLAN 5	14.02.2022	B
22028-LA2106	TREE ASSESSMENT SCHEDULE	14.02.2022	B
22028-LA2130	LANDSCAPE MANAGEMENT AND PROTECTION LEGEND & NOTES	14.02.2022	A
22028-LA2131	LANDSCAPE MANAGEMENT AND PROTECTION PLAN 1	14.02.2022	A
22028-LA2132	LANDSCAPE MANAGEMENT AND PROTECTION PLAN 2	14.02.2022	A
22028-LA2133	LANDSCAPE MANAGEMENT AND PROTECTION PLAN 3	14.02.2022	A
22028-LA2200	SITE PLAN	14.02.2022	A
22028-LA2300	GENERAL ARRANGEMENTS LEGEND & NOTES	14.02.2022	A
22028-LA2301	GENERAL ARRANGEMENTS SHEET 1	14.02.2022	A
22028-LA2302	GENERAL ARRANGEMENTS SHEET 2	14.02.2022	A
22028-LA2303	GENERAL ARRANGEMENTS SHEET 3	14.02.2022	A
22028-LA2801	DETAILS SHEET 1	14.02.2022	A
22028-LA2802	DETAILS SHEET 2	14.02.2022	A
22028-LA2901	LANDSCAPE MATERIALS SHEET 1	14.02.2022	A
22028-LA2902	LANDSCAPE MATERIALS SHEET 2	14.02.2022	A

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**LEGEND - Landscape Management & Protection
Sheets 2131 - 2133**


 BLOCK BOUNDARY


TREE IDENTIFICATION

9 EMF M TREE NUMBER
9 EMF M TREE SPECIES CODE
9 EMF M TREE QUALITY RATING

 TREE TO BE RETAINED

 TREE TO BE REMOVED


 TREE PROTECTION ZONE (TPZ)
Regulated and TCCS trees subject to DA works
Canopy dripline plus 2m

 1800 HIGH TEMPORARY PROTECTIVE FENCING
Chain link mesh panels to be maintained for duration of site construction works

 INDICATIVE SITE FENCING

 INDICATIVE SITE ACCESS POINT
Refer Construction Management Plan

 TEMPORARY SITE STORAGE AND WASTE AREAS

 EXTERNAL WORKS
Refer civil and landscape plans

 SERVICES
Refer civil

**TREE SPECIES LIST
REFER SHEET 2106 FOR TREE ASSESSMENT AND FURTHER
INFORMATION**

CODE	BOTANICAL NAME	COMMON NAME
CLE	<i>Callitris endlicheri</i>	Black Cypress Pine
CSC	<i>Casuarina cunninghamiana</i>	River She-oak
EBL	<i>Eucalyptus blakelyi</i>	Blakely's red gum
EDI	<i>Eucalyptus dives</i>	Lemon-scented Gum
EMF	<i>Eucalyptus mannifera</i>	Brittle Gum
EME	<i>Eucalyptus melliodora</i>	Yellow Box
E sp.	<i>Eucalyptus</i> species	Eucalyptus species
MIX	Mixed natives	Mixed natives

Landscape Management & Protection Notes

- General
- These notes must be read in conjunction with the requirements outlined in Reference Document 04.
- It is the responsibility of the developer to ensure that all territory assets are protected from damage.
- No works other than those identified on the approved LMPP are to take place within the Tree Protection Zone (TPZ) of an existing tree. No construction activities such as storage, parking, stockpiling, site sheds, construction access, washdown, excavation etc. are accepted without approval.
- Prior to construction all protection measures indicated on the approved LMPP MUST be implemented onsite. The project team must notify Urban Treescapes (UTS) in writing once the protection measures have been installed and to organise an inspection (via TCCS_CPUTDDCoord@act.gov.au).

- Site Access - Refer Vehicle Access within TPZ also.
- Site access must be strictly through the access points identified on this plan. Access through unleased land that is not identified on the approved LMPP is strictly prohibited.

This section of notes is applicable for all developments

- Storage of materials
- The storage of construction materials and the parking of vehicles or equipment on verges or adjacent public open spaces are not permitted without prior approval from TCCS.
- Only storage and parking locations on unleased land identified on this LMPP are approved.
- Site Accommodation
- Site sheds, site amenities, storage sheds, skips, billboards, or containers are strictly prohibited from being placed on unleased land unless identified on the approved LMPP, and Public Unleased Land Permit.
- Only site amenities on unleased land identified on this LMPP are approved.

This section of notes is applicable for all developments

- Fencing
- Protection fencing
- Fencing must be erected before commencement of any construction activities on site, this includes but is not limited to starting of demolition works, delivery of machinery or materials, stockpiling, storage etc.
- Fencing must be erected in the location, alignments and material indicated on the approved LMPP and must stop access throughout construction.
- Fencing must remain in place for the entirety of the project, and maintained in good, safe working order until operational acceptance is granted. Removal before OA is granted must be approved by TCCS in writing.
- Fencing must be rigid mesh temporary fence panels supported by steel posts and concrete bases. Support posts driven into the ground are STRICTLY prohibited.
- All connecting fixtures/hardware must be securely mounted so fencing cannot be dismantled and removed by the public.
- The use of alternative fencing materials must be discussed with, and approved by TCCS.
- Fencing must be setback from footpaths and civil infrastructure as per REF04 requirements.
- Any deviation from these setbacks must be clearly noted on the LMPP for review by TCCS.

This section is applicable for all development sites adjacent to unleased land. Protection fencing must be identified on the LMPP to protect territory assets adjacent the development site.

- Canopy Protection
- The developer is responsible to minimise any impacts on the tree canopies and protect all existing tree canopies from construction activities.
- Where canopy impacts are identified, the following requirements are mandatory:
 - Identify any pruning requirements on the LMPP by notionally indicating on a photograph where the limbs may need to be pruned or tied back.
 - Where directed by TCCS, a suitably qualified arborist with a minimum Certificate 5 qualification must be engaged to identify the canopy impacts and propose the preferred tie back of limbs or extent of pruning required.
 - Where pruning is identified, refer to section 5 of these notes.
- Branch Pruning of Territory Trees 6.3.1. All pruning and tying of branches must be undertaken by suitably qualified arborists with a minimum Certificate 3 qualification as per best practice AS4373.
- Where practical branches should be tied back clear of the work, and pruning should only be used as last resort.
- A pruning report from the arborist must be completed and issued to TCCS Urban Treescapes (UTS) with the LMPP and LoDR for approval BEFORE pruning activities can commence.
- Once the pruning report has been endorsed by TCCS Urban Treescapes, the project representative must notify TCCS Urban Treescapes of when the pruning is planned to take place (via TCCS_CPUTDDCoord@act.gov.au).

This section of notes is applicable where the existing canopy of a tree on unleased land is likely to be impacted by construction works. The following canopy protection requirements are mandatory.

This section of notes is applicable wherever pruning is required to trees on unleased land. All pruning activities MUST be indicated on the approved LMPP.

- Trunk/Branch Protection
- Protection battens must be put in place before commencing works and maintain in good condition throughout the work period. Protection battens can only be removed at the completion of works.
- Trunk Protection (as per current AS4970 requirements)
 - Loosely wrap the trunk requiring protection in a thick layer of hessian.
 - Use minimum 2m lengths of timber for the trunk protection and install at base of trunk for full circumference of tree. Space battens so gaps between battens are no greater than 20mm. Battens must be untreated timber free of nails, screws or bolts.
 - Lash battens to tree using straps, rope or hessian webbing ensuring the battens are secure against the tree, but not too tight on the trunk. Battens must be lashed at the top, bottom and middle as a minimum.

- Branch Protection (as per current AS4970 requirements)
 - Where low hanging branches greater than 100mm in diameter are likely to be impacted by the works they will require additional protection.
 - Loosely wrap the branches requiring protection in a thick layer of hessian.
 - Use timber cut to length to suit the branch requiring protection and install to full circumference of branch. Space battens so gaps between battens are no greater than 20mm. Battens must be untreated timber free of nails, screws or bolts.
 - Lash battens to tree using straps, rope or hessian webbing ensuring the battens are secure against the tree, but not too tight on the trunk. Battens must be lashed at the top, bottom and middle as a minimum.

This section is applicable where work is required within the tree protection zone of an existing tree. Trunk protection MUST be installed when work is required within the TPZ of a tree.

- Demolition within the TPZ - Refer also Canopy, Trunk/Branch, Root Protection notes
- Only the demolition works within TPZ areas as indicated on the approved LMPP. Any demolition work within TPZ areas, that is not indicated on the endorsed plan is not approved by Urban Treescapes and an updated LMPP must be provided to TCCS for re-endorsement before commencing the works.

- Demolition of old pavement within TPZ
 - All construction work is to be completed prior to excavation and removal of the existing pavement. This is to ensure the tree roots do not dry out before work is completed.
 - To minimise root damage, the removal of the existing pavement shall be carefully done in small staged sections and only to the depth of the existing material (surface layer and base layer), so as to not cause damage to tree roots.
 - No vehicles or machinery are to be allowed within the TPZ and vehicles and machinery must always stay outside this zone during the removal of the old pavement material.

This section of notes is applicable where existing infrastructure is required to be demolished within the TPZ of an existing tree.

- Excavation within the Tree Protection Zone (TPZ)- Refer also notes section 5.2 and 8.
- The term "Excavation" in relation to this clause means any earth works greater than 50mm in depth from the existing surface level, including trenching for services.
- Only the excavations identified on this LMPP are approved within the TPZ.
- Excavation within the structural root zone (SRZ) of a tree as outlined in AS4970, is STRICTLY prohibited.

This section of notes is applicable where excavation within the TPZ of a tree on unleased land is approved by TCCS. All excavations within the TPZ must be shown on the LMPP, otherwise if excavation is not shown on the LMPP the impact on the trees caused by the excavation is considered unapproved.

- Excavation within the TPZ must be executed using either under-boring, hydro-excavation or hand digging techniques, unless an alternative method has been documented and endorsed by Urban Treescapes.
- Where identified by UTS, excavation to expose roots may be required to be undertaken by low-pressure hydro-excavation using a fan shaped nozzle head that is kept 15cm from soil profile.
- A suitably qualified arborist must be present when excavations through the TPZ of a tree are being executed.
- No roots greater than 30mm in diameter are to be cut, Refer Section 5.2 of these notes.
- If additional excavation within the TPZ is identified to be required through the construction period, the developer/contractor must seek approval for this excavation from TCCS BEFORE starting the works.

- Tree Root Protection - Refer also notes section 5.2
- Most tree roots are found within the top 300mm depth of soil, so the following protection measures MUST be followed when roots are encountered.
- Maintain the good health of the trees that have had disturbance in their root zone by continual watering, at no time shall the disturbed area be allowed to dry out to the detriment of the trees health.
- Where extensive root damage has been caused, the developer must seek advice from an arborist about measures to minimise the impact of the damage on the trees' health (i.e. additional watering, fertilising etc.).
- All exposed roots must be backfilled/covered with soil immediately.
- Backfill around tree roots will be in accordance with AS 4970 to match finished levels. Where site soil is unable to be re-used, soil to meet MITS-09A Soil requirements must be used unless otherwise approved.
- Where roots cannot be covered immediately the roots must be protected from desiccation by lightly watering or covering with hessian which must be kept moist.
- Where proposed works come in contact with tree roots, a layer of geotextile fabric must be placed over roots and underneath any new pavement or infrastructure (driveways and footpaths for example).

- Root pruning
 - Cutting of roots should be the last resort and only undertaken if no other option is available and root cutting is approved by UTS.
 - Alternative construction methodology may be proposed by UTS, such as bridging over, or under-boring under a large root that would compromise ongoing tree health. Roots greater than 30mm in diameter must not be cut. If roots greater than 30mm in diameter are required to be cut, approval from UTS must be sought before cutting.
 - All roots shall be cut with suitable professional equipment and by suitably qualified arborists with a minimum Certificate 3 qualification.
 - Any roots that are required to be removed must be cut cleanly with clean and sharp arborist tools. Tree roots are not to be ripped, torn, or pulled away from the root mass.
 - Any damage to the tree/ tree roots which causes the tree to decline, will require tree replacement at the developer's expense.

- This section is applicable where existing tree roots are found in excavation locations.
- Vehicle access within the TPZ
 - Vehicle access through the TPZ of an existing tree is strictly prohibited unless indicated and approved on the project LMPP.
 - Vehicle access within the structural roots zone (Refer Current AS4970) is strictly prohibited.
 - Vehicle access through a low hanging canopy is strictly prohibited (less than 3.5m clearance from existing ground to the lowest major limb).
 - Clearly mark out the approved access route onsite so vehicles do not deviate from the approved route.
 - Access route stabilisation within the TPZ
 - Place a minimum 200mm layer of organic 25mm wood chip mulch on the area of the TPZ the vehicle route that passes through. The mulch layer is to be maintained at this thickness under areas of traffic for as long as access is required.
 - Place a protective board (Rumble board) over the mulch ensuring each board is securely connected to the next board (as required) with gaps no between boards no greater than 30mm.
 - Boards must be kept in place and in good condition for the duration of the access requirements.
 - Alternative stabilisation materials for the access route such as access for heavy vehicles, must be discussed and approved by TCCS.
 - Where vehicles are likely to conflict with branches, branch protection must be implemented. Refer notes section 3 for limb protection requirements.
 - If pruning of a tree is required to facilitate access, this must be clearly identified on the TCCS approved LMPP. Refer notes section 5 for pruning requirements.
 - Vehicle access through the TPZ of an existing tree must not be closer than 3m to the trunk of the tree (unless otherwise agreed with TCCS).

This section of notes is applicable where any vehicle movement is required through the TPZ of an existing tree. All access through the TPZ of an existing must be indicated on the approved LMPP.

- Rectification of unleased land
- For all Works, other than minor works, and unless otherwise approved by AA, a suitably qualified landscape architect or horticulturist shall be employed to ensure that work in the verge meets the Requirements. The architect/horticulturist shall also be present during any cultivation or restoration of the verge which affects plant material and shall provide certification, endorsed by the Coordinator, that all work, cultivation and restoration have been performed to industry standards.
- (i.e. minor in complexity and / or scope of works and confirmed as a minor works by AA)
- At the finalisation of the development works, the territory assets in unleased land adjacent the development must be unaltered and in the same or better condition than before the development works commenced, unless adjustments to these assets have been approved by TCCS as part of the development approvals.
- Where territory assets on unleased land have been damaged by the development, these assets must be fully rectified at the cost of the developer to the requirements in the TCCS Municipal Infrastructure Technical Specifications, or the requirements in the Composite Verge Landscape Plan as approved by TCCS.

This section of notes is applicable to all developments

- Site specific Tree Protection Measures

This Section is where the proponent or TCCS can insert additional site-specific protection requirements to the above

PROTECTION REQUIREMENTS

- Where roots greater than 300mm are identified that need to be severed, the site superintendent should contact TCCS Urban Treescapes to request an officer to attend the site for an inspection. TCCS Urban Treescapes.
- Washdown areas are strictly prohibited to be located within the TPZ of existing trees.

PRIOR TO AND DURING CONSTRUCTION PERIOD

- No works shall be undertaken without first undertaking Dial Before You Dig (DBYD) <https://www.1100.com.au/> to ensure any infrastructure is identified and protected during the works.

VERGE PROTECTION

Verge protection fencing shall be installed prior to any works commencing (including demolition) and remain in place until construction works are completed. Fencing shall be:

- Continuous 1800mm high chain wire protective fence with concrete bases
- Around the TPZ of any trees or tree groups which may be impacted by the construction works, unless otherwise agreed to in writing by TCCS Urban Treescapes
- 1200mm from back from the kerb
- 600mm inset from driveway access

VERGE REINSTATEMENT

- No works shall be undertaken without first undertaking Dial Before You Dig (DBYD) <https://www.1100.com.au/> to ensure any infrastructure is identified and protected during the works
- Verge must be de-compacted prior to reinstatement
- Any excavation around tree root zones must be done by hand in a radial manner from the trunk outward to a MAX depth of 25mm
- Reinstate verge soil with a 50/50 mix of Type 2 & Type 3 TOPSOIL as per MITS 09A to match finished levels
- The area within the dripline of the tree shall be mulched and watered post-construction. Mulch shall be recommended by the arborist and irrigation is to be undertaken for a minimum of six months following root damage

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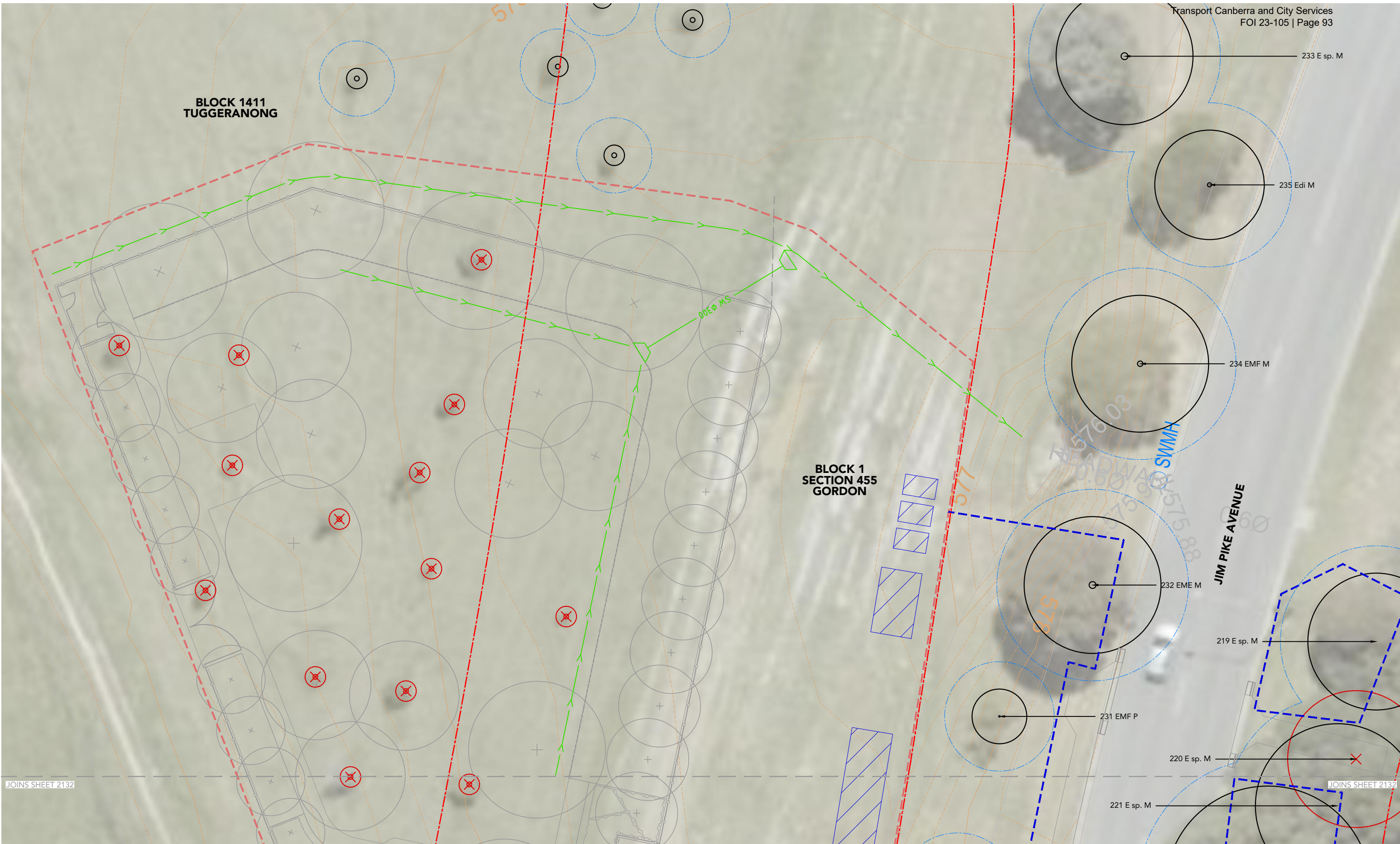
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LANDSCAPE MANAGEMENT
AND PROTECTION
LEGEND & NOTES**

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JOINS SHEET 2132

JOINS SHEET 2132

REFER SHEET 2130 FOR LEGEND AND NOTES
AND 2106 FOR TREE SCHEDULE

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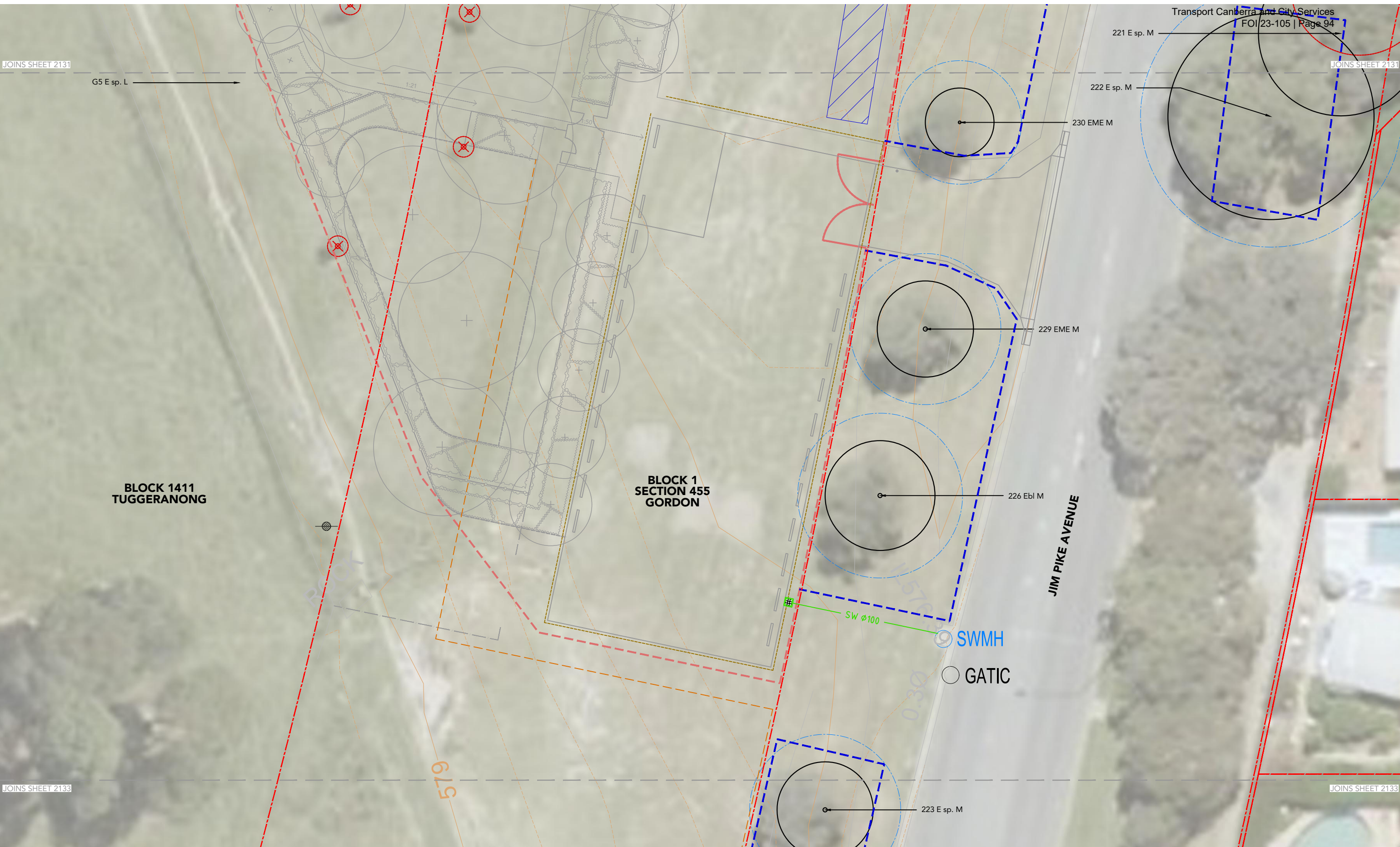
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GORDON JIM PIKE AVENUE ACT
LANDSCAPE MANAGEMENT
AND PROTECTION
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A	FINAL PRELIMINARY SKETCH PLAN / DA	14.02.2022	BS	LD

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0 1 2m

**BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT
LANDSCAPE MANAGEMENT
AND PROTECTION
PLAN 2**

JOB NO.
22028
ISSUE.
A

2132

JOINS SHEET 2132

JOINS SHEET 2132

**BLOCK 1411
TUGGERANONG**

**BLOCK 1
SECTION 455
GORDON**

**BLOCK 1
SECTION 558
GORDON**

JIM PIKE AVENUE

BIRCHALL STREET

**BLOCK 2
SECTION 557
GORDON**

**SWMH
AG GATIC**

223 E sp. M

220 EMF M

218 E sp. L

0.30

578

1157

REFER SHEET 2130 FOR LEGEND AND NOTES
AND 2106 FOR TREE SCHEDULE

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

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**BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT
LANDSCAPE MANAGEMENT
AND PROTECTION
PLAN 3**

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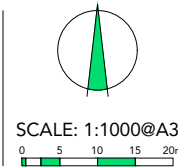


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**BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT**

SITE PLAN

JOB NO.

22028

ISSUE.

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**LEGEND - General Arrangements
Sheets 2301 - 2303**

EXISTING

EXISTING

- BLOCK BOUNDARY
- EXISTING TREE
To be retained and protected
- SITE CONTOURS

PROPOSED PAVEMENTS

- PAVEMENT TYPE 1
Concrete

EDGING

- EDGE TYPE 1
Spade

FENCING

- FENCE TYPE 1
1.8m high chain link fence
- FENCE TYPE 2
Relocated stock fence

GATE

- GATE TYPE 1
Pedestrian access
- GATE TYPE 2
Pedestrian access
- GATE TYPE 3
Vehicle and maintenance access
- GATE TYPE 4
Maintenance access
- GATE TYPE 5
Ranger gate

GRASS

- GRASS TYPE 1
Dryland

MULCH

- MULCH TYPE 1
Planting beds
- MULCH TYPE 2
Dog agility area

FIXTURES

- FIXTURE TYPE 1
Bench seat
- FIXTURE TYPE 2
Shelter
- FIXTURE TYPE 3
Bin enclosure
- FIXTURE TYPE 4
Bike rail
- FIXTURE TYPE 5
Drinking fountain
- FIXTURE TYPE 6
Bollard

BOULDER VEHICLE RESTRAINT

-

DOG AGILITY

- DOG AGILITY ELEMENT TYPE 1
Low log jump
- DOG AGILITY ELEMENT TYPE 2
High log jump
- DOG AGILITY ELEMENT TYPE 3
Pyramid ramp
- DOG AGILITY ELEMENT TYPE 4
Weave poles
- DOG AGILITY ELEMENT TYPE 5
Hoop tunnel 1
- DOG AGILITY ELEMENT TYPE 6
Hoop tunnel 2
- DOG AGILITY ELEMENT TYPE 7
Timber hurdle
- DOG AGILITY ELEMENT TYPE 8
Log balance
- DOG AGILITY ELEMENT TYPE 9
Boulder scramble

CIVIL FEATURES

- CONCRETE DRIVEWAY CROSSING
- DDA COMPLAINT CONCRETE CAR PARKING BAYS
- GRAVEL CAR PARK
- WHEEL STOP
- SERVICES
Refer civil

GRADING

- SPOT LEVELS
(m) = match existing
civ = civil level
fsl = finished surface level
- FALL DIRECTION
- CONTOURS

PLANTING

NATIVE TREE PLANTING

CODE	SPECIES	POT SIZE	SPACING	QUANTITY
CSC	Casuarina cunninghamiana	200 S/R	As Shown	6
EBL	Eucalyptus blakelyi	200 S/R	As Shown	3
ELD	Eucalyptus leucoxydon 'Euky Dwarf'	200 S/R	As Shown	26
EMF	Eucalyptus mannifera	200 S/R	As Shown	3
EME	Eucalyptus melliodora	200 S/R	As Shown	5
ERO	Eucalyptus rossii	200 S/R	As Shown	2

LOW - MEDIUM SHRUB PLANTING

CODE	SPECIES	POT SIZE	SPACING	QUANTITY
ACCh	Acacia howittii 'Honey Bun'	140mm	4.0 /m ²	80
BNb	Banksia spinulosa 'Birthday Candles'	140mm	5.0 /m ²	80
Clj	Callistemon 'Little John'	140mm	5.0 /m ²	80
CRr	Correa reflexa	140mm	4.0 /m ²	80
Min	Melaleuca Incana 'Nana'	140mm	5.0 /m ²	80
WEI	Westringia 'WES06' Low Horizon	140mm	4.0 /m ²	80

GRASS AND GROUND COVER PLANTING

CODE	SPECIES	POT SIZE	SPACING	QUANTITY
CAG	Carpobrotus glaucescens 'CAR10'	140mm	3.0 /m ²	200
DlcB	Dianella caerulea 'DCNCO'	140mm	6.0 /m ²	200
Fln	Ficinia nodosa	140mm	6.0 /m ²	200
GRr	Grevillea rosmarinifolia 'H16'	140mm	4.0 /m ²	200
MYp	Myoporum parvifolium (fine leaf)	140mm	3.0 /m ²	200
RHs	Rhagodia spinescens 'SAB01'	140mm	3.0 /m ²	200

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**BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT**

**GENERAL ARRANGEMENTS
LEGEND & NOTES**

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JOB NO.
22028

ISSUE.
A

2300

**BLOCK 1411
TUGGERANONG**

**BLOCK 1
SECTION 455
GORDON**



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GORDON JIM PIKE AVENUE ACT**
**GENERAL ARRANGEMENTS
SHEET 1**

JOB NO.
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JOINS SHEET 2301

JOINS SHEET 2301



JOINS SHEET 2303

JOINS SHEET 2303

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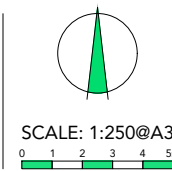
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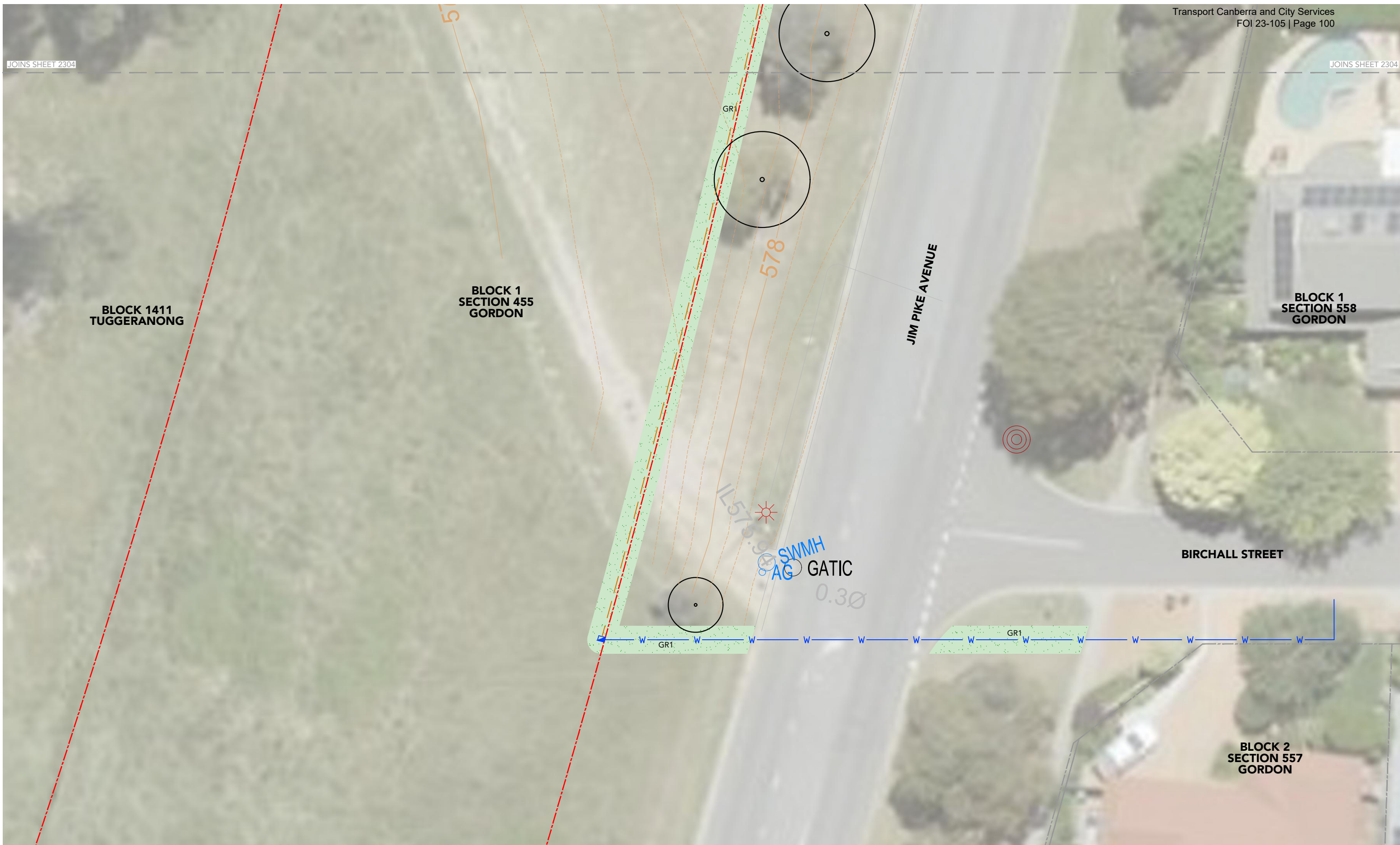
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GORDON JIM PIKE AVENUE ACT**
**GENERAL ARRANGEMENTS
SHEET 2**

JOB NO.
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2302

JOINS SHEET 2304

JOINS SHEET 2304



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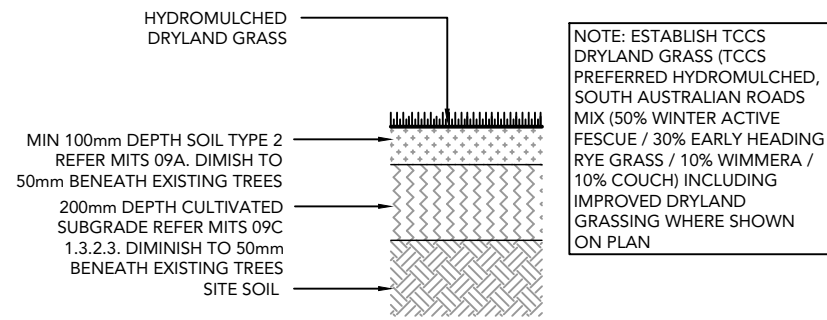
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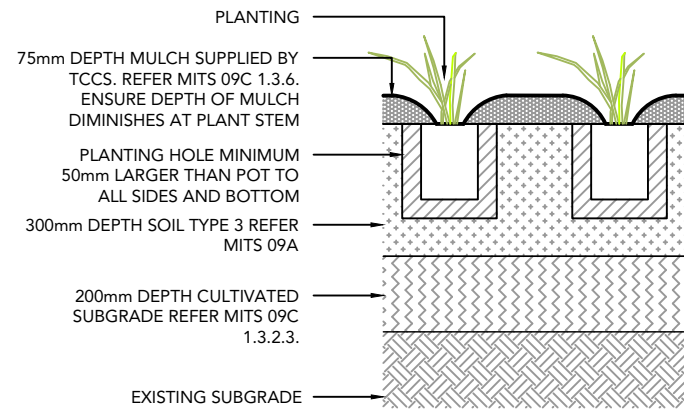
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GORDON JIM PIKE AVENUE ACT**
**GENERAL ARRANGEMENTS
SHEET 3**

JOB NO.
22028
ISSUE.
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2303



1 DETAIL: GRASS TYPE 1 - DRYLAND GRASS (GR1)
SCALE: 1:20@A3



2 DETAIL: MULCHED PLANTING BED (MU1)
SCALE: 1:20@A3

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GORDON JIM PIKE AVENUE ACT

DETAILS
SHEET 1

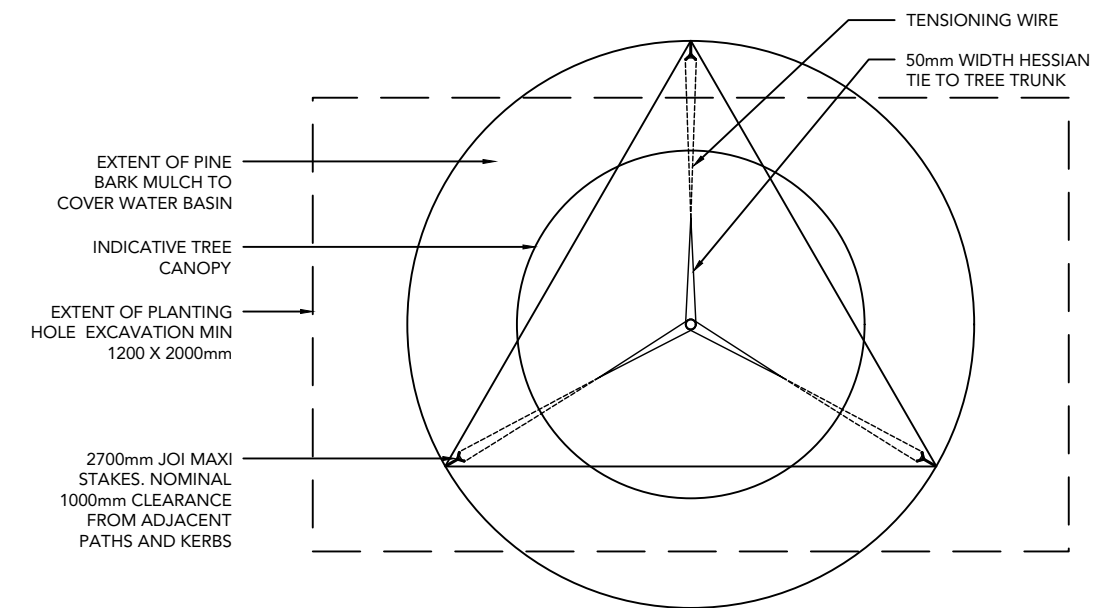
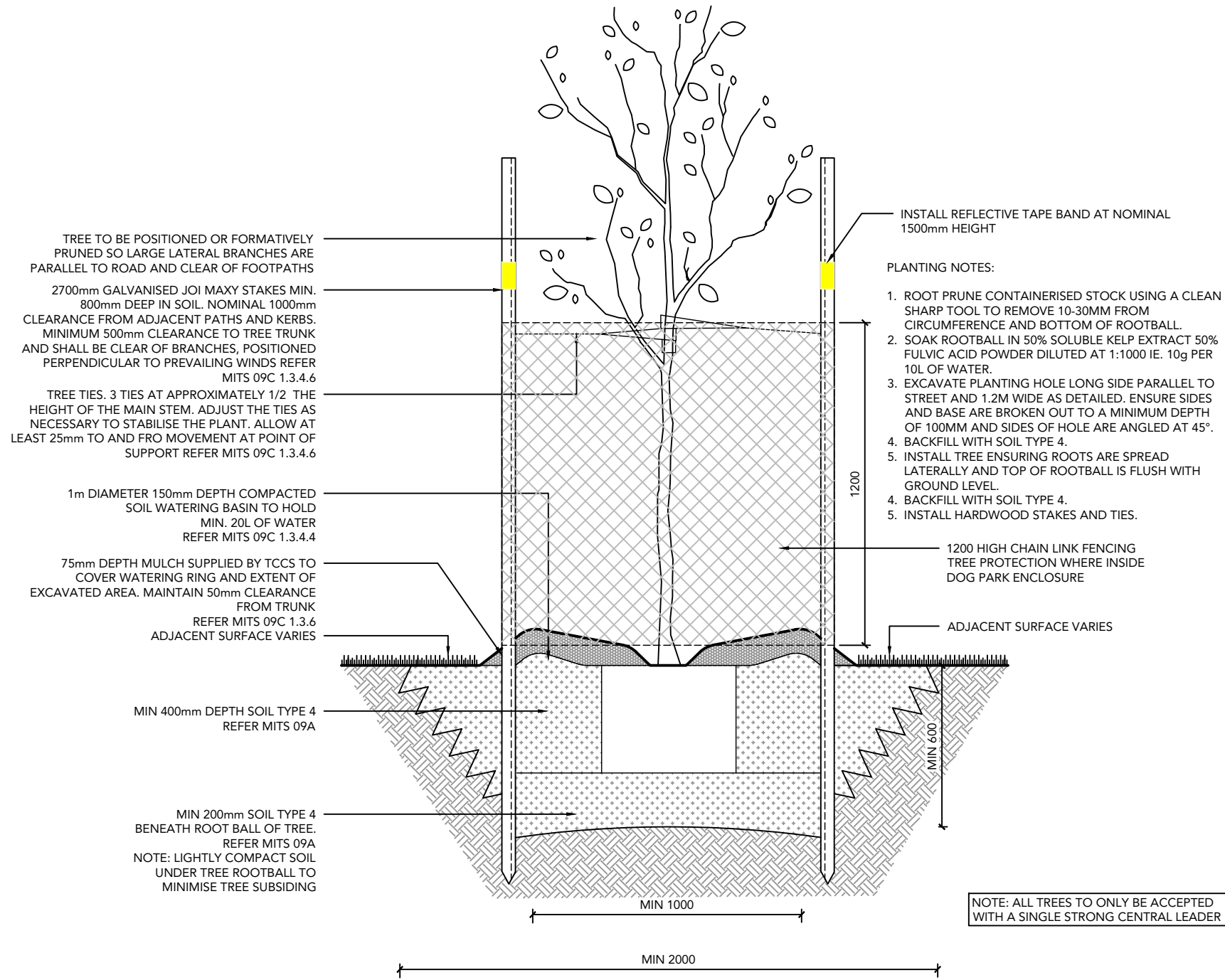
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1 DETAIL: TREE PLANTING
SCALE: 1:20@A3

2 DETAIL: TREE STAKING
SCALE: 1:20@A3

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BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT

DETAILS SHEET 2

JOB NO.
22028

ISSUE.
2802

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NATIVE TREES



CSC Casuarina cunninghamiana



EBL Eucalyptus blakelyi



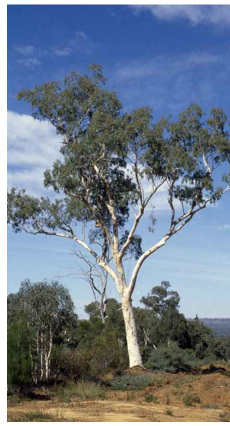
ELD Eucalyptus leucoxylon 'Euky Dwarf'



EMF Eucalyptus mannifera



EME Eucalyptus melliodora



ERO Eucalyptus rossii

LOW - MEDIUM SHRUBS



ACH Acacia howittii 'Honey Bun'



BNB Banksia spinulosa 'Birthday Candles'



CJj Callistemon 'Little John'



CRr Correa reflexa



MIn Melaleuca incana 'Nana'



WEI Westringia 'WES06' 'Low Horizon'

GROUND COVERS AND GRASSES



CAg Carportrotus glaucescens 'CAR10'



DlCB Dianella caerulea 'DCNCO'



FIn Ficinia nodosa



GRr Grevillea rosmarinifolia 'H16'



MYp Myoporum parvifolium (fine leaf)



RHs Rhagodia spinescens 'SAB01'

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LANDSCAPE ARCHITECT
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CONSULTANTS
CIVIL SURVEYOR TTW
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- PRESENT SAMPLES AND GAIN APPROVAL FROM SUPERINTENDENT FOR ANY NOMINATED MATERIALS OR FINISHES.
- ADOPT AND IMPLEMENT APPROVED TREE MANAGEMENT PLAN, LANDSCAPE MANAGEMENT & PROTECTION PLAN & ENVIRONMENTAL AUTHORISATIONS. ALL WORKS TO BE IN ACCORDANCE WITH CURRENT TCCS STANDARDS (MITS & MS) UNLESS OTHERWISE PRESCRIBED. ALL DISTURBANCE BY WORKS MUST BE REINSTATED TO EXISTING CONDITION.

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BUILD MORE DOG PARKS
GORDON JIM PIKE AVENUE ACT
LANDSCAPE MATERIALS
SHEET 1

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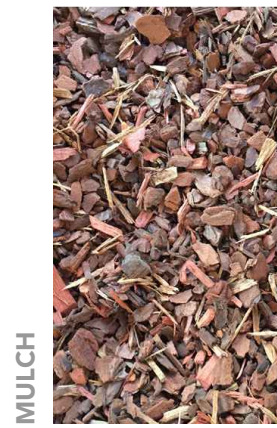
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PAVEMENTS



P1 CONCRETE



MULCH

MUL/2 PLANTING BEDS AND AGILITY AREAS

FENCING



FE1 1.8M HIGH CHAIN LINK FENCE



FE2 RELOCATED STOCK FENCE

FIXTURES



F1 BENCH SEAT



F2 SHELTER



F3 BIN ENCLOSURE

FIXTURES



F4 BIKE RAIL



F5 DRINKING FOUNTAIN



F6 BOLLARD



BOULDER VEHICLE RESTRAINT

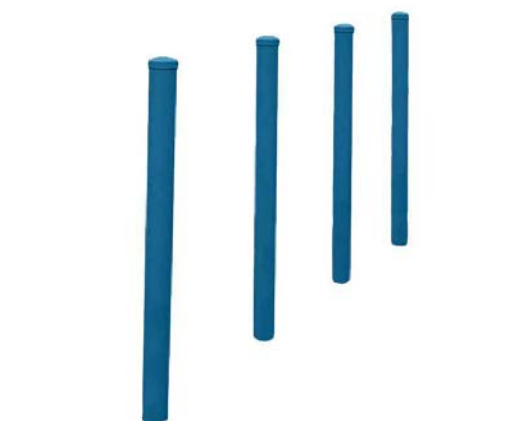
DOG AGILITY ELEMENTS



DA1 LOW LOG JUMP / DA2 HIGH LOG JUMP



DA3 PYRAMID RAMP



DA4 WEAVE POLES



DA5 HOOP TUNNEL 1



DA6 HOOP TUNNEL 2

DOG AGILITY ELEMENTS



DA7 TIMBER HURDLE



DA8 LOG BALANCE



DA9 BOULDER SCRAMBLE

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APPENDIX G: DRAFT PRELIMINARY SKETCH PLANS (CIVIL)

GORDON DOG PARK

BLOCK 1 SECTION 455 AND RURAL BLOCK (RB) 1411, GORDON ACT



GENERAL NOTES

1. CONTRACTOR TO ENSURE ALL CONSTRUCTION WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR MUST COMPLY WITH CURRENT WORK HEALTH AND SAFETY LEGISLATION, REGULATIONS AND CODES OF PRACTICE.
3. THE CONTRACTOR SHALL AT ALL TIMES HAVE A COPY OF THE RELEVANT SPECIFICATION AND CONTRACT SPECIFIC EXCEPTION CLAUSES ONSITE. RELEVANT SPECIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO, TCCS MIS, ICON WATER WATER AND SEWERAGE STANDARDS, NSW TRANSPORT STANDARDS AND LOCAL COUNCIL CONSTRUCTION SPECIFICATION.
4. THE CONTRACTOR IS TO ENSURE ALL MATERIALS AND WORK IS IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. FAILURE TO DO SO WILL RESULT IN WORKS BEING DEEMED DEFECTIVE.
5. INSPECTION, REMEDIATION, SUPERVISION AND REQUESTS FOR INFORMATION ON DEFECTIVE WORKS OR CONTRACTOR CHANGES SHALL ONLY BE CARRIED OUT AFTER AN AGREED FEE ARRANGEMENT HAS BEEN SIGNED BETWEEN TTW AND RELEVANT PARTIES ASSOCIATED WITH THE WORKS.
6. TTW DOES NOT GUARANTEE THE SURVEY INFORMATION ON THESE DRAWINGS IS ACCURATE. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ONSITE PRIOR TO THE COMMENCEMENT OF WORKS. ANY DISCREPANCIES BETWEEN CONSTRUCTION DRAWINGS AND ONSITE CONDITIONS SHALL BE REPORTED TO THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
7. UTILITIES INDICATED ON THESE DRAWINGS WERE COMPILED FROM A VARIETY OF SOURCES AND ARE CATEGORISED IN ACCORDANCE WITH AS 5488.
8. PRIOR TO COMMENCING WORK ONSITE THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES THROUGH MEANS OF POTHOLING. DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND CONDITIONS ONSITE SHALL BE REPORTED TO THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
9. BLOCK BOUNDARIES AND LAND ACCESS DETAILS SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH SUPPLIED DIGITAL DATA OR SURVEY. ANY DISCREPANCIES ARE TO BE REFERRED TO THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
10. DRAWINGS ARE NOT TO BE SCALED, USE DIMENSIONS ON DRAWINGS ONLY.
11. THE CONTRACTOR IS TO ENSURE ALL WORKS MATCH SMOOTHLY TO THE EXISTING.
12. THE CONTRACTOR SHALL ENSURE ALL DISTURBED AREAS AND ASSETS ARE REINSTATED AT THE CONTRACTORS EXPENSE TO THE SUPERINTENDENT'S SATISFACTION. ASSETS TO BE REINSTATED INCLUDE, BUT ARE NOT LIMITED TO, PAVEMENTS, KERBS AND LANDSCAPING.
13. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING CONSTRUCTION METHODOLOGY FOR EARTHWORKS THAT IS CONSISTENT WITH RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND WORK HEALTH AND SAFETY REQUIREMENTS, THAT ALLOWS ALL WORKS TO BE CARRIES OUT IN A SAFE AND COORDINATED MANNER.

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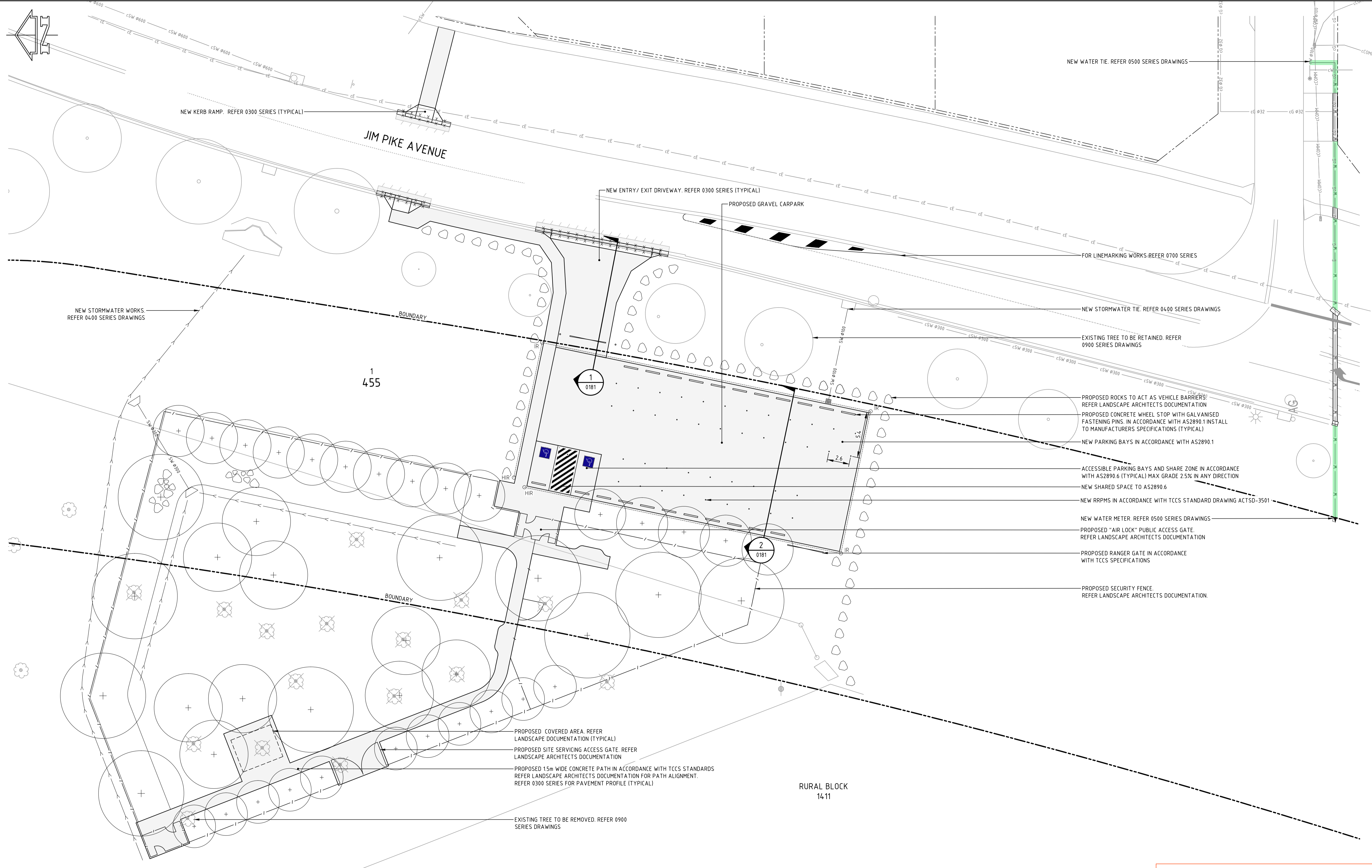
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DRAWING INDEX	
DRAWING NO.	DRAWING TITLE
GENERAL	
229039-CIV-0200-DRG-0001-0	COVER SHEET AND NOTES
229039-CIV-0200-DRG-0002-0	DRAWING INDEX
229039-CIV-0200-DRG-0011-0	ARRANGEMENT PLAN
GEOMETRY	
229039-CIV-0200-DRG-0111-0	ALIGN CTRL & GRADING PLAN
PAVEMENT	
229039-CIV-0200-DRG-0301-0	NOTES AND LEGEND
229039-CIV-0200-DRG-0311-0	PLAN
229039-CIV-0200-DRG-0341	DETAILS
STORMWATER	
229039-CIV-0200-DRG-0401-0	NOTES AND LEGEND SHEET 1
229039-CIV-0200-DRG-0402-0	NOTES AND LEGEND SHEET 2
229039-CIV-0200-DRG-0411-0	AND SUBSOIL DRAINAGE PLAN
UTILITIES	
229039-CIV-0200-DRG-0501-2	WATER NOTES AND LEGEND
229039-CIV-0200-DRG-0511-2	WATER PLAN
TRAFFIC CONTROL DEVICES	
229039-CIV-0200-DRG-0711-0	PLAN
ENVIRONMENTAL MANAGEMENT	
229039-CIV-0200-DRG-0902-2	SECP NOTES AND LEGEND
229039-CIV-0200-DRG-0911-2	SEDIMENT EROSION CONTROL PLAN
VEHICLE TURNING PATHS	
229039-CIV-0200-DRG-1201-0	NOTES AND LEGEND
229039-CIV-0200-DRG-1211-0	PLAN

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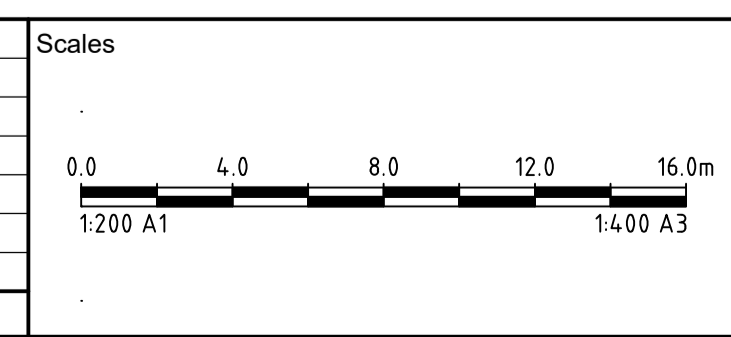
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A	DEVELOPMENT APPROVAL	03.02.2023	EM



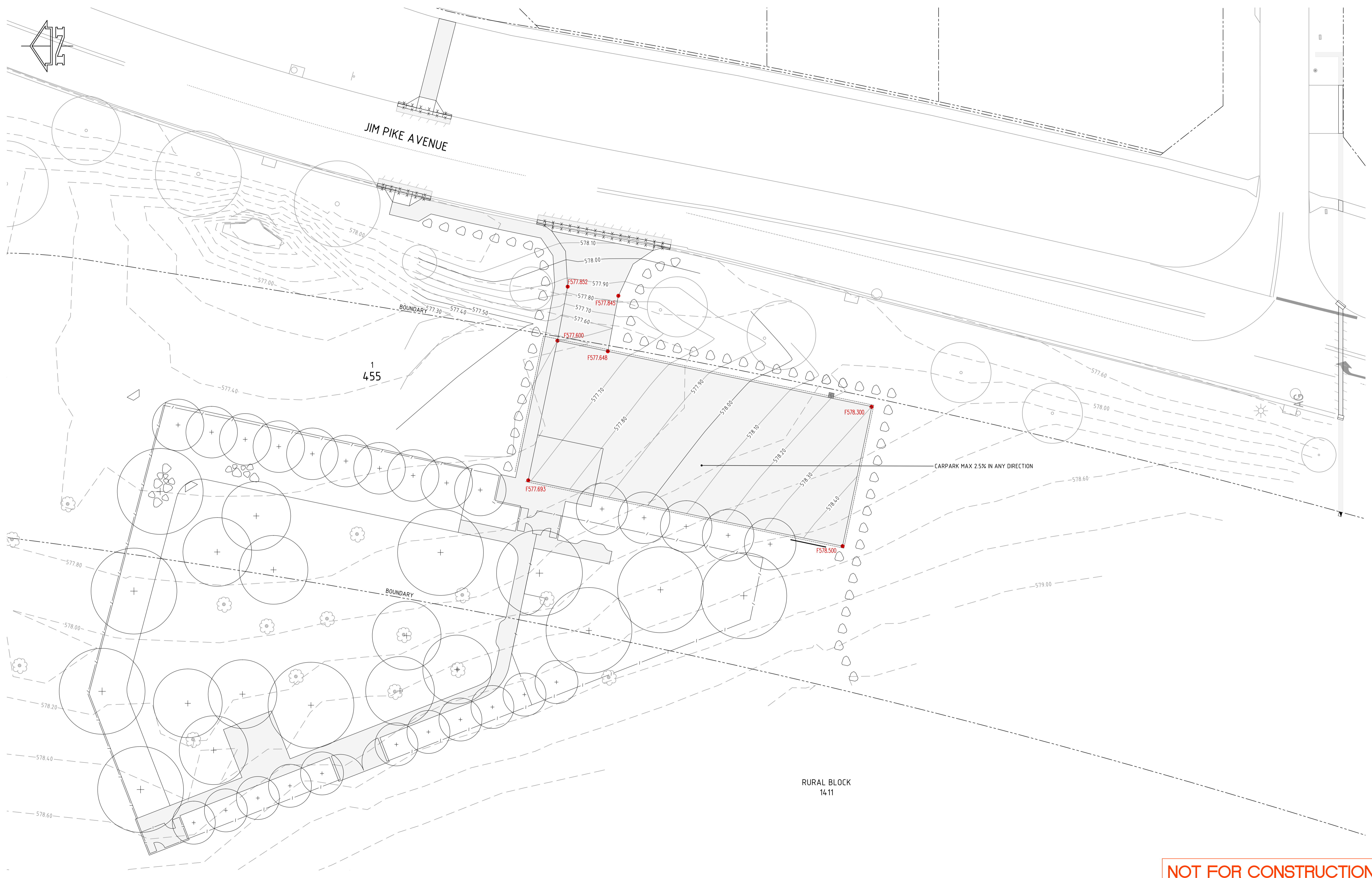
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Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
GENERAL ARRANGEMENT PLAN

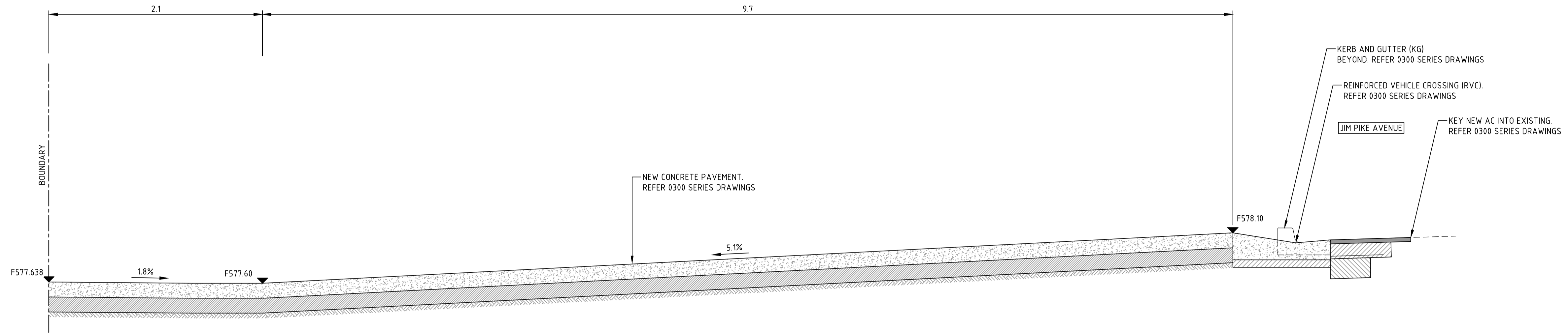
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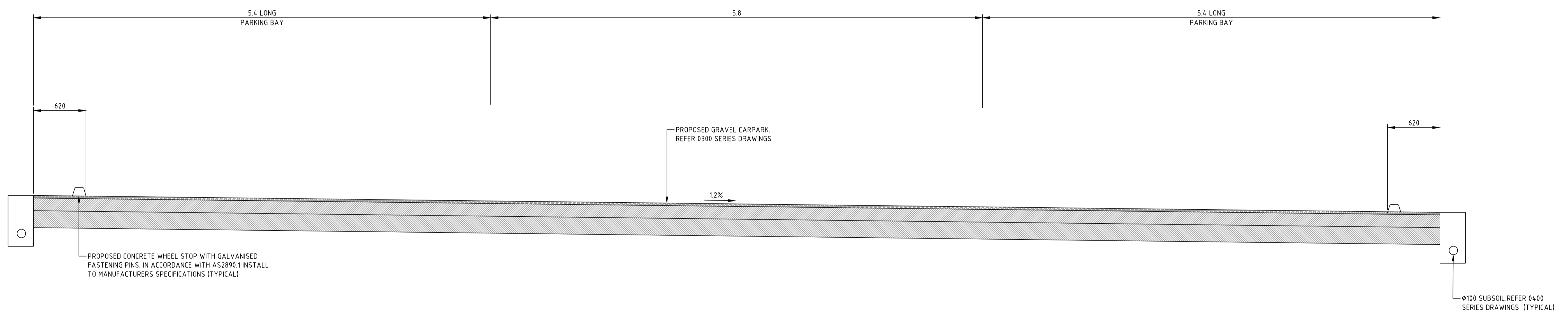


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SECTION 1 SECTION THROUGH PROPOSED HD2 DRIVEWAY
SCALE 1:25



SECTION 2 SECTION THROUGH PROPOSED CARPARK
SCALE 1:25

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CONCRETE NOTES

1. TYPE 'GP' CEMENT TO BE USED UNLESS OTHERWISE SPECIFIED.
2. ALL CONCRETE SHALL BE SUBJECT TO ASSESSMENT AND TESTING IN ACCORDANCE WITH THE PROJECT SPECIFICATION AND AS 1379.
3. CONCRETE TO BE CONSOLIDATED BY MECHANICAL VIBRATION.
4. ALL CONCRETE SURFACES TO BE CURED AS DIRECTED IN THE SPECIFICATION.
5. CONCRETE CHARACTERISTIC COMPRESSIVE STRENGTH TO BE AS DEFINED IN AS 1379.

CONCRETE SPECIFICATION			
LOCATION	f'c MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
KERB	25	80	20
VC & OCI	32	80	20
PITS	25	80	20
PEDESTRIAN PAVEMENT	25	80	20
VEHICLE PAVEMENT	32	80	20

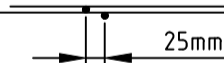
6. THE DESIGN, CERTIFICATION, CONSTRUCTION AND PERFORMANCE OF FORMWORK, FALSEWORK AND BACKPROPPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. THE PROPOSED METHOD OF INSTALLATION AND REMOVAL OF FORMWORK IS TO BE SUBMITTED TO THE SUPERINTENDENT FOR COMMENT PRIOR TO WORK BEING CARRIED OUT.
8. REINFORCEMENT TO BE FIXED AS SHOWN ON DRAWINGS.
9. REINFORCEMENT TYPE AND GRADE TYPES SHOWN IN BELOW TABLE, SIZE INDICATED IN MILLIMETERS FOLLOWING TYPE AND GRADE DENOMINATION.

REINFORCEMENT TYPE AND GRADE		
REINFORCEMENT NOTATION TYPE	DESCRIPTION	GRADE
N	HOT ROLLED RIBBED BAR	D500N
R	PLAIN ROUND BAR	R250N
SL	SQUARE MESH	500L
RL	RECTANGULAR MESH	500L

10. SUPPORTS AND SPACERS TO BE PROVIDED TO ENSURE THE FOLLOWING CONCRETE COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.

REINFORCEMENT COVER			
	TOP (mm)	BOTTOM (mm)	SIDES (mm)
FOOTINGS	30	50	50
PAVEMENTS	30	50	-
EXPOSED TO WEATHER OR GROUND	50	50	50

11. COVER TO REINFORCEMENT ENDS TO BE 50mm UNLESS OTHERWISE NOMINATED.
12. PROVIDE N12-450 SUPPORT BARS TO TOP REINFORCEMENT AS REQUIRED. TENSION LAP UNLESS OTHERWISE NOMINATED.
13. ALL COGS TO BE STANDARD COGS AS DEFINED IN AS 3600 UNLESS OTHERWISE NOTED.
14. FABRIC END AND SIDE LAPS ARE TO BE PLACED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION TO ACHIEVE FULL TENSILE LAP. FABRIC SHALL BE LAID SO THAT THERE IS A MAXIMUM OF 3 LAYERS AT ANY LOCATION.



FABRIC LAP
SCALE 1:20

15. GAP BETWEEN LAPPED BARS TO BE IN ACCORDANCE WITH AS 3600.

CONCRETE PAVEMENT NOTES

1. ALL EXPOSED CONCRETE PAVEMENTS ARE TO BE BROOM FINISHED UNLESS OTHERWISE NOTED.
2. ALL EDGES OF CONCRETE PAVEMENTS, INCLUDING KEYED AND DOWELLED JOINTS, ARE TO BE FINISHED WITH AN EDGING TOOL.
3. CONCRETE PAVEMENTS WITH GRADES OVER 10% ARE TO BE HEAVILY BROOM FINISHED.
4. CARBORUNDUM TO BE ADDED TO ALL STAIR TREADS AND RAMPED CROSSINGS UNLESS OTHERWISE STATED.

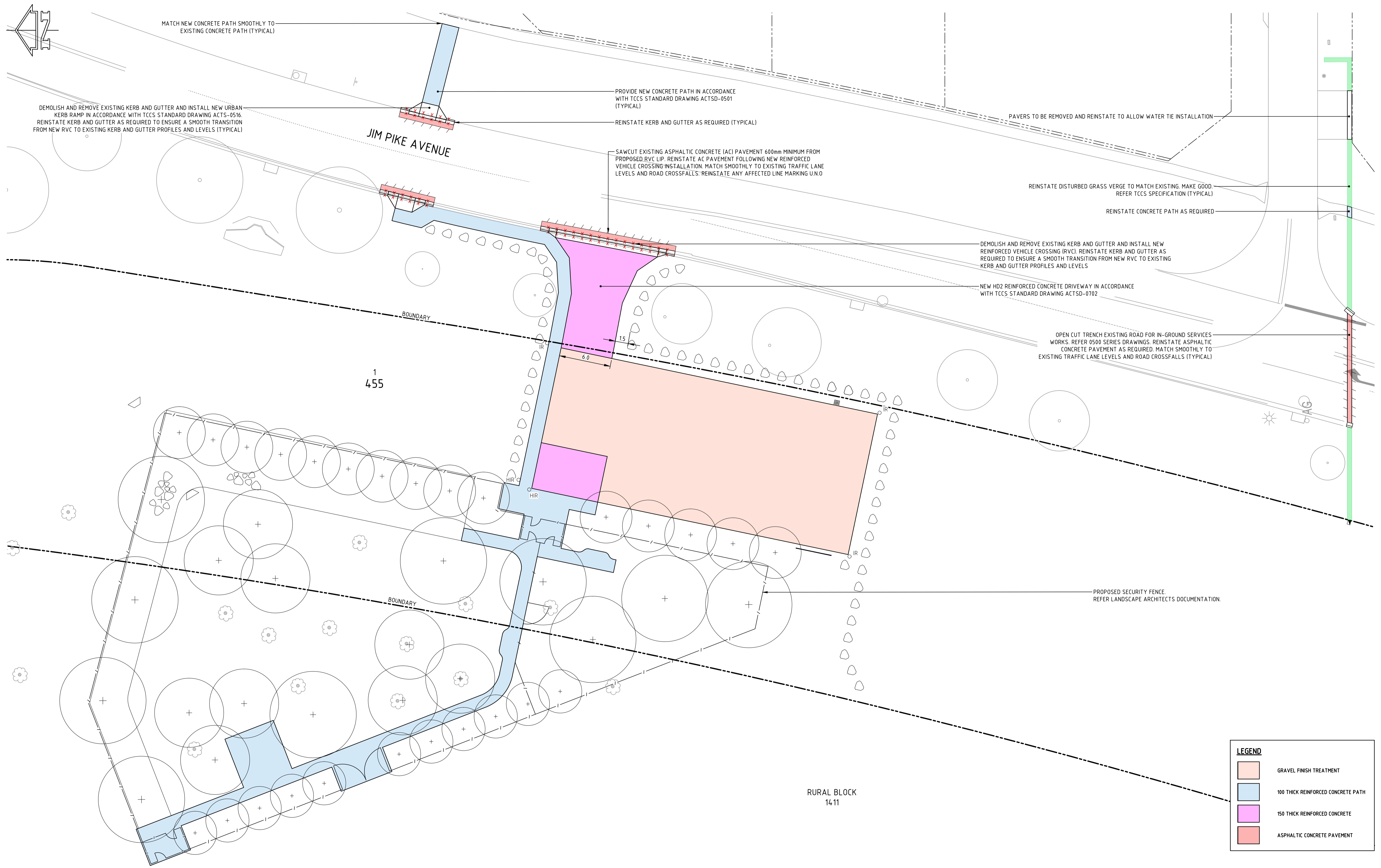
KERB AND PATH NOTES

1. ALL KERB AND PATHS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT INDUSTRY STANDARDS AND SPECIFICATIONS.
2. ALL KERB TYPES TO BE CONSTRUCTED IN ACCORDANCE WITH GIVEN KERBING DETAILS.
3. REFER GIVEN CONCRETE SPECIFICATION TABLE FOR MINIMUM COMPRESSIVE STRENGTHS.
4. EXPANSIONS JOINTS SHALL BE CONSTRUCTED AT THE TP'S OF CURVED KERBS AND ELSEWHERE AT 15m SPACINGS ALONG KERB FACE. REFER 0300 SERIES DRAWINGS.
5. WEAKEN PLAIN JOINTS SHALL BE CONSTRUCTED AT VEHICLE CROSSINGS, KERB RAMPS AND ELSEWHERE AT 3.0m SPACINGS ALONG KERB FACE. REFER 0300 SERIES DRAWINGS.
6. EXPANSIONS JOINTS SHALL BE CONSTRUCTED AT SUMPS, MANHOLES, AND UTILITY STRUCTURES ON ALL SIDES ADJACENT TO CONCRETE PAVEMENT.
7. PRAM RAMPS, VEHICLE CROSSINGS AND DRIVEWAYS SHALL BE BRUSH FINISHED (NON-SKID) PARALLEL WITH KERB U.N.O
8. PEDESTRIAN PATHS SHALL BE BRUSH FINISHED (NON-SKID) PERPENDICULAR TO KERB U.N.O
9. WHEN PAVEMENT WIDENING OR KERB REPLACEMENT, THE EXISTING PAVEMENT IS TO BE SAWCUT AND BROKEN OUT TO ENABLE NEW PAVEMENT TO BE KEYED INTO EXISTING IN ACCORDANCE WITH GIVEN DETAILS. REFER 0300 SERIES DRAWINGS.
10. ALL CONCRETE TO BE CONTINUOUSLY CURED FOR 3 DAYS.
11. ALL KERB JOINTS TO BE PERPENDICULAR TO KERB AND FINISHED WITH 5.0mm EDGE TOOL.
12. ALL PATH JOINTS TO BE PERPENDICULAR TO THE PATH EDGE AND FINISHED WITH 5.0mm EDGE TOOL
13. ALIGN PATH JOINTS WITH ADJACENT KERB OR PAVEMENT JOINTS.
14. COMPACTED SUB-BASE MATERIAL LEVELS SHALL NOT DEVIATE 5.0mm OVER 3.0m TO ENSURE A SMOOTH SURFACE FINISH.
15. PATH WIDTH SHALL BE MEASURED FROM KERB FACE.

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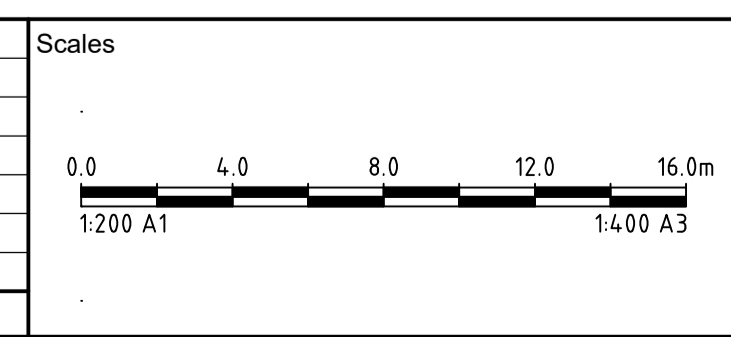
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Revision		Date		By		COPYRIGHT: This drawing is the property of TTW ACT Pty Ltd and shall not be used without written authorisation		www.envirolinks.com.au Ph:(02) 6281 6066 5 / 61 Dundas Court PHILLIP ACT 2606		Datum AHD			Co-ordinate System STROMLO GRID			Printed Date 03.02.2023 3:00 PM								
A DEVELOPMENT APPROVAL		03.02.2023		EM				Drawing Title PAVEMENT			Project No. 229039		Discipline CIV		Stage 0200		Doc Type DRG		Number 0301		Package 0		Revision A	
Description		Date		By				NOTES AND LEGEND																



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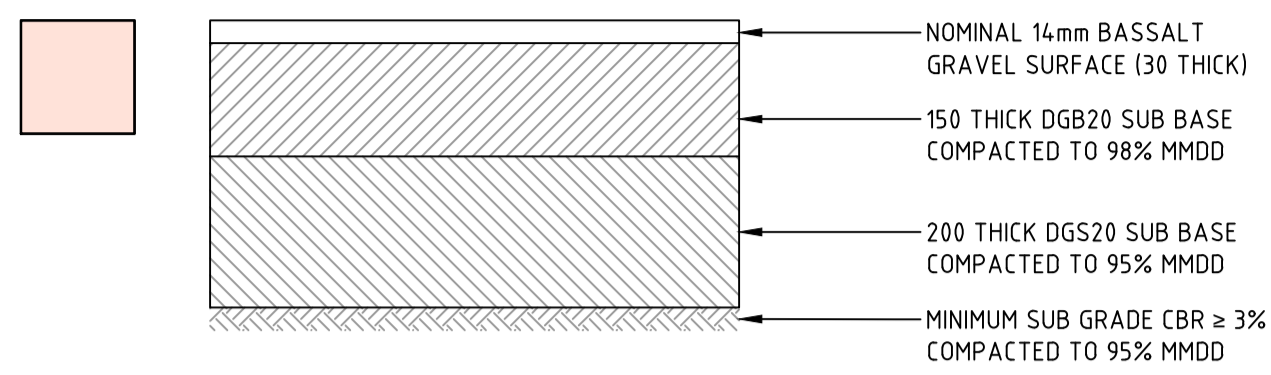
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A	DEVELOPMENT APPROVAL	03.02.2023	EM



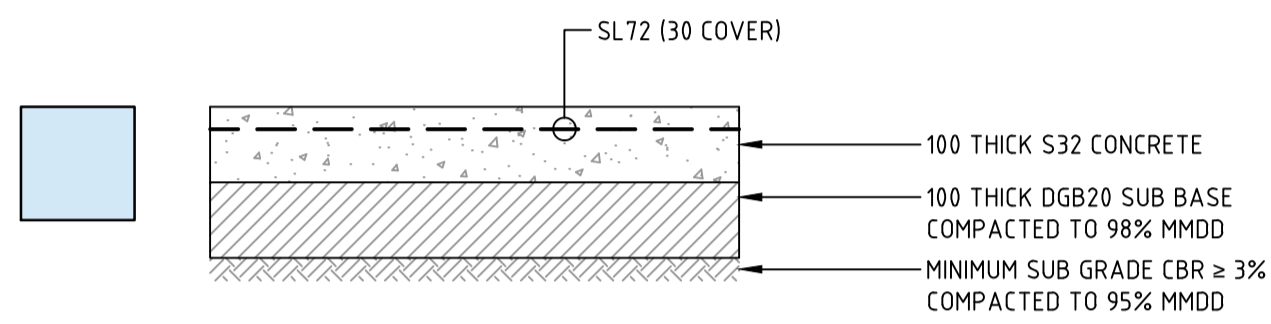
Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
PAVEMENT PLAN

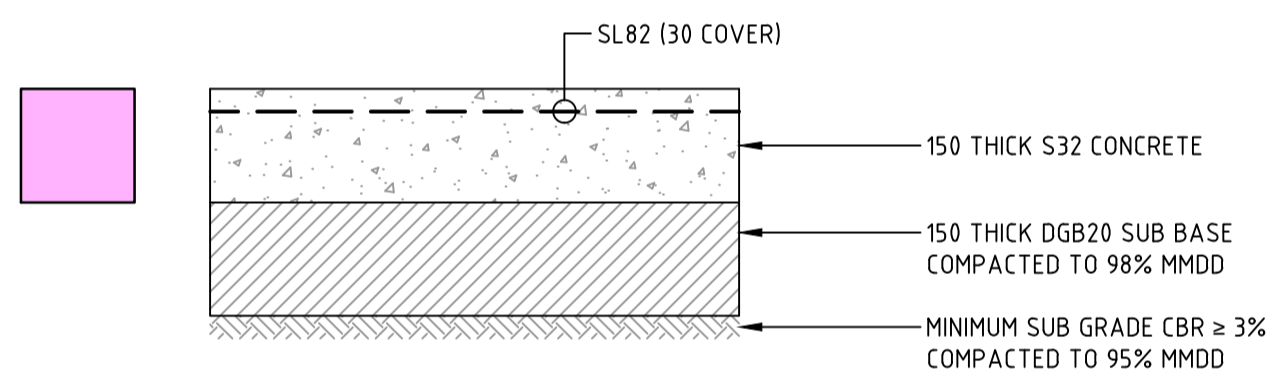
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Datum AHD	Co-ordinate System STROMLO GRID	Printed Date 03.02.2023 3:00 PM
Project No. 229039	Discipline CIV	Stage 0200
Doc Type DRG	Number 0311	Package 0
Revision A		



GRAVEL FINISH TREATMENT
SCALE 1:10



100 THICK REINFORCED CONCRETE PAVEMENT
SCALE 1:10



150 THICK REINFORCED CONCRETE PAVEMENT
SCALE 1:10

NOT FOR CONSTRUCTION

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Scales		Client Logo		Company Logo		Other Logo		Project Name and Location			Drawn By		Design By		Authorised By									
								GORDON DOG PARK BLOCK 1 SECTION 455 AND RB 1411, GORDON			EM		SE		CP									
A		DEVELOPMENT APPROVAL		03.02.2023		EM		Datum			AHD		Co-ordinate System		STROMLO GRID		Printed Date		03.02.2023 2:59 PM					
Revision		Description		Date		By		Drawing Title			Project No.		Discipline		Stage		Doc Type		Number		Package		Revision	
								PAVEMENT DETAILS			229039		CIV		0200		DRG		0341		0		A	

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STORMWATER DRAINAGE

- ALL STORMWATER DRAINAGE WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS OUTLINED IN THE PROJECT SPECIFICATION.
- PRIOR TO COMMENCING WORK ONSITE THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES THROUGH MEANS OF POT-HOLING. DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND CONDITIONS ONSITE SHALL BE REPORTED TO THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORKS.
- COVER LEVELS OF STORMWATER STRUCTURES ARE PROVISIONAL AND SHALL BE ADJUSTED TO SUIT THE SURROUNDING FINISHED GROUND LEVELS IN ACCORDANCE WITH DRAWINGS AND CONSTRUCTED KERB PROFILES.
- GRATES AND COVERS FOR STORMWATER STRUCTURES SHALL CONFORM WITH AS 3996 AND AS 1428.1 FOR ACCESS REQUIREMENTS.
- PIPES ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3725. ALL BEDDING IS TO BE TYPE H2 UNLESS OTHERWISE NOTED.
- ALL CURVED PIPE ALIGNMENTS ARE TO BE ACHIEVED VIA DEFLECTION THROUGH THE JOINTS BETWEEN PIPES IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- ALL STORMWATER PIPES ARE TO BE AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
- STORMWATER PIPES GREATER THAN 7% SHALL HAVE SCOUR STOPS CONSTRUCTED AT 5m MAXIMUM SPACING.
- ALL PIPE LENGTH, GRADES AND INVERT LEVELS ARE MEASURED AT THE CENTRE OF STORMWATER STRUCTURES OR FACE OF HEADWALLS UNLESS OTHERWISE NOTED.
- INVERT LEVELS ARE TO BE USED FOR CONSTRUCTION, GRADES SHOWN ARE NOMINAL ONLY.
- TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH CONTRACT SPECIFICATIONS.
- GRADES OF STORMWATER LINES ARE NOT TO BE REDUCED WITHOUT APPROVAL FROM THE SUPERINTENDENT.
- PIPES Ø300 OR LARGER TO BE REINFORCED CONCRETE (RCP) CLASS "2" APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
- PIPES LESS THAN Ø300 TO BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS UNLESS NOTED OTHERWISE.
- ANY CHANGES IN MATERIAL MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- ALL CONNECTIONS, JUNCTIONS AND ENLARGERS ARE TO BE MADE WITH MANUFACTURER'S FITTINGS.
- ALL PIPES ARE DESIGNED FOR OPERATIONAL LOADS ONLY. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PIPES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL UNDERTAKE TEMPORARY DIVERSION WORKS TO ENSURE THE EXISTING STORMWATER SYSTEM REMAINS OPERATIONAL DURING CONSTRUCTION.
- THE CONTRACTOR SHALL UNDERTAKE TEMPORARY DIVERSION WORKS TO ENSURE ALL WORK IN PROGRESS IS PROTECTED UNTIL DEEMED FINISHED BY THE SUPERINTENDENT.
- WORKS AS EXECUTED DOCUMENTATION IS THE RESPONSIBILITY OF THE CONTRACTOR UNLESS AGREED OTHERWISE.

STORMWATER PIPE INFORMATION

PIPE INFORMATION

IL
Ø000

0.0m
0.0 m/s
%0.0
IL

UPSTREAM INVERT LEVEL
PIPE INTERNAL DIAMETER
PIPE MATERIAL AND CLASS
PIPE LENGTH
HYDRAULIC FLOW RATE
PIPE GRADE
DOWNSTREAM INVERT LEVEL

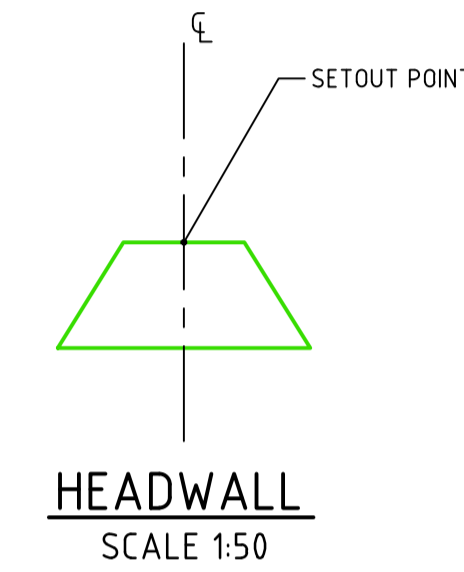
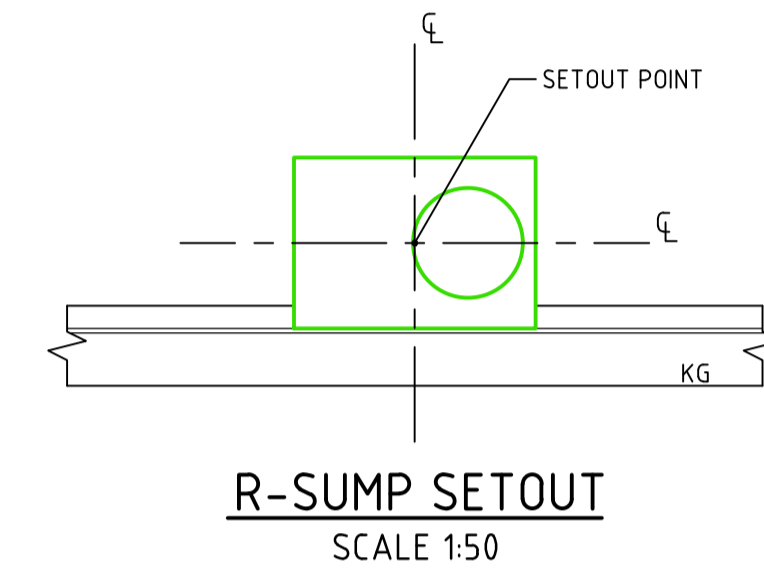
TIE INFORMATION

SW
L 10.0m
D 1.0m
Ø150

TIE LENGTH
TIE DEPTH
TIE DIAMETER

STORMWATER STRUCTURE IDENTIFICATION

SW1-2 LINE NUMBER 1 - STRUCTURE NUMBER 2



SUBSOIL DRAINAGE

- ALL SUBSOIL DRAINAGE WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT STANDARDS AND SPECIFICATIONS OUTLINED IN THE PROJECT SPECIFICATION.
- WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED.
- SUBSOIL DRAINS TO BE Ø100 SLOTTED FLEXIBLE uPVC UNLESS NOTED OTHERWISE.
- ALL SUBSOIL DRAINS ARE TO BE AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
- ALL SUBSOIL DRAINS TO BE RODDED PRIOR TO THE PLACEMENT OF ASPHALT.
- ALL SUBSOIL DRAINS ARE DRAWN DIAGRAMMATICALLY FOR CLARITY. REFER TO TYPICAL DETAIL FOR SUBSOIL SETOUT.

SUBSOIL DRAINAGE LEGEND

- HER HIGH END RISER
- IR INTERMEDIATE RISER

NOT FOR CONSTRUCTION

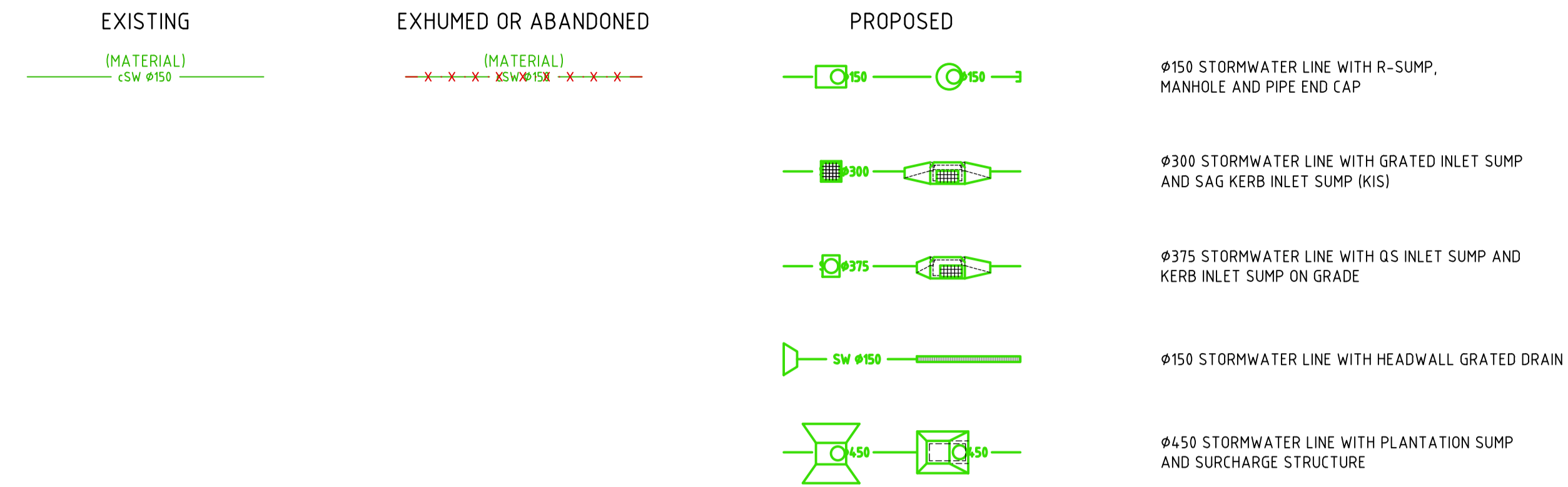
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Scales		Client Logo		Company Logo		Other Logo		Project Name and Location		Drawn By		Design By		Authorised By	
								GORDON DOG PARK BLOCK 1 SECTION 455 AND RB 1411, GORDON		EM		SE		CP	
A		DEVELOPMENT APPROVAL		03.02.2023		EM		Datum		Co-ordinate System		Printed Date			
Revision		Description		Date		By		AHD		STROMLO GRID		03.02.2023 2:59 PM			
Project No.		Discipline		Stage		Doc Type		Number		Package		Revision			
229039		CIV		0200		DRG		0401		0		A			

Drawing Title
STORMWATER
NOTES AND LEGEND SHEET 1

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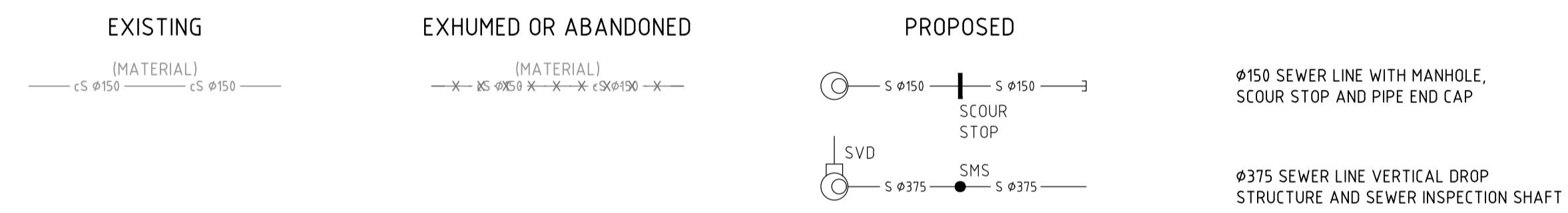
STORMWATER DRAINAGE



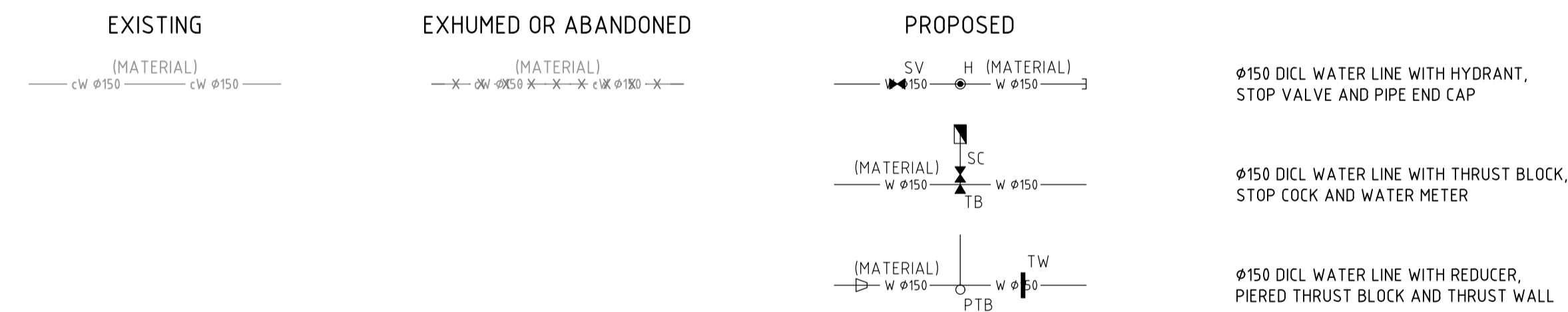
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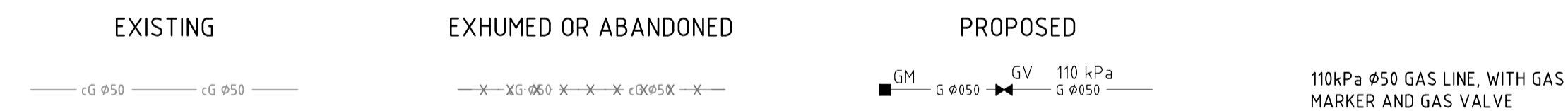
SEWER



WATER



GAS



CLASSIFICATION OF EXISTING UTILITY INFORMATION

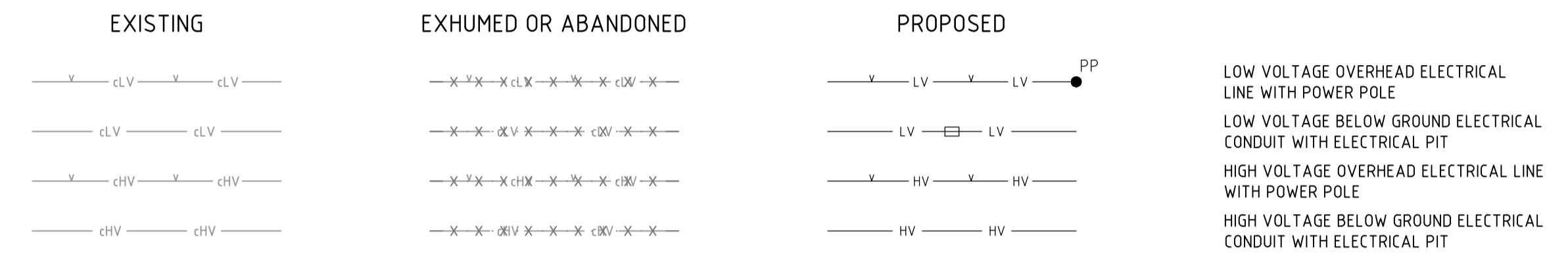
- A - SIGHTED, MUST BE LOCATED, THEN POTHOLED. UTILITY MUST BE PHYSICALLY SIGHTED AND MEASURED.
- B - ELECTRONICALLY DETECTED AND LOCATED ON SITE USING VARIOUS TRACING METHODS.
- C - ALIGNED FROM SURFACE FEATURES AND DIGITISED DATA.

TELECOMMUNICATIONS

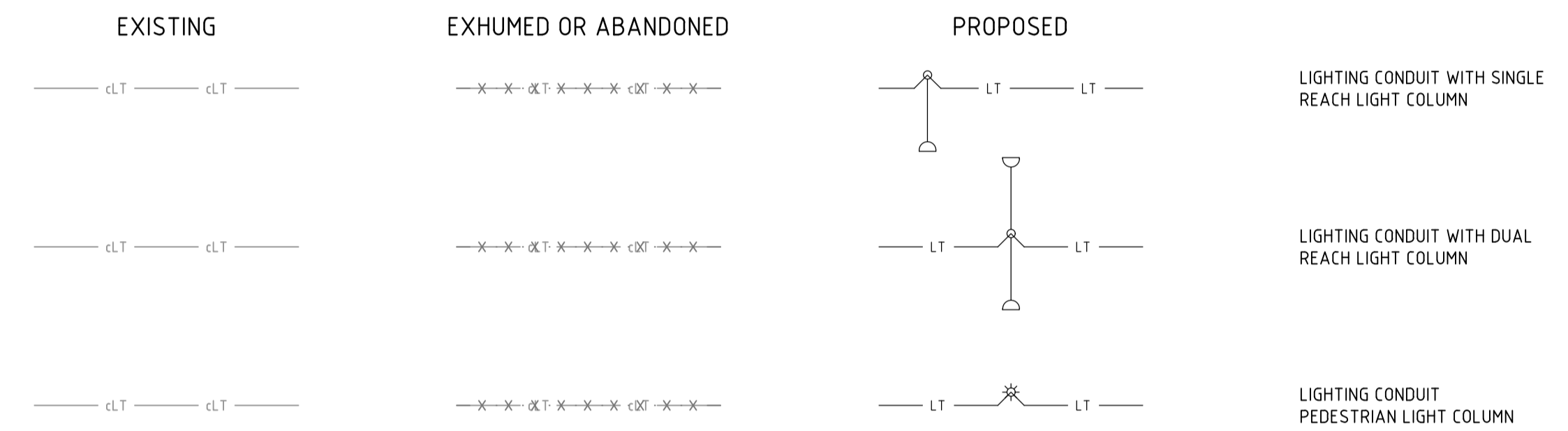


REFER TELECOMMUNICATIONS NOTATION TABLE FOR SERVICE INDIVIDUAL PROVIDERS

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LIGHTING

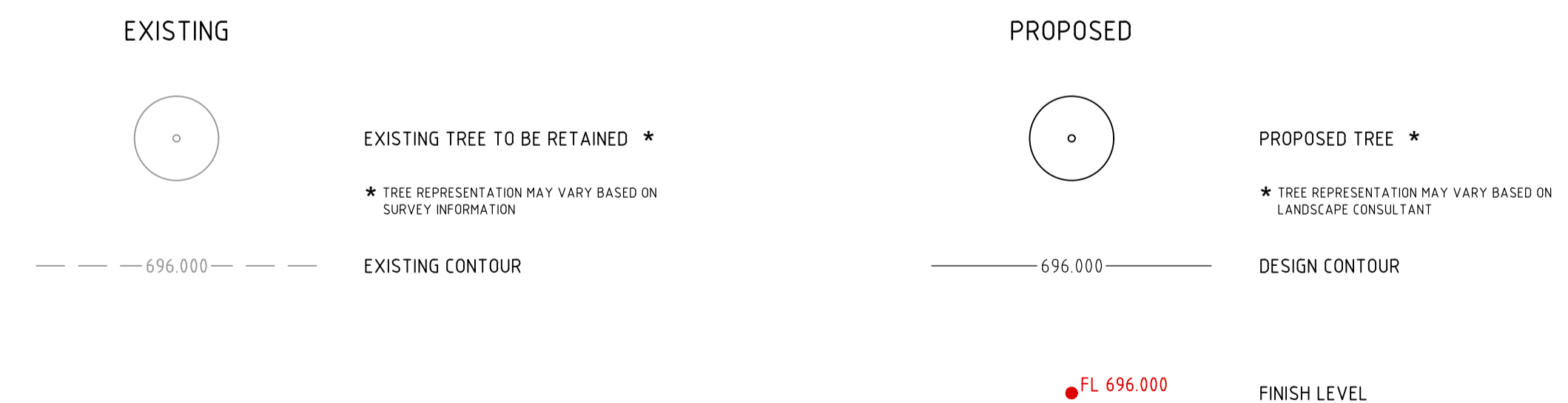


SHARED UTILITIES TRENCH



REFER SHARED UTILITIES TRENCH DETAILS

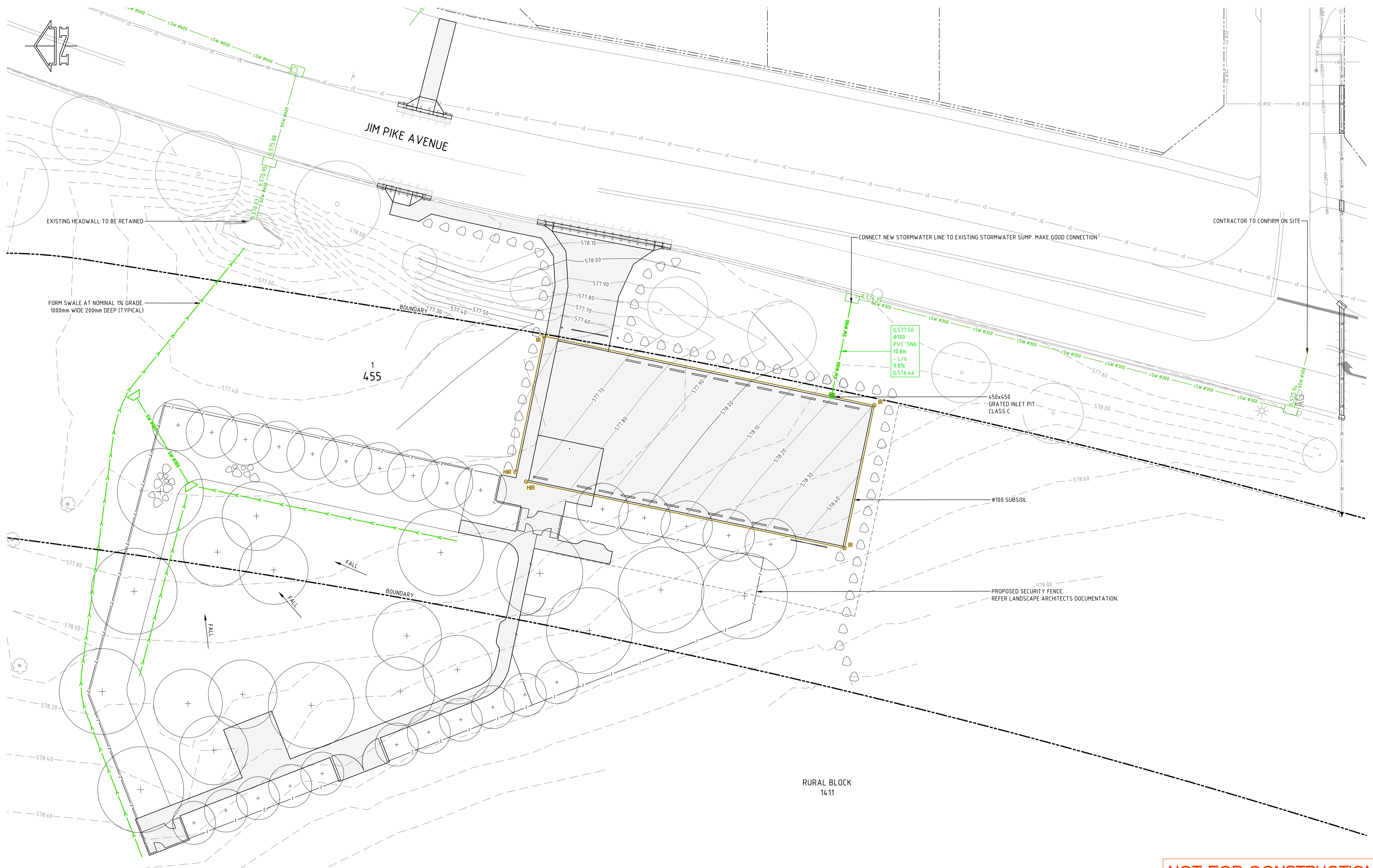
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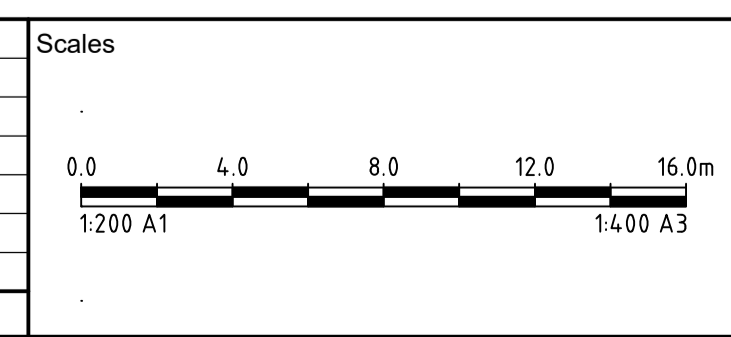
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A		03.02.2023		EM				Datum		Co-ordinate System		Printed Date		03.02.2023 2:59 PM	
Revision		Description		Date		By		AHD		STROMLO GRID		Project No.		229039	
								CIV		0200		DRG		0402	
								STORMWATER		Stage		Doc Type		Number	
								NOTES AND LEGEND SHEET 2		0200		DRG		0402	
										Package		Revision		0 A	



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Revision	Description	Date	By
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A	DEVELOPMENT APPROVAL	03.02.2023	EM



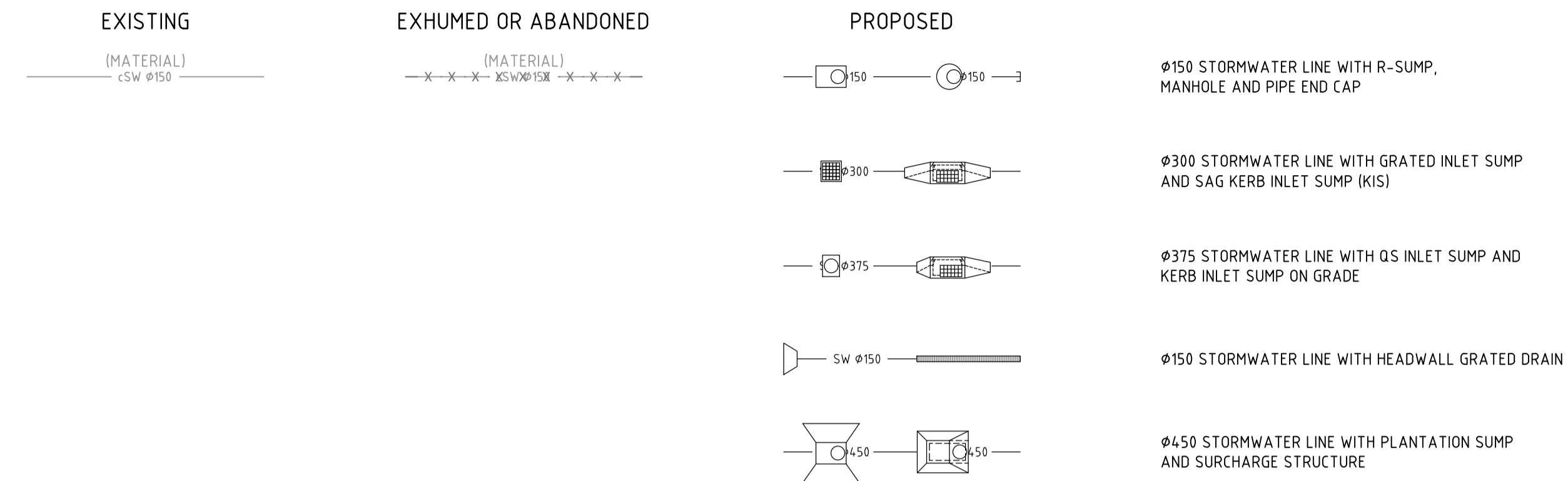
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Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
STORMWATER AND SUBSOIL DRAINAGE PLAN

Drawn By	EM	Design By	SE	Authorised By	CP
Datum	AHD	Co-ordinate System	STROMLO GRID	Printed Date	07.02.2023 9:57 AM
Project No.	229039	Discipline	CIV	Stage	0200
Doc Type	DRG	Number	0411	Package	0
Revision					B

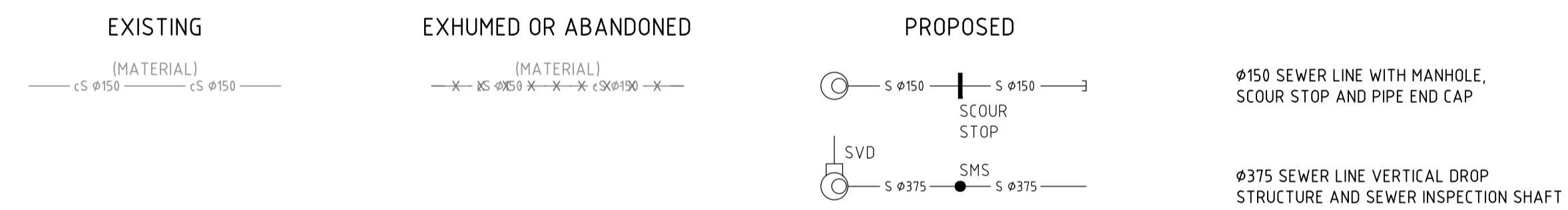
STORMWATER DRAINAGE



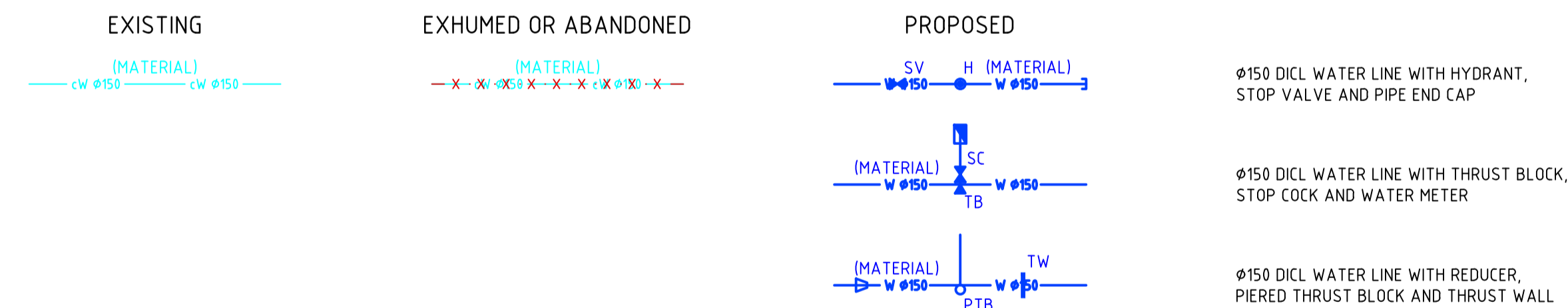
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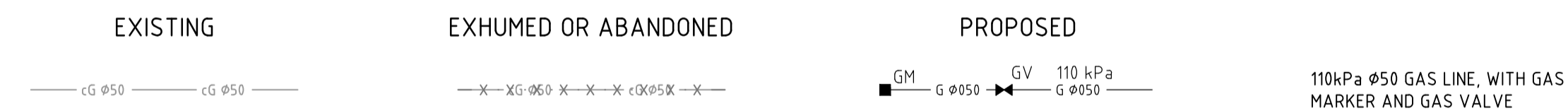
SEWER



WATER



GAS



CLASSIFICATION OF EXISTING UTILITY INFORMATION

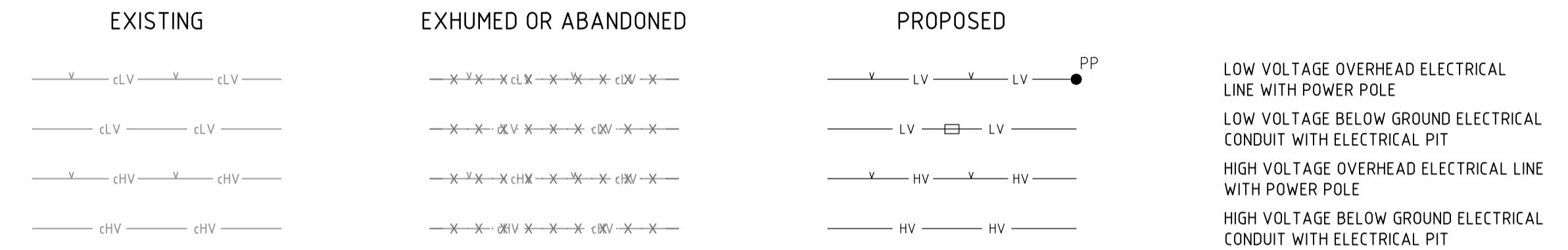
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- B - ELECTRONICALLY DETECTED AND LOCATED ON SITE USING VARIOUS TRACING METHODS.
- C - ALIGNED FROM SURFACE FEATURES AND DIGITISED DATA.

TELECOMMUNICATIONS

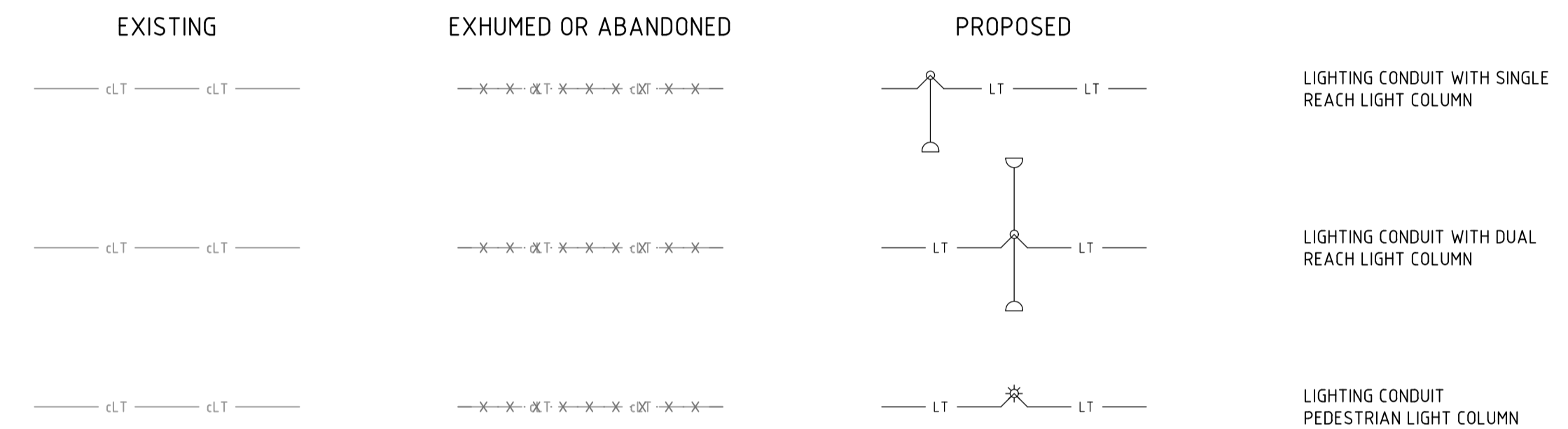


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ELECTRICAL



LIGHTING

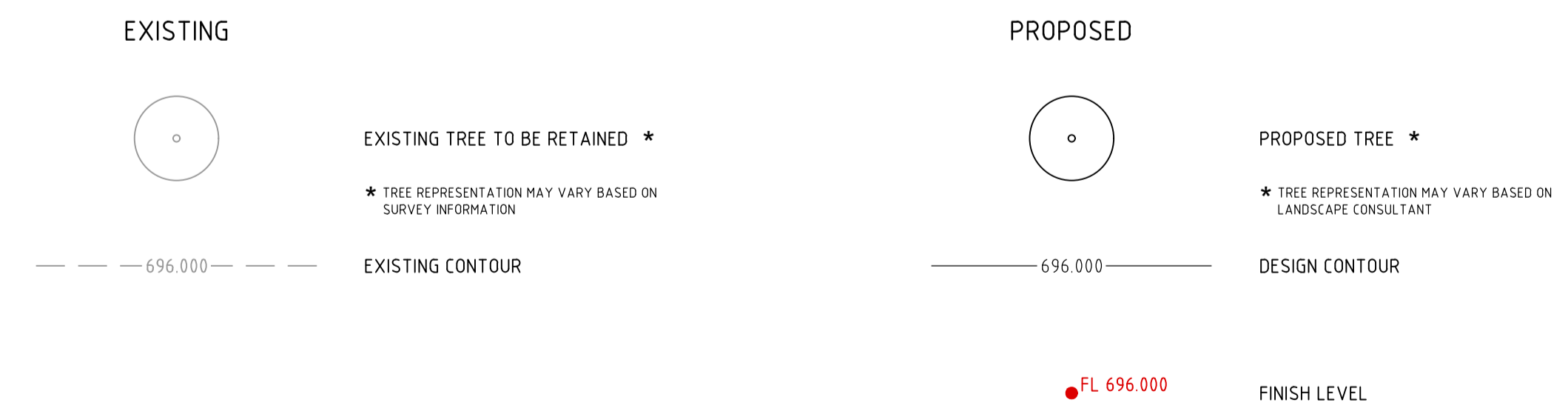


SHARED UTILITIES TRENCH



REFER SHARED UTILITIES TRENCH DETAILS

GENERAL

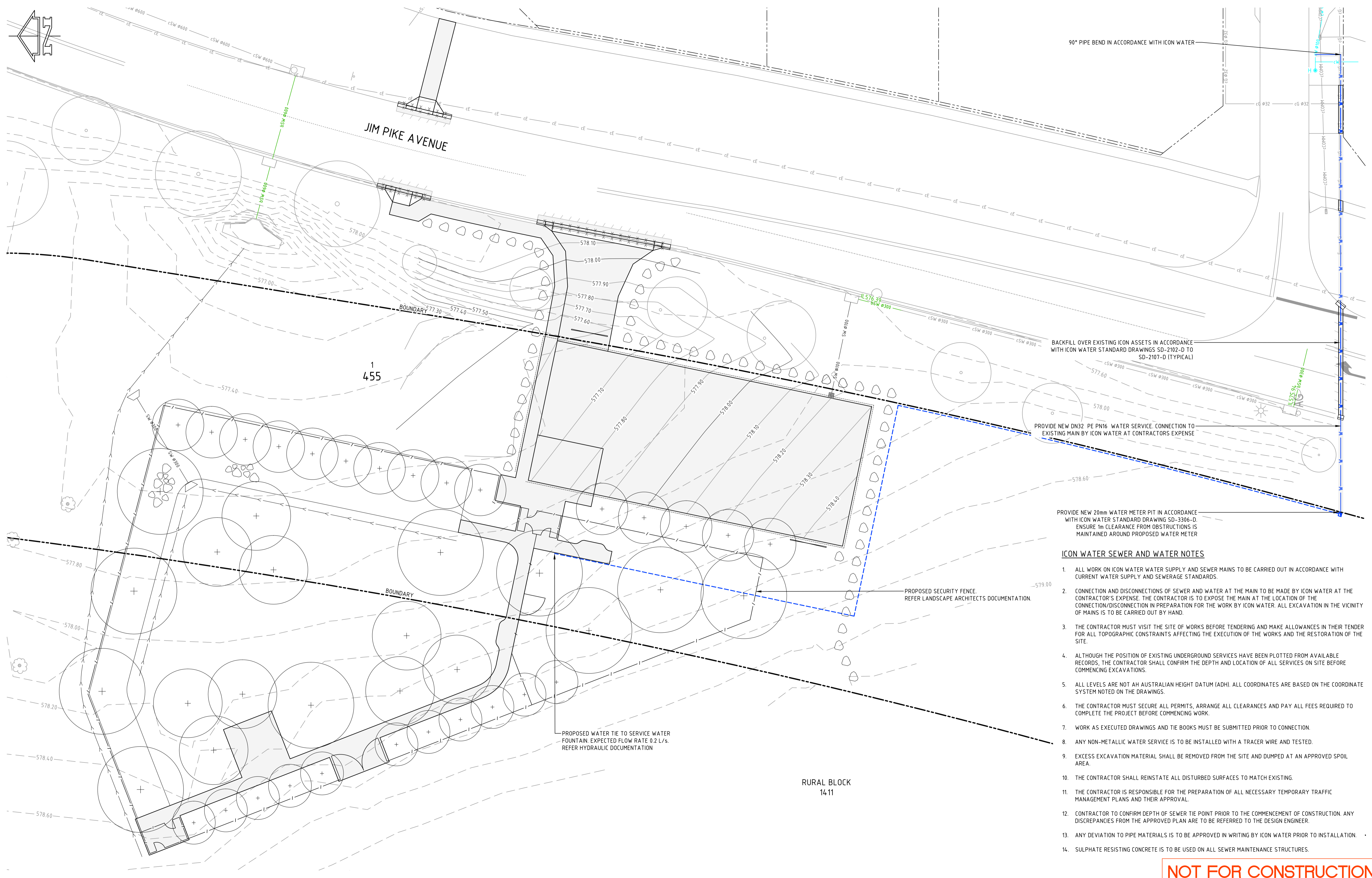


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Revision		Date		Description		Project No. 229039		Discipline CIV		Stage 0200		Doc Type DRG		Number 0501		Package 2		Revision A	
A		03.02.2023		DEVELOPMENT APPROVAL		03.02.2023		EM		AHD		STROMLO GRID		03.02.2023 3:05 PM					

Project Name and Location GORDON DOG PARK BLOCK 1 SECTION 455 AND RB 1411, GORDON						Drawn By EM		Design By SE		Authorised By CP									
Drawing Title UTILITIES						Datum AHD		Co-ordinate System STROMLO GRID		Printed Date 03.02.2023 3:05 PM									
WATER NOTES AND LEGEND						Project No. 229039		Discipline CIV		Stage 0200		Doc Type DRG		Number 0501		Package 2		Revision A	

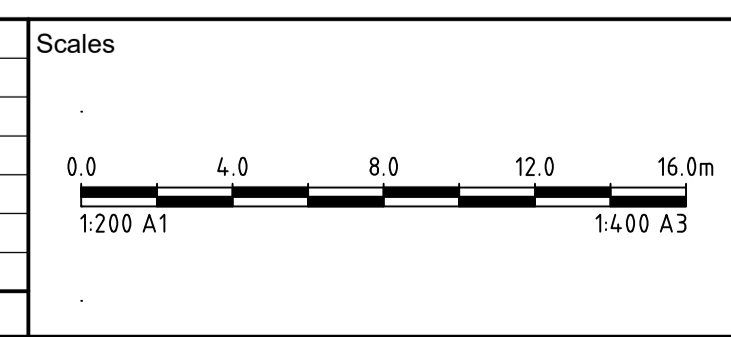


- ICON WATER SEWER AND WATER NOTES**
1. ALL WORK ON ICON WATER WATER SUPPLY AND SEWER MAINS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT WATER SUPPLY AND SEWERAGE STANDARDS.
 2. CONNECTION AND DISCONNECTIONS OF SEWER AND WATER AT THE MAIN TO BE MADE BY ICON WATER AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO EXPOSE THE MAIN AT THE LOCATION OF THE CONNECTION/DISCONNECTION IN PREPARATION FOR THE WORK BY ICON WATER. ALL EXCAVATION IN THE VICINITY OF MAINS IS TO BE CARRIED OUT BY HAND.
 3. THE CONTRACTOR MUST VISIT THE SITE OF WORKS BEFORE TENDERING AND MAKE ALLOWANCES IN THEIR TENDER FOR ALL TOPOGRAPHIC CONSTRAINTS AFFECTING THE EXECUTION OF THE WORKS AND THE RESTORATION OF THE SITE.
 4. ALTHOUGH THE POSITION OF EXISTING UNDERGROUND SERVICES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS, THE CONTRACTOR SHALL CONFIRM THE DEPTH AND LOCATION OF ALL SERVICES ON SITE BEFORE COMMENCING EXCAVATIONS.
 5. ALL LEVELS ARE NOT AN AUSTRALIAN HEIGHT DATUM (ADH). ALL COORDINATES ARE BASED ON THE COORDINATE SYSTEM NOTED ON THE DRAWINGS.
 6. THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT BEFORE COMMENCING WORK.
 7. WORK AS EXECUTED DRAWINGS AND THE BOOKS MUST BE SUBMITTED PRIOR TO CONNECTION.
 8. ANY NON-METALLIC WATER SERVICE IS TO BE INSTALLED WITH A TRACER WIRE AND TESTED.
 9. EXCESS EXCAVATION MATERIAL SHALL BE REMOVED FROM THE SITE AND DUMPED AT AN APPROVED SPOIL AREA.
 10. THE CONTRACTOR SHALL REINSTATE ALL DISTURBED SURFACES TO MATCH EXISTING.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF ALL NECESSARY TEMPORARY TRAFFIC MANAGEMENT PLANS AND THEIR APPROVAL.
 12. CONTRACTOR TO CONFIRM DEPTH OF SEWER TIE POINT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES FROM THE APPROVED PLAN ARE TO BE REFERRED TO THE DESIGN ENGINEER.
 13. ANY DEVIATION TO PIPE MATERIALS IS TO BE APPROVED IN WRITING BY ICON WATER PRIOR TO INSTALLATION.
 14. SULPHATE RESISTING CONCRETE IS TO BE USED ON ALL SEWER MAINTENANCE STRUCTURES.

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Revision	Description	Date	By
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A	DEVELOPMENT APPROVAL	03.02.2023	EM

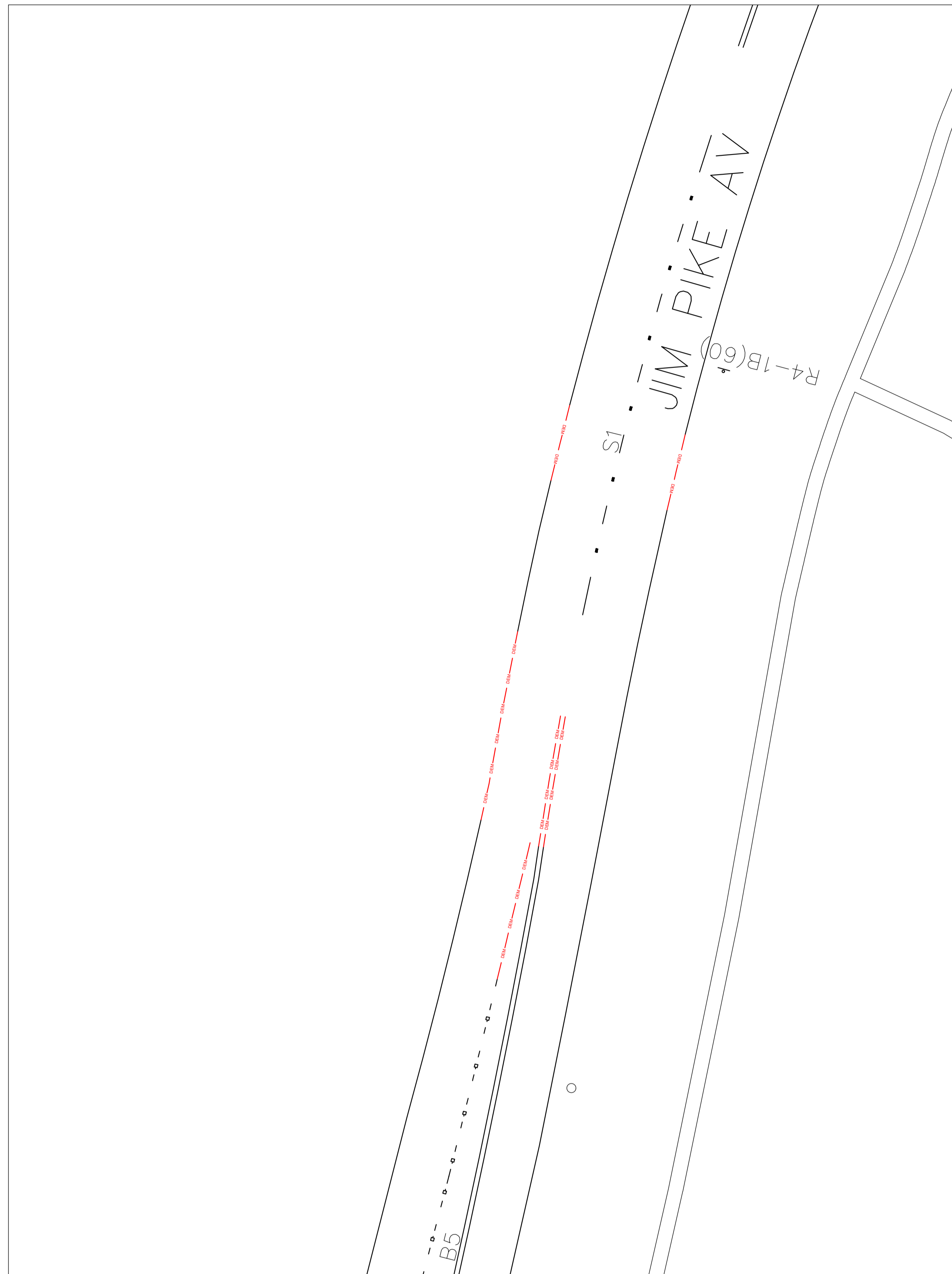


Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
UTILITIES
WATER PLAN

Drawn By	EM	Design By	SE	Authorised By	CP
Datum	AHD	Co-ordinate System	STROMLO GRID	Printed Date	07.02.2023 9:57 AM
Project No.	229039	Discipline	CIV	Stage	0200
		Doc Type	DRG	Number	0511
				Package	2
				Revision	B

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REMOVAL PLAN
SCALE 1:250



PROPOSED PLAN
SCALE 1:250

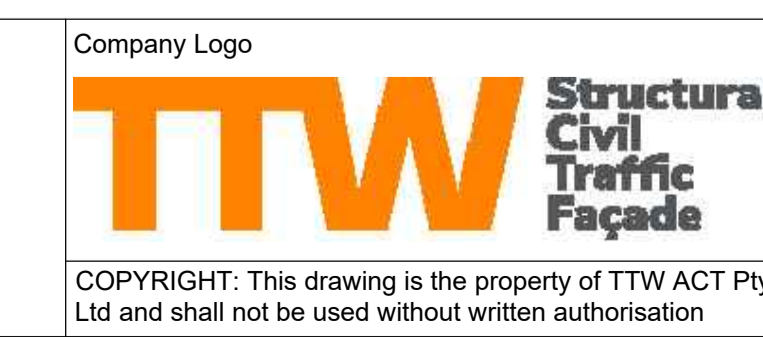
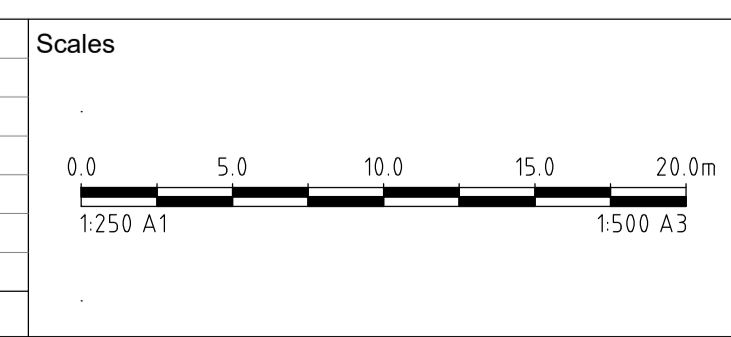
SIGNS TO BE ERECTED

CODE	DESCRIPTION	DIRECTION	QUANTITY
R5-40(L)	NO PARKING	L	1
R5-40(R)	NO PARKING	R	2

WORK AS EXECUTED	DESIGN AGENT	OFFICE OF A.C.T.
DRAWING AMENDED IN ACCORDANCE WITH ADVICE FROM	RECOMMENDED FOR AUTHORISATION	AUTHORISED PURSUANT TO PART V of Road Transport (Safety and Traffic Management) ACT 1999
DATE:		
CONSULTANT	DRAWING NAME	AUTHORISING SIGNATURE
TTW	FRANKLIN - DOG	DATE:
NAME	PARK TCD	
SIGNATURE	SCALE:	DOCUMENT NUMBER
DATE:	1:500	

NOT FOR CONSTRUCTION

Revision	Description	Date	By
A	DEVELOPMENT APPROVAL	03.02.2023	EM



Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
TRAFFIC CONTROL DEVICES PLAN


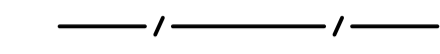
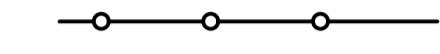
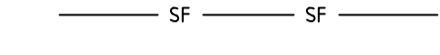









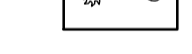


Drawn By	Design By	Authorised By				
EM	SE	CP				
Datum	Co-ordinate System	Printed Date				
AHD	STROMLO GRID	03.02.2023 3:05 PM				
Project No.	Discipline	Stage	Doc Type	Number	Package	Revision
229039	CIV	0200	DRG	0711	0	A

ALL WORKS TO BE CARRIED IN ACCORDANCE WITH "ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUGUST 2022"

CONTACT DETAILS		
ROLE	NAME	CONTACT NUMBER
LEAD CONTRACTOR		
SITE MANAGER/FOREMAN		
PROJECT MANAGER		

SITE DETAILS	
TOTAL SITE AREA (m ²)	263
AVERAGE EXISTING SLOPE	2.5%

SEDIMENT EROSION CONTROL PLAN LEGEND

-  TEMPORARY SITE FENCE TYPE 1 *
-  TEMPORARY SITE FENCE TYPE 2 *
-  TEMPORARY SITE FENCE TYPE 3 *
-  SILT FENCING *
- * ALL FENCING TO BE IN ACCORDANCE WITH STANDARD NOTES
-  INLET FILTER
-  KERB FILTER
-  SEDIMENT POND
-  TEMPORARY LEASING ZONE
-  TEMPORARY SITE ACCESS GATE TYPE 1
-  TEMPORARY SITE ACCESS GATE TYPE 2
-  EXISTING TREE TO BE RETAINED *
-  EXISTING TREE TO BE REMOVED *
- * TREE REPRESENTATION MAY VARY BASED ON SURVEY INFORMATION
-  TEMPORARY CONSTRUCTION WASTE BINS
-  BRICK CUT WASH ZONE
-  TEMPORARY SITE SHEDS
-  TEMPORARY STABILISED CONSTRUCTION ENTRANCE

SCHEDULE 2 - DAILY ENVIRONMENTAL CONTROL

ENVIRONMENTAL CONTROL	CONDITION (GOOD, FAIR, POOR)	ACTION TAKEN (REPLACED, REPAIRED)	DATE	TIME	CHECKED BY	SIGNATURE
STABILISED ACCESS POINT						
CLEAN ROAD						
SEDIMENT BARRIER						
WASTE AREA						
GRASS BUFFER						
MATERIAL STORAGE						
SEDIMENT BASIN						
STOCKPILE AREA						
WORKING HOURS						
WASH AREA						
BRICK CUTTING AREA						
DUST SUPPRESSION						
UNDISTURBED AREAS						
NOISE PLAN						
SPOIL DISPOSAL (OFF-SITE)						
ACCEPTANCE OF SOIL (ON-SITE)						
STORMWATER SUMP PROTECTION						
OTHER						

SCHEDULE 3 - WATER DISCHARGE TABLE (POND REFERENCE E.G. POND 1)

NTU LEVELS & TIME CHECKED	pH LEVELS & TIME CHECKED	POND LEVEL	PUMP RUN TIME (START-FINISH)	EPA OFFICER CONTACTED	EPA RESPONSE	DATE	TIME	CHECKED BY	SIGNATURE

SCHEDULE 3 - WATER DISCHARGE TABLE (POND REFERENCE E.G. POND 2)

NTU LEVELS & TIME CHECKED	pH LEVELS & TIME CHECKED	POND LEVEL	PUMP RUN TIME (START-FINISH)	EPA OFFICER CONTACTED	EPA RESPONSE	DATE	TIME	CHECKED BY	SIGNATURE

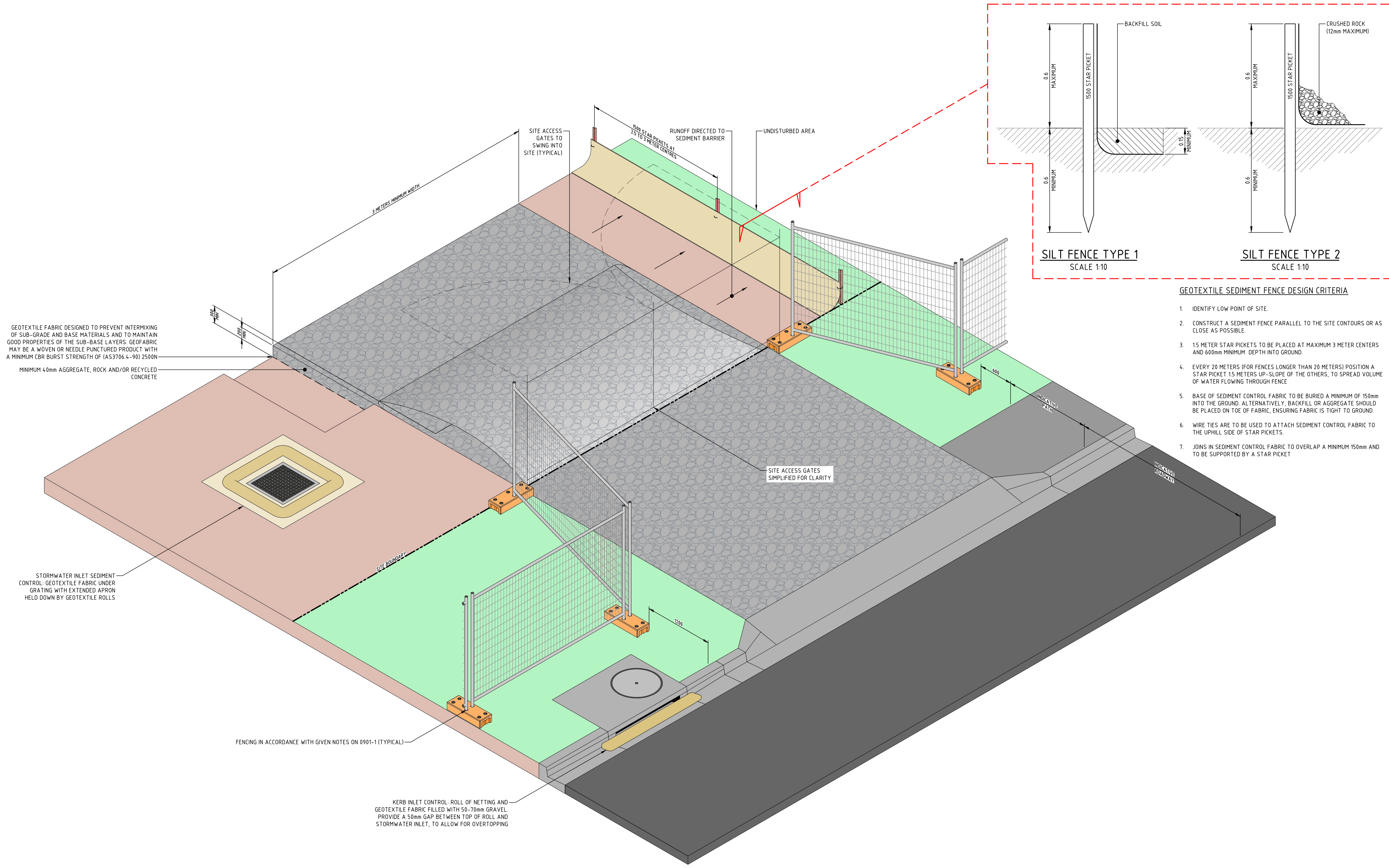
SCHEDULE 3 - WATER DISCHARGE TABLE (POND REFERENCE E.G. POND 3)

NTU LEVELS & TIME CHECKED	pH LEVELS & TIME CHECKED	POND LEVEL	PUMP RUN TIME (START-FINISH)	EPA OFFICER CONTACTED	EPA RESPONSE	DATE	TIME	CHECKED BY	SIGNATURE

NOT FOR CONSTRUCTION

F:\2022\229039\Civil\Sheets\02\00\229039-civ-0200-dwg-0801-2.dwg

Scales		Client Logo 		Company Logo 		Other Logo 		Project Name and Location GORDON DOG PARK BLOCK 1 SECTION 455 AND RB 1411, GORDON			Drawn By EM		Design By SE		Authorised By CP	
Revision		Description		Date		By		Drawing Title ENVIRONMENTAL MANAGEMENT SECP NOTES AND LEGEND			Datum AHD		Co-ordinate System STROMLO GRID		Printed Date 03.02.2023 3:04 PM	
A		DEVELOPMENT APPROVAL		03.02.2023		EM		Project No. 229039			Discipline CIV	Stage 0200	Doc Type DRG	Number 0901	Package 2	Revision A



GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF SUB-GRADE AND BASE MATERIALS AND TO MAINTAIN GOOD PROPERTIES OF THE SUB-BASE LAYERS. GEOTEXTILE MAY BE A WOVEN OR NEEDLE PUNCTURED PRODUCT WITH A MINIMUM CBR BURST STRENGTH OF (AS3706 4-90) 2500N

MINIMUM 40mm AGGREGATE, ROCK AND/OR RECYCLED CONCRETE

STORMWATER INLET SEDIMENT CONTROL: GEOTEXTILE FABRIC UNDER GRATING WITH EXTENDED APRON HELD DOWN BY GEOTEXTILE ROLLS

FENCING IN ACCORDANCE WITH GIVEN NOTES ON 0901-1 (TYPICAL)

KERB INLET CONTROL: ROLL OF NETTING AND GEOTEXTILE FABRIC FILLED WITH 50-70mm GRAVEL. PROVIDE A 50mm GAP BETWEEN TOP OF ROLL AND STORMWATER INLET, TO ALLOW FOR OVERTOPPING

SILT FENCE TYPE 1
SCALE 1:10

SILT FENCE TYPE 2
SCALE 1:10

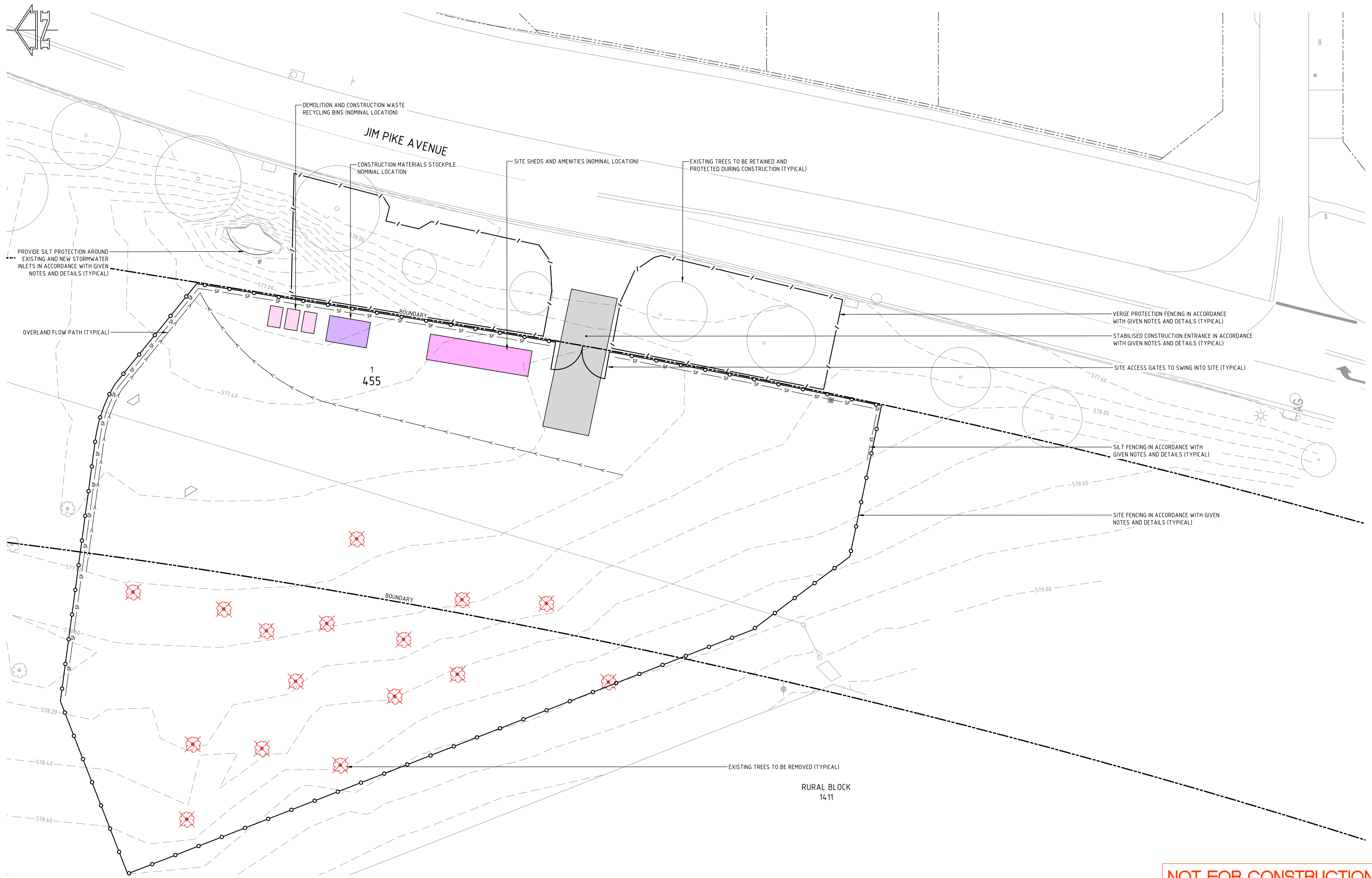
GEOTEXTILE SEDIMENT FENCE DESIGN CRITERIA

1. IDENTIFY LOW POINT OF SITE.
2. CONSTRUCT A SEDIMENT FENCE PARALLEL TO THE SITE CONTOURS OR AS CLOSE AS POSSIBLE.
3. 15 METER STAR PICKETS TO BE PLACED AT MAXIMUM 3 METER CENTERS AND 600mm MINIMUM DEPTH INTO GROUND.
4. EVERY 20 METERS (FOR FENCES LONGER THAN 20 METERS) POSITION A STAR PICKET 1.5 METERS UP-SLOPE OF THE OTHERS, TO SPREAD VOLUME OF WATER FLOWING THROUGH FENCE
5. BASE OF SEDIMENT CONTROL FABRIC TO BE BURIED A MINIMUM OF 150mm INTO THE GROUND. ALTERNATIVELY, BACKFILL OR AGGREGATE SHOULD BE PLACED ON TOE OF FABRIC, ENSURING FABRIC IS TIGHT TO GROUND.
6. WIRE TIES ARE TO BE USED TO ATTACH SEDIMENT CONTROL FABRIC TO THE UPHILL SIDE OF STAR PICKETS.
7. JOINS IN SEDIMENT CONTROL FABRIC TO OVERLAP A MINIMUM 150mm AND TO BE SUPPORTED BY A STAR PICKET

NOT FOR CONSTRUCTION

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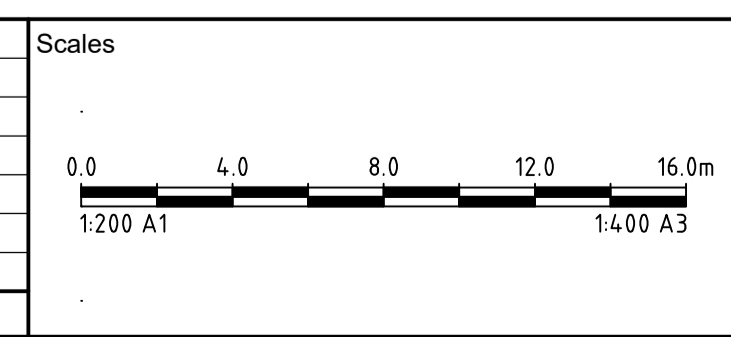
Scales		Client Logo		Company Logo		Other Logo		Project Name and Location		Drawn By		Design By		Authorised By	
								GORDON DOG PARK BLOCK 1 SECTION 455 AND RB 1411, GORDON		EM		SE		CP	
								Drawing Title ENVIRONMENTAL MANAGEMENT SECP DETAILS		AHD		STROMLO GRID		Printed Date 03.02.2023 3:04 PM	
Revision A DEVELOPMENT APPROVAL 03.02.2023 EM								Project No. 229039		Discipline CIV		Stage 0200		Doc Type DRG	
										Number 0902		Package 2		Revision A	



NOT FOR CONSTRUCTION

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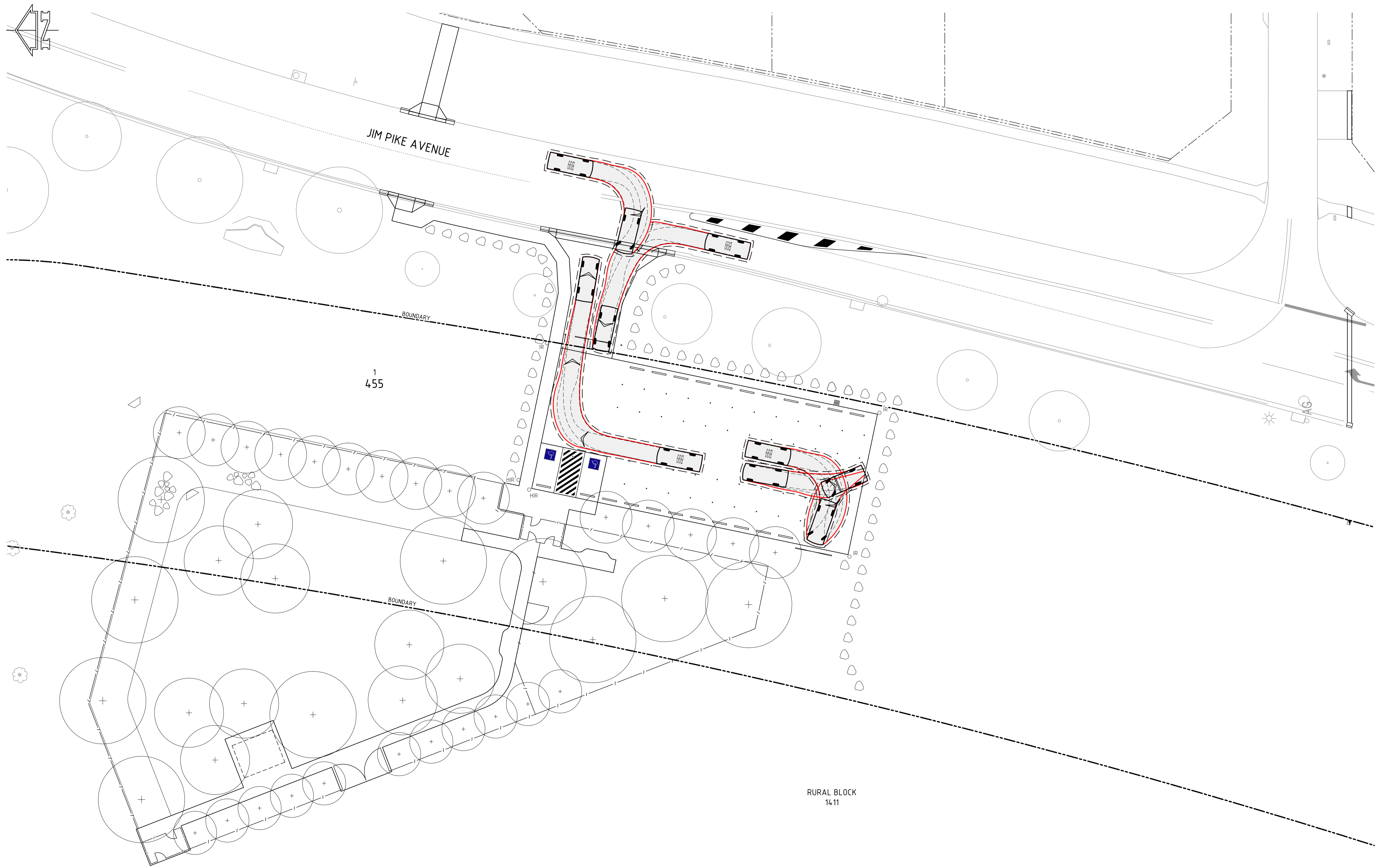
Revision	Description	Date	By
B	DEVELOPMENT APPROVAL	07.02.2023	EM
A	DEVELOPMENT APPROVAL	03.02.2023	EM



Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
ENVIRONMENTAL MANAGEMENT
SEDIMENT EROSION CONTROL PLAN

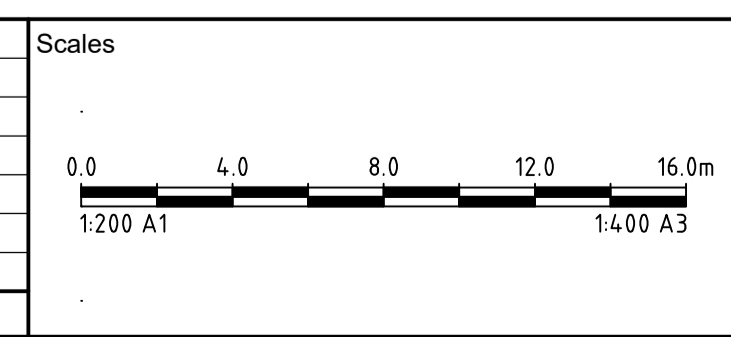
Drawn By	EM	Design By	SE	Authorised By	CP
Datum	AHD	Co-ordinate System	STROMLO GRID	Printed Date	07.02.2023 9:58 AM
Project No.	229039	Discipline	CIV	Stage	0200
Doc Type	DRG	Number	0911	Package	2
Revision	B				



NOT FOR CONSTRUCTION

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Revision	Description	Date	By
B	DEVELOPMENT APPROVAL	07.02.2023	EM
A	DEVELOPMENT APPROVAL	03.02.2023	EM



Project Name and Location
GORDON DOG PARK
BLOCK 1 SECTION 455 AND RB 1411, GORDON

Drawing Title
VEHICLE TURNING PATHS
PLAN

Drawn By	EM	Design By	SE	Authorised By	CP
Datum	AHD	Co-ordinate System	STROMLO GRID	Printed Date	07.02.2023 9:55 AM
Project No.	229039	Discipline	CIV	Stage	0200
		Doc Type	DRG	Number	1211
				Package	0
				Revision	B

From: [Henty, Richmond](#)
To: [Larson, Eliza](#)
Cc: [Koch, Richard](#); [Orgill, Oliver](#); [Watts, Michaela](#); [Cotsell, Peter](#); [Clement, Sophie](#); [Simpson, Daniel](#)
Subject: RE: Proposed Lanyon Dog Park
Date: Monday, 22 May 2023 12:00:00 PM
Attachments: [image001.jpg](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

Hi Eliza,

I am working of the acceptance at the moment. Just to clarify some of your points below.

- The existing Bicentennial trail must not be impacted, with at least a 6m (10m this has been agreed to by the relevant BNT stakeholders) back between the existing fence and any dog park infrastructure
- Fencing the eastern side of the trail would be useful to demarcate TCCS/PCS land boundary. Happy for this to be part of our works.
- The current informal dog area within the reserve must be remediated (we can provide further info on this), with signage to make clear that dogs are not permitted. I don't think this is a TCCS responsibility as the current off leash area is managed and signposted by parks.
- Both agencies will need to coordinate a comms response the closing of one area for another as the community will be agitated

Regards

Richmond Henty

Richmond Henty | Project Manager | Infrastructure Delivery
M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au
Transport Canberra and City Services Directorate | ACT Government
480 Northbourne Ave. Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From: Larson, Eliza <Eliza.Larson@act.gov.au>

Sent: Thursday, 18 May 2023 3:44 PM

To: Henty, Richmond <Richmond.Henty@act.gov.au>

Cc: Koch, Richard <Richard.Koch@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

Hi Richmond,

I can confirm that the below and attached area in blue is the area we propose to excise from the nature reserve and transfer to TCCS. This would also provide TCCS with the opportunity to have a dog walking area next to the dog park.

Some requirements to note:

- The existing Bicentennial trail must not be impacted, with at least a 6m setback between the existing fence and any dog park infrastructure
- Fencing the eastern side of the trail would be useful to demarcate TCCS/PCS land boundary
- The current informal dog area within the reserve must be remediated (we can provide further info on this), with signage to make clear that dogs are not permitted.

Please let me know whether the proposed area is suitable for the park and any required utilities/access etc. and if you have any other comments. Once we're all on the same page I will seek some advice in terms of next steps and timeframes.

Kind regards,

Eliza Larson | A/g Conservator Liaison
Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

From: Koch, Richard <Richard.Koch@act.gov.au>

Sent: Tuesday, 16 May 2023 7:04 PM

To: Orgill, Oliver <Oliver.Orgill@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

Rough rendition. Red is National Trail. Blue is proposed reserve excision and TCCS custodianship. Allows for vehicle width at least, along trail. Follows actual trail location on the ground rather than mapped version, which is incorrect at northern end. Gates either end are within PCS-retained (Trail) area. Trail may ultimately require fencing (by TCCS) on its eastern side. Eastern edge of blue excision area follows current reserve boundary.

Doesn't address the nearby situation where we have (as at many other sites) a TCCS dog exercise area in a no-dogs PCS reserve, but I think this would be too big an ask, as we're just making changes to allow for this single development.

No guarantee this doesn't impinge on TCCS's existing design – would depend on whether they took the National Trail's existence into account from the outset (which I guess they did).



Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Orgill, Oliver <Oliver.Orgill@act.gov.au>
Sent: Tuesday, 16 May 2023 6:04 PM
To: Koch, Richard <Richard.Koch@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Apologies for the misunderstanding - I thought we'd gone right back to the start !

Yep, that's a good plan Richard .

From: Koch, Richard <Richard.Koch@act.gov.au>
Sent: Tuesday, 16 May 2023 6:00 PM
To: Larson, Eliza <Eliza.Larson@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: Re: Proposed Lanyon Dog Park

If it'll help avoid a meeting I can propose a boundary, which Ollie could potentially okay (for PCS at least). It would leave the (Bicentennial) National Trail in PCS custodianship. It wouldn't be based on any ecological assessment but I've visited and it doesn't look like any substantial values are affected.

Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Larson, Eliza <Eliza.Larson@act.gov.au>
Sent: Tuesday, May 16, 2023 5:16:10 PM
To: Orgill, Oliver <Oliver.Orgill@act.gov.au>; Koch, Richard <Richard.Koch@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi Ollie,

Happy to request a TPV to excise the area, but we first need to determine the boundaries of the area to be excised. That is what we are meeting to discuss.

Cheers,

Eliza Larson I A/g Conservator Liaison
Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

From: Orgill, Oliver <Oliver.Orgill@act.gov.au>
Sent: Tuesday, 16 May 2023 4:39 PM
To: Koch, Richard <Richard.Koch@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi All,

Sorry, I'm a little late to this discussion as I've been on leave. I'm not sure that we need to meet.

I thought that we have already come to an agreement on this last year. As land manager we are strongly supportive of this proposal, the construction of a formalised dog park next to the road would facilitate the closure of the 'unofficial' dog park further into the reserve which we currently manage, it's not our core business. In previous discussions it was proposed that for the development in question that the land custodianship be transferred to TCCS and/or be excised from the SPR – I can't recall who was going to action that.

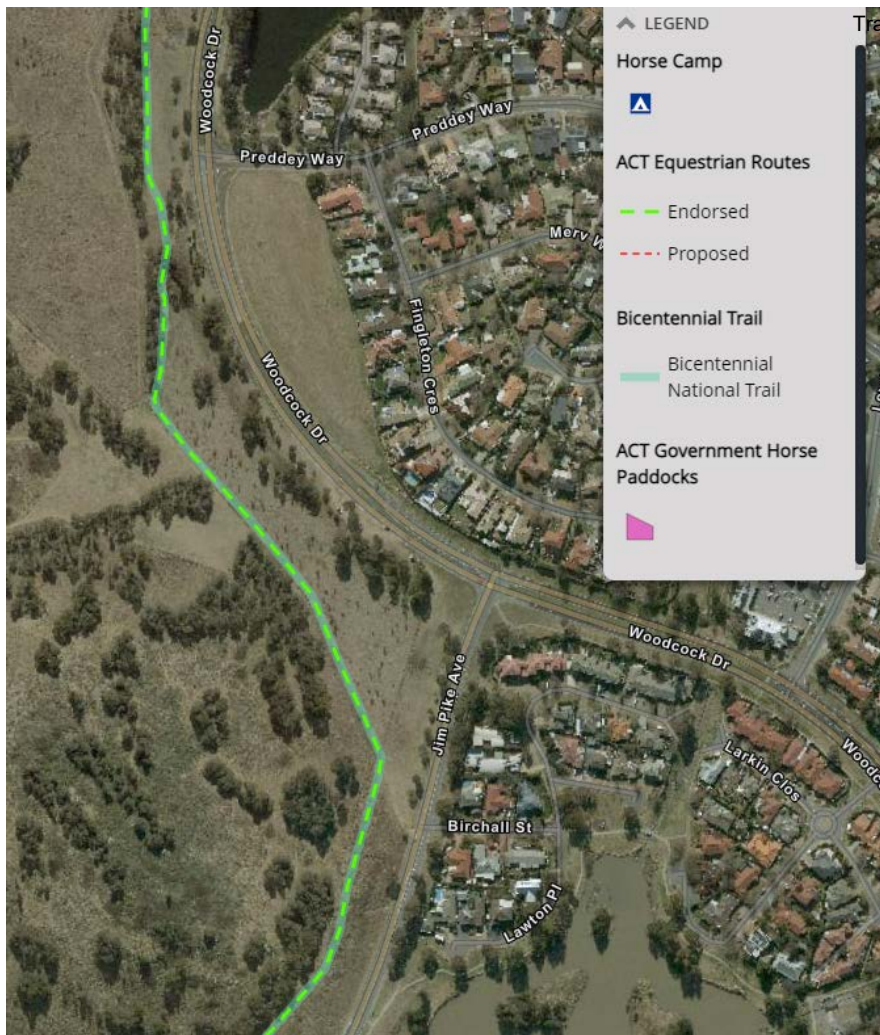
There are no significant environmental values that will be compromised by this change, and it is absolutely the preferred outcome for us.

Thanks

Ollie

From: Koch, Richard <Richard.Koch@act.gov.au>
Sent: Tuesday, 16 May 2023 11:56 AM
To: Henty, Richmond <Richmond.Henty@act.gov.au>
Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Relevant to Thur meeting.



Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Henty, Richmond <Richmond.Henty@act.gov.au>
Sent: Friday, 12 May 2023 2:55 PM
To: Koch, Richard <Richard.Koch@act.gov.au>
Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

So I now understand,
But this is what people are being told.

Dog Exercise Areas

The map describes off-leash, conditional, prohibited and on-leash areas for dogs. For more information see [recreation with my dog](#). Dogs must be kept on a leash on public land in the ACT unless otherwise indicated.

Dog Exercise Areas

- Off Leash
- Conditional
- Prohibited
- Dogs On Leash (no colour)

Off Leash

Dogs are allowed off-leash in these areas but are still required to be under effective control at all times.

Conditional

Dogs can be off-leash in these areas as long as they meet the

Regards

Richmond Henty

M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au
Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From: Koch, Richard <Richard.Koch@act.gov.au>

Sent: Friday, 12 May 2023 2:48 PM

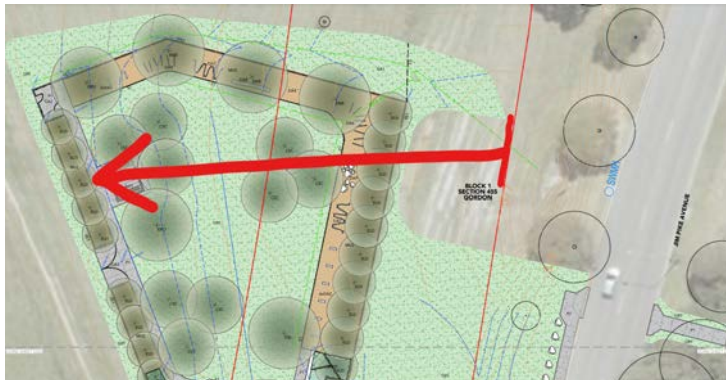
To: Henty, Richmond <Richmond.Henty@act.gov.au>

Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

Hi Richmond

The area protected as a reserve under the *Nature Conservation Act* currently extends as shown by the red arrow below.



Regards

Richard Koch

Acting Assistant Manager, Licensing and Compliance

ACT Parks and Conservation Service

02 6207 6487 [REDACTED]

From: Henty, Richmond <Richmond.Henty@act.gov.au>

Sent: Friday, 12 May 2023 2:40 PM

To: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Koch, Richard <Richard.Koch@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

A little more detail for you all

Regards

Richmond Henty

Richmond Henty | Project Manager | Infrastructure Delivery

M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au
Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

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-----Original Appointment-----

From: Larson, Eliza <Eliza.Larson@act.gov.au>

Sent: Friday, 12 May 2023 12:34 PM

To: Larson, Eliza; Larson, Eliza; Henty, Richmond; Watts, Michaela; Orgill, Oliver; Koch, Richard

Subject: Proposed Lanyon Dog Park

When: Tuesday, 16 May 2023 3:00 PM-4:00 PM (UTC+10:00) Canberra, Melbourne, Sydney.

Where: Microsoft Teams Meeting

Hi all,

Meeting to discuss the proposed Lanyon Dog Park – cnr Jim Pike Avenue and Woodcock Drive, Gordon.

The proposed park is within a Special Purpose Reserve, and both activities declarations for the reserve prohibit dogs in the reserve.

A possible way forward is to excise the area from the nature reserve, which would require a Territory Plan Variation and a custodianship transfer.

PCS - Please have a think about what area might be appropriate to remove from the reserve, considering values etc.

Richmond – Please have a think about the total area required by the park including for access/fencing etc. I have put a snip below from the Yoursay website, but if you have any more recent plans this would be very useful.



The proposed design includes:

- 3630m² fenced dog park
- two airlock style entrance gates
- bike rail, bin and signage at entrance
- accessible gravel loop path
- small picnic shelter, seating and drinking fountain
- grass play area
- dog agility area
- area for dog training marquee or coffee van
- native trees for canopy cover
- 1.8 metre high black chain link fence
- crushed granite car park.

Thanks,

Eliza Larson

A/g Conservator Liaison | Office of the Conservator of Flora and Fauna

Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

Environment Division | Environment, Planning and Sustainable Development Directorate | ACT Government

Level 2, 480 Northbourne Avenue Dickson | GPO Box 158 Canberra ACT 2601 | www.environment.act.gov.au

Microsoft Teams meeting

Join on your computer, mobile app or room device

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Meeting ID: 448 448 238 736

Passcode: EP36tq

[Download Teams](#) | [Join on the web](#)



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From: Henty, Richmond
Sent: Wednesday, 23 August 2023 9:54 AM
To: Hauzer, Angela
Subject: RE: Proposed Lanyon Dog Park

Not that I know of but will if needed

From: Hauzer, Angela <Angela.Hauzer@act.gov.au>
Sent: Wednesday, 23 August 2023 9:45 AM
To: Henty, Richmond <Richmond.Henty@act.gov.au>
Subject: FW: Proposed Lanyon Dog Park

Hey, further to this, did we agree to write an AN on this? The critical projects report from IDP suggests we were going to do this?

Ange

From: Clement, SophieJ <SophieJ.Clement@act.gov.au>
Sent: Thursday, 17 August 2023 2:07 PM
To: Larson, Eliza <Eliza.Larson@act.gov.au>
Cc: Henty, Richmond <Richmond.Henty@act.gov.au>; Hauzer, Angela <Angela.Hauzer@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi Eliza, thanks for the quick chat to clarify where this one is sitting.

Richmond/ Eliza - confirming the understanding that the following steps are where things are currently and agreed actions:

- The issue of the Nature Conservation Act (NCA) and the Domestic Animals Act (DAA) crossing over is a separate issue to this project which this project cannot resolve.
- TCCS will advise the area which they agree to take on management of – noting Richard Koch’s recommended area in the map below
- TCCS will submit an ESO for undertaking works to deliver the Dog Park – which will need to be supported by PCS as the land custodian (PCS have indicated support for this) (and assuming this hasn’t already been done?)
- Concurrently TCCS will work with PCS to transfer Land Custodianship to TCCS
- Concurrently TCCS will work Conservator’s office to undertake TPV to remove the nature reserve overlay from this area
- TCCS can decide to proceed with a construction tender while these processes are underway if we are comfortable with the risk around approval of ESO coming whilst tender process is underway

Richmond/ Ange – this should provide confidence the design to be finalised and construction tender to be released while the above planning aspects are progressed and finalised.

Thanks,
Sophie

I acknowledge the Traditional Custodians of the ACT, the Ngunnawal people and recognise any other people and families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From: Larson, Eliza <Eliza.Larson@act.gov.au>
Sent: Thursday, 18 May 2023 3:44 PM
To: Henty, Richmond <Richmond.Henty@act.gov.au>
Cc: Koch, Richard <Richard.Koch@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi Richmond,

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Some requirements to note:

- The existing Bicentennial trail must not be impacted, with at least a 6m setback between the existing fence and any dog park infrastructure
- Fencing the eastern side of the trail would be useful to demarcate TCCS/PCS land boundary
- The current informal dog area within the reserve must be remediated (we can provide further info on this), with signage to make clear that dogs are not permitted.

Please let me know whether the proposed area is suitable for the park and any required utilities/access etc. and if you have any other comments. Once we're all on the same page I will seek some advice in terms of next steps and timeframes.

Kind regards,

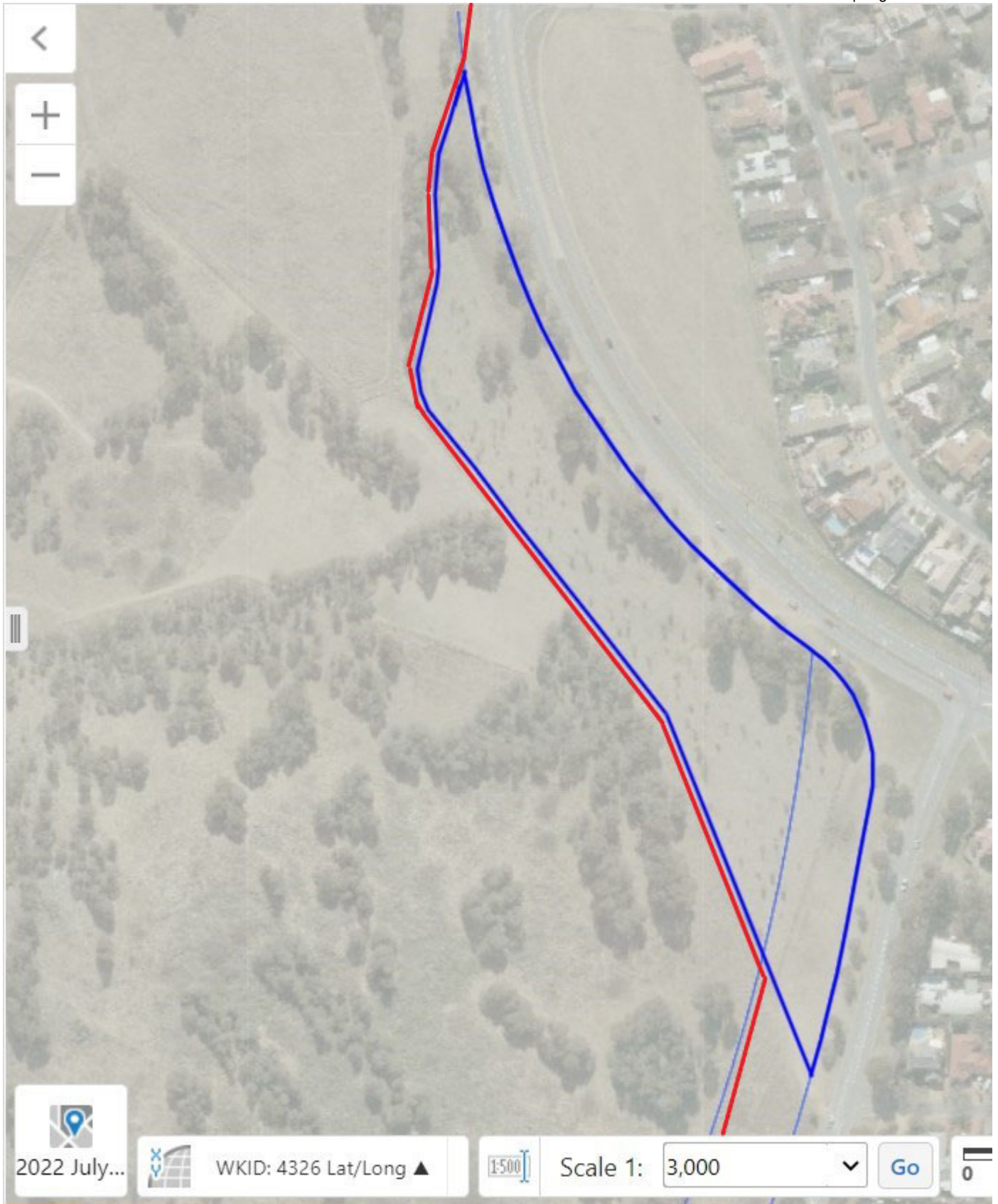
Eliza Larson | A/g Conservator Liaison
Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

From: Koch, Richard <Richard.Koch@act.gov.au>
Sent: Tuesday, 16 May 2023 7:04 PM
To: Orgill, Oliver <Oliver.Orgill@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Rough rendition. Red is National Trail. Blue is proposed reserve excision and TCCS custodianship. Allows for vehicle width at least, along trail. Follows actual trail location on the ground rather than mapped version, which is incorrect at northern end. Gates either end are within PCS-retained (Trail) area. Trail may ultimately require fencing (by TCCS) on its eastern side. Eastern edge of blue excision area follows current reserve boundary.

Doesn't address the nearby situation where we have (as at many other sites) a TCCS dog exercise area in a no-dogs PCS reserve, but I think this would be too big an ask, as we're just making changes to allow for this single development.

No guarantee this doesn't impinge on TCCS's existing design – would depend on whether they took the National Trail's existence into account from the outset (which I guess they did).



Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Orgill, Oliver <Oliver.Orgill@act.gov.au>
Sent: Tuesday, 16 May 2023 6:04 PM
To: Koch, Richard <Richard.Koch@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Apologies for the misunderstanding - I thought we'd gone right back to the start !

Yep, that's a good plan Richard .

From: Koch, Richard <Richard.Koch@act.gov.au>
Sent: Tuesday, 16 May 2023 6:00 PM
To: Larson, Eliza <Eliza.Larson@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: Re: Proposed Lanyon Dog Park

If it'll help avoid a meeting I can propose a boundary, which Ollie could potentially okay (for PCS at least). It would leave the (Bicentennial) National Trail in PCS custodianship. It wouldn't be based on any ecological assessment but I've visited and it doesn't look like any substantial values are affected.

Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Larson, Eliza <Eliza.Larson@act.gov.au>
Sent: Tuesday, May 16, 2023 5:16:10 PM
To: Orgill, Oliver <Oliver.Orgill@act.gov.au>; Koch, Richard <Richard.Koch@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi Ollie,

Happy to request a TPV to excise the area, but we first need to determine the boundaries of the area to be excised. That is what we are meeting to discuss.

Cheers,

Eliza Larson | A/g Conservator Liaison
Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

From: Orgill, Oliver <Oliver.Orgill@act.gov.au>
Sent: Tuesday, 16 May 2023 4:39 PM
To: Koch, Richard <Richard.Koch@act.gov.au>; Henty, Richmond <Richmond.Henty@act.gov.au>; Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Cotsell, Peter <Peter.Cotsell@act.gov.au>; Clement, SophieJ <SophieJ.Clement@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Hi All,

Sorry, I'm a little late to this discussion as I've been on leave. I'm not sure that we need to meet.

I thought that we has already come to an agreement on this last year. As land manager we are strongly supportive of this proposal, the construction of a formalised dog park next to the road would facilitate the closure of the ' unofficial' dog park further into the reserve which we currently manage , it's not our core business. In previous discussions it was proposed that for the development in question that the land custodianship be transferred to TCCS and/or be excised from the SPR – I can't recall who was going to action that.

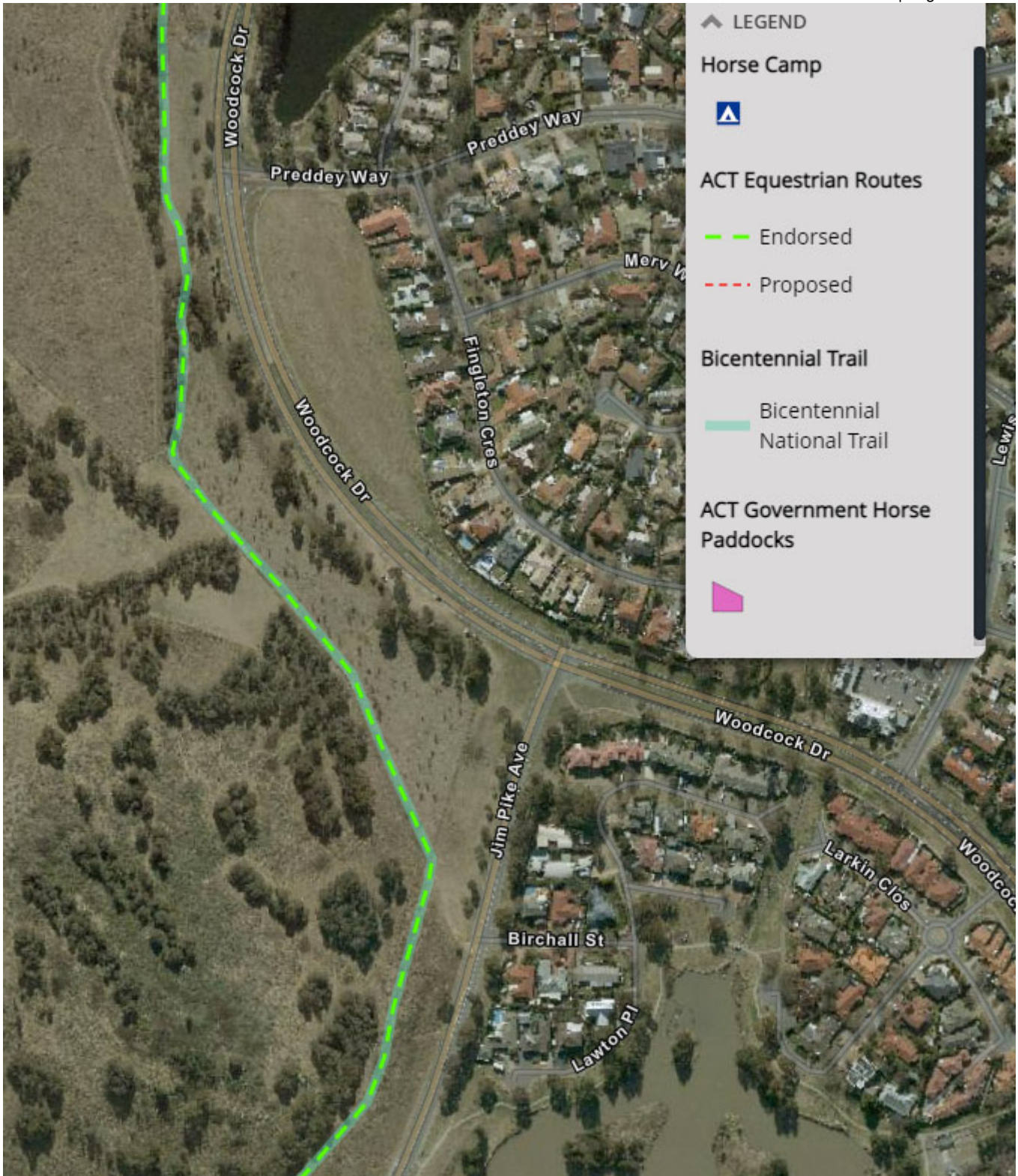
There are no significant environmental values that will be compromised by this change, and it is absolutely the preferred outcome for us.

Thanks

Ollie

From: Koch, Richard <Richard.Koch@act.gov.au>
Sent: Tuesday, 16 May 2023 11:56 AM
To: Henty, Richmond <Richmond.Henty@act.gov.au>
Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

Relevant to Thur meeting.



Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Henty, Richmond <Richmond.Henty@act.gov.au>

Sent: Friday, 12 May 2023 2:55 PM

To: Koch, Richard <Richard.Koch@act.gov.au>

Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

So I now understand,
But this is what people are being told.

Dog Exercise Areas

The map describes off leash, conditional, prohibited and on leash areas for dogs. For more information see [recreation with my dog](#). Dogs must be kept on a leash on public land in the ACT unless otherwise indicated.

Dog Exercise Areas

- Off Leash
- Conditional
- Prohibited
- Dogs On Leash (no colour)

Off Leash

Dogs are allowed off-leash in these areas but are still required to be under effective control at all times.

Conditional

Dogs can be off-leash in these areas as long as they meet the



Regards

Richmond Henty

Richmond Henty | Project Manager | Infrastructure Delivery

M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au

Transport Canberra and City Services Directorate | ACT Government

480 Northbourne Ave Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

From: Koch, Richard <Richard.Koch@act.gov.au>

Sent: Friday, 12 May 2023 2:48 PM

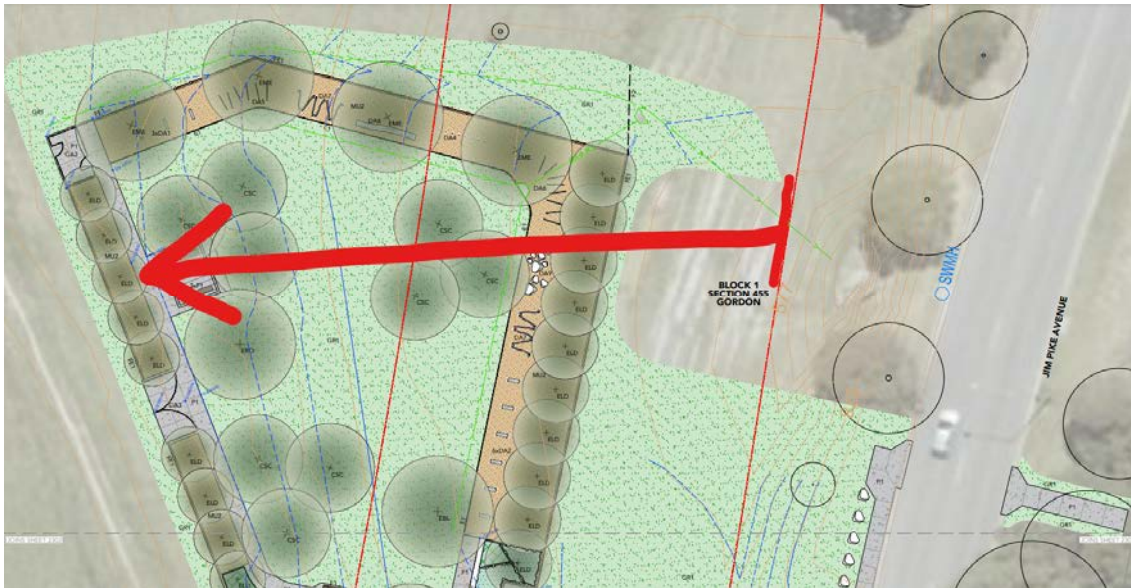
To: Henty, Richmond <Richmond.Henty@act.gov.au>

Cc: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>

Subject: RE: Proposed Lanyon Dog Park

Hi Richmond

The area protected as a reserve under the *Nature Conservation Act* currently extends as shown by the red arrow below.



Regards

Richard Koch
Acting Assistant Manager, Licensing and Compliance
ACT Parks and Conservation Service
02 6207 6487, [REDACTED]

From: Henty, Richmond <Richmond.Henty@act.gov.au>
Sent: Friday, 12 May 2023 2:40 PM
To: Larson, Eliza <Eliza.Larson@act.gov.au>; Watts, Michaela <Michaela.Watts@act.gov.au>; Orgill, Oliver <Oliver.Orgill@act.gov.au>; Koch, Richard <Richard.Koch@act.gov.au>
Subject: RE: Proposed Lanyon Dog Park

A little more detail for you all

Regards

Richmond Henty

Richmond Henty | Project Manager | Infrastructure Delivery
M [REDACTED] T 02 620 55391 E Richmond.henty@act.gov.au

Transport Canberra and City Services Directorate | ACT Government
480 Northbourne Ave Dickson | GPO Box 158 Canberra ACT 2601 | www.act.gov.au

I acknowledge the Ngunnawal people as traditional custodians of the ACT and recognise any other people or families with connection to the lands of the ACT and region. I acknowledge and respect their continuing culture and the contribution they make to the life of this city and this region.

-----Original Appointment-----

From: Larson, Eliza <Eliza.Larson@act.gov.au>
Sent: Friday, 12 May 2023 12:34 PM
To: Larson, Eliza; Larson, Eliza; Henty, Richmond; Watts, Michaela; Orgill, Oliver; Koch, Richard
Subject: Proposed Lanyon Dog Park

When: Tuesday, 16 May 2023 3:00 PM-4:00 PM (UTC+10:00) Canberra, Melbourne, Sydney.

Where: Microsoft Teams Meeting

Hi all,

Meeting to discuss the proposed Lanyon Dog Park – cnr Jim Pike Avenue and Woodcock Drive, Gordon.

The proposed park is within a Special Purpose Reserve, and both activities declarations for the reserve prohibit dogs in the reserve.

A possible way forward is to excise the area from the nature reserve, which would require a Territory Plan Variation and a custodianship transfer.

PCS - Please have a think about what area might be appropriate to remove from the reserve, considering values etc.

Richmond – Please have a think about the total area required by the park including for access/fencing etc. I have put a snip below from the Yoursay website, but if you have any more recent plans this would be very useful.



KEY

- A** Proposed gravel carpark 11 spaces
- B** Dog park entry with signage, bike rails and bin
- C** Airlock style entry to dog park
- D** Emergency / maintenance access
- E** Area for dog training marquee or coffee van on weekends
- F** Accessible gravel loop path
- G** Small picnic shelter, seating and drinking fountain
- H** Dog agility area with formal and nature play style elements
- I** Non irrigated grass ball / frisbee play area
- J** Native trees to help achieve canopy cover
- K** 1.8m high black chainlink fencing with compacted gravel maintenance
- L** Swale to low point of site with rock edge
- M** Boulders placed to limit vehicle disturbance
- N** Bicentennial trail ranger gate relocated
- O** Connection path to existing off leash dog park
- P** Tree buffer to bicentennial trail

The proposed design includes:

- 3630m² fenced dog park
- two airlock style entrance gates
- bike rail, bin and signage at entrance
- accessible gravel loop path
- small picnic shelter, seating and drinking fountain
- grass play area
- dog agility area
- area for dog training marquee or coffee van
- native trees for canopy cover
- 1.8 metre high black chain link fence
- crushed granite car park.

Thanks,

Eliza Larson

A/g Conservator Liaison | Office of the Conservator of Flora and Fauna

Phone: +61 2 6207 7009 | Email: eliza.larson@act.gov.au

Environment Division | Environment, Planning and Sustainable Development Directorate | ACT Government

Level 2, 480 Northbourne Avenue Dickson | GPO Box 158 Canberra ACT 2601 | www.environment.act.gov.au

Microsoft Teams meeting

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